



PLANNING COMMISSION AGENDA

Regular Meeting

7:00 P.M. on Tuesday, December 10, 2019

Hoyer Hall, Clayton Community Library, 6125 Clayton Road, Clayton, California

1. **CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG**
2. **ADMINISTRATIVE**
 - 2.a. Review of agenda items.
 - 2.b. Declaration of Conflict of Interest.
 - 2.c. Commissioner Frank Gavidia to report at the City Council meeting of December 17, 2019 (alternate Chair Peter Cloven).
3. **PUBLIC COMMENT**
4. **MINUTES**
 - 4.a. Approval of the minutes for the November 12, 2019 Planning Commission meeting.
5. **PUBLIC HEARINGS**
 - 5.a. **ENV-01-17, DBA-01-19, SPR-04-17, TRP-24-17; Environmental Review, Density Bonus, Site Plan Review Permit, Tree Removal Permit; William Jordan; 6170 High Street (APN: 119-021-063), 6450 Marsh Creek Road (APN: 119-021-055), and 6490 Marsh Creek Road (APN: 119-021-063).** A continued public hearing for review and consideration of a request for an California Environmental Quality Act (CEQA) Infill Exemption, Density Bonus, Site Plan Review Permit, and Tree Removal Permit for a three-parcel project site measuring a combined total of approximately three acres to be developed with three, three-story buildings (one building per parcel) consisting of a combined total of 81 units of rental senior housing, a community room, fitness center, and coffee bar. Seven of the units are proposed to be deed-restricted for very low income households. The project will include approximately 86 off-street parking spaces. This public hearing was continued from the November 12, 2019 Planning Commission meeting.

Staff Recommendation: Staff recommends that the Planning Commission receive and consider the staff report and all information provided and submitted to date, receive and consider any public testimony and, if determined to be appropriate:
 - 1) Adopt Planning Commission Resolution No. 05-19 making the determination that the project qualifies for a Categorical Exemption, under Class 32 Infill Development Projects, pursuant to the California Environmental Quality Act (ENV-01-17); and

- 2) Adopt Planning Commission Resolution No. 06-19 approving the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek, an 81-unit senior residential development project.

- 5.b. **ENV-01-08, DP-01-08, MAP-02-09, Development Plan and Vesting Tentative Map Time Extensions, Creekside Terrace Mixed Use Project, City of Clayton, 1005 and 1007 Oak Street, west side of Oak Street between Center Street and High Street (APNs: 119-050-008, 119-050-009, and 119-050-034).** Review and consideration of a one-year extension of the Creekside Terrace Development Plan and Vesting Tentative Map until January 6, 2021. This request is in accordance with Sections 17.28.190 (Development Plan) and 16.06.030 (Subdivision Map) of the Clayton Municipal Code.

Staff Recommendation: Staff recommends the Planning Commission adopt the attached Resolution No. 07-19, thereby extending for one year the Creekside Terrace Development Plan and Vesting Tentative Map through January 6, 2021.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

- 8.a. Staff.
- 8.b. Commission.

9. ADJOURNMENT

- 9.a. The next regular meeting of the Planning Commission is scheduled for **Tuesday, December 24, 2019.**

Most Planning Commission decisions are appealable to the City Council within ten (10) calendar days of the decision. Please contact Community Development Department staff for further information immediately following the decision. If the decision is appealed, the City Council will hold a public hearing and make a final decision. If you challenge a final decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing(s), either in oral testimony at the hearing(s) or in written correspondence delivered to the Community Development Department at or prior to the public hearing(s). Further, any court challenge must be made within 90 days of the final decision on the noticed matter. If you have a physical impairment that requires special accommodations to participate, please contact the Community Development Department at least 72 hours in advance of the meeting at 925-673-7340. An affirmative vote of the Planning Commission is required for approval. A tie vote (e.g., 2-2) is considered a denial. Therefore, applicants may wish to request a continuance to a later Commission meeting if only four Planning Commissioners are present.

Any writing or documents provided to the majority of the Planning Commission after distribution of the agenda packet regarding any item on this agenda will be made available for public inspection in the Community Development Department located at 6000 Heritage Trail during normal business hours.

Minutes
Clayton Planning Commission Meeting
Tuesday, November 12, 2019

1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Chair Peter Cloven called the meeting to order at 7:00 p.m. at Hoyer Hall, 6125 Clayton Road, Clayton, California.

Present: Chair Peter Cloven
Vice Chair A.J. Chippero
Commissioner Bassam Altwal
Commissioner Frank Gavidia

Absent: None

Staff: Interim Community Development Director David Woltering
Assistant Planner Milan Sikela, Jr.
Contract City and Regional Planning Consultant Holly Pearson

2. ADMINISTRATIVE

- 2.a. Review of agenda items.
- 2.b. Declaration of Conflict of Interest.
- 2.c. Commissioner Bassam Altwal to report at the City Council meeting of November 19, 2019.

3. PUBLIC COMMENT

Allison Snow expressed concerns about slope movement and structural integrity issues related to two properties, and the residences on those two properties, located at 8053 Kelok Way and 3034 Miwok Way in Clayton.

4. MINUTES

- 4.a. Approval of the minutes for the October 22, 2019 Planning Commission meeting.

Vice Chair Chippero moved and Commissioner Gavidia seconded a motion to approve the minutes, as amended. The motion passed 4-0.

5. PUBLIC HEARINGS

- 5.a. **ENV-01-17, DBA-01-19, SPR-04-17, TRP-24-17; Environmental Review, Density Bonus, Site Plan Review Permit, Tree Removal Permit; William Jordan; 6170 High Street (APN: 119-021-063), 6450 Marsh Creek Road (APN: 119-021-055), and 6490 Marsh Creek Road (APN: 119-021-063).** Review and consideration of a request for an California Environmental Quality Act (CEQA) Infill Exemption, Density Bonus, Site Plan Review Permit, and Tree Removal Permit for a three-parcel project site measuring a combined total of approximately three acres to be developed with three, three-story buildings (one building per parcel) consisting of a combined total of 81 units of rental senior housing, a community room, fitness center, and coffee bar. Seven of the units are proposed to be deed-restricted for very low income households. The project will include approximately 86 off-street parking spaces.

Interim Director Woltering introduced Contract City and Regional Planning Consultant Holly Pearson and then presented the staff report.

Commissioner Altwal had the following comments and questions:

- So if the project provides 15% of the units as very low income then that would result in the project being entitled to a 35% density bonus? Interim Director Woltering indicated that was correct, given that 10% to 15% of the units being provided as very low income would result in the 35% density bonus.
- Since the project entail three separate building with each building located on a separate parcel, this project should be treated as three separate projects.
- With regard to density bonus law, Section 65915 of the State Government Code indicated that the calculations for number of very low income should be rounded up which would result in a requirement for nine very low income units—three very low income units per parcel—rather than the seven very low income units being proposed by the applicant.
- In looking at the definition of affordable units, the per-unit rent is classified as \$800 per month for both one-bedroom units and two-bedroom so the rent would be the same regardless of the number of bedrooms? Interim Director Woltering indicated that the intent of affordable housing law is not to have a household spend more than 30% of its household income on direct housing expenses.
- According to the affordable housing cost calculation, the maximum rent for a one-bedroom unit would be \$914 and for a two-bedroom unit would be \$1,044; so if the occupant spends more than \$914 for the unit, then the unit would no longer be considered a very low income unit. Planning Consultant Holly Pearson indicated that, based on the affordable housing calculation, the rental amount is determined by the household income rather than by the unit size. Interim Director Woltering added that an affordable housing agreement would be established in order to conduct monitoring and regular reporting performed by a third party paid by the property owner in order to ensure that the applicable State and Federal income verification criteria would be adhered to and that people who meet the criteria would be housed in the project.

- Concerned about the number of parking spaces proposed. Interim Director Woltering explained that, as indicated in the peer review parking analysis, 180 spaces would be the high end amount of parking spaces but in communities where senior projects are established, often one half of the required spaces are allowed which, for the Olivia on Marsh Creek project, would be 90 spaces and, with the 86 parking spaces provided, the project would provide approximately the number of spaces needed as adjusted for senior living facilities.

Vice Chair Chippero had the following questions and comments:

- Do rental units count toward the Regional Housing Needs Allocation (RHNA) amount for Clayton? Interim Director Woltering indicated that rental units count toward RHNA as well as for-sale units and this project would provide seven low-income units and a surplus of moderate-income units.
- Did the City require the applicant to submit a three-story project? Interim Director Woltering said the City did not require any number of floors. The applicant had initially submitted a two-story proposal but the structural length of the building in the initial proposal was too long and did not comply with the Town Center Specific Plan architectural guidelines which, in part, encourage breaking up excessively long facades into smaller components. As a result, staff asked the applicant to revise the plans to comply with these guidelines and the current proposal is what the applicant submitted; however, staff did not suggest nor imply that the revised proposal be three stories in height.
- What projects in the Town Center received parking waivers? Interim Director Woltering indicated that three projects total have received parking waivers but only two of the three projects have been constructed: Flora Square and Bocce Courts. The other project to receive parking exemptions, Creekside Terrace, has not been constructed.
- Does the Stranahan subdivision have public or private streets? Interim Director Woltering indicated that the Stranahan subdivision contains public streets.
- Would be interested to know how long it takes on public transportation during commute hours to get from the project site to the nearest Bay Area Rapid Transit (BART) station.
- Since storypoles were used on the proposed Clayton Community Church project, it may be good to use storypoles for this project. Interim Director Woltering indicated that, from staff's perspective, the two sites are different. The setting for the subject project site is different than the former Clayton Community Church project site in that the subject project site backs up to a steep slope with neighboring residences to the west being much higher in elevation than the project with negligible visual impacts in terms of views being blocked whereas the former Clayton Community Church project site was level and extremely visible in all directions.
- Are the exterior signs proposed for the project a requirement? Interim Director Woltering indicated that exterior signage was not required by the staff.
- Does State law pre-empt local regulations regarding density bonus? Interim Director Woltering responded, yes, State law pre-empts local regulations.

Commissioner Gavidia had the following questions and comments:

- Have concerns regarding the economic necessity vs financial viability for the project.
- It appears that staff worked extra hours to complete and distribute the staff report for the project. Interim Director Woltering indicated that, as is typical for larger projects in communities with small staffing, a complex project of this nature can take additional time to process and prepare for a meeting.
- I think installation of storypoles would be beneficial given the potential impacts to the scenic corridor along Marsh Creek Road.
- What was the rationale behind the City increasing the density of the project site from 15 units per acre to 20 units per acre. Interim Director Woltering indicated densities were increased related to General Plan Housing Element mandates in order to facilitate the production of affordable housing.
- Why the difference of four parking spaces between the target number of 90 spaces as addressed in the peer review parking report and the 86 spaces proposed by the applicant. Interim Director Woltering indicated that other competing interests come into play such as trash enclosures, landscaping, etc. The applicant removed garages and carports to achieve 90 spaces and was able to provide 86 spaces which, from staff's perspective, fell within a reasonable range of the target amount of 90 spaces.
- Concerned that, given the definition of age restriction at 55 years, many people will have children that drive vehicles which results in far more spaces than 86 and there may be some overflow impacts.
- It would appear that, given 6170 High Street being located in the Town Center Specific Plan area, the project should be treated as separate projects with one lot subject to Town Center Specific Plan guidelines and the other two lots treated differently as they are outside of the Town Center Specific Plan area.
- Concerned we are losing two mature trees on the 6170 High Street parcel. Planning Consultant Holly Pearson indicated that the trees would need to be removed in order to allow for on-site installation of State-required stormwater facilities.
- Concerned that the replacement trees being proposed do not appear on the City's list of approved trees.
- Would the City be impacted by public service costs as a result of the project? Interim Director Woltering indicated that there would be increased costs for services as well as increased revenue generated by the project.
- Request an explanation as to how the project was defined as an Infill development. Interim Director Woltering explained that the project qualifies as an Infill development based on the determination that the project complies with all the criteria listed in Section 15332 of the CEQA guidelines.

Chair Cloven indicated that many of his questions were answered based on the questions asked by the other Planning Commissioners and had the following questions and comments:

- The project should be compliant with the CMC standard of review that the project does not have to be identical but should be complementary with adjacent existing structures in terms of materials, colors, size, and bulk.

- As with the other Planning Commissioners, I have concerns over the off-street parking proposed for the project, parking impacts to the Stranahan subdivision, number of compact spaces factored in, and the determination that removing covered parking and garages would increase the number of off-street parking spaces. Interim Director Woltering indicated that the rationale behind removal of the garages was based on garages being more commonly used for storage rather than for parking. By removing the garages, the parking spaces would then be used for parking rather than for storage.
- How would the age of the tenants being 55 or older be verified? Interim Director Woltering indicated that a third party administrator would be hired by and paid for by the property owner in order to ensure that the main tenants of each unit would fall into the age-restricted category of 55 years old.
- The Planning Commission may wish to challenge the CEQA determination that the project would not cause traffic impacts and, as a result, it would be beneficial to have the City Attorney attend the next meeting as the Planning Commission continues to review the project. Interim Director Woltering indicated that the City Attorney would attend the next Planning Commission meeting and that the public hearing for the project would likely be continued and would benefit from her attendance.

The public hearing was opened.

Charlie Knox, planning consultant for the developer, described aspects of connectivity between the three parcels as related to pathways and explained that the first iteration of project design began five years ago but, as we have moved forward through time, we think a senior project would generate less traffic and create less impacts. He indicated that, had the developer proposed a 62-and-older project, State law requires only 0.5 spaces per unit which would have resulted in far less off-street parking spaces than the 86 spaces being proposed.

Leila Hakimzadeh, architectural consultant for the developer, described various architectural aspects of the project and how these proposed attributes comply with the Town Center Specific Plan architectural guidelines.

William Jordan, the developer, explained the history of the project and described the hard work involved in bringing a quality project before the Planning Commission with an emphasis on integrating the proposal into the fabric of the community.

The following questions were asked of the developer as well as comments provided by the Planning Commission:

- Was the increase in the number of units as a result of the density range being modified from 15 units per acre to 20 units per acre? Mr. Jordan responded yes.
- What happens in the instance that the first year a senior tenant moves into one of the very low income units by qualifying based on only living on social security but then the next year retirement benefits commence and suddenly the tenant is earning much more money? Mr. Jordan indicated that the senior tenant would have the option to either move to a moderate income unit or move out of the complex.

- Regarding the coffee bar and anticipated employees serving the tenants, this may lead to yet more impacts to the off-street parking.
- It would be beneficial to incorporate solar into the project.
- As part of the proposed transportation management plan, are there any other transportation options to reduce the parking burden other than public transportation? Mr. Jordan indicated that zip cars would be a possible option.

The following comments were expressed in opposition to the project as provided by Dan Hummer, Joanna Welch, Brian Buddell, Irina Liskovich, Dan Manista, Kent Ipsen, Dana Pinaula, Doug Rogers, Brian Kreft, Wendi Laughlin, and Tony Gianni:

- There is insufficient off-street parking proposed for the project.
- Public safety is a concern in terms of the volume of traffic generated by the project and how the traffic will impact the busy Marsh Creek Road corridor.
- There will be view impacts to residences located within the Stranahan subdivision.
- Drought conditions will be exacerbated by the increased use of water.
- Impacts to sewer capacity are a concern.
- Requiring compact parking spaces seems presumptuous since we cannot predict the size of cars that tenants will drive.
- Appears to be infeasible to have the City hire out for an age and income monitoring consultant that would be paid for by the developer.
- Concerned over impacts caused by drainage, water use, medical personnel, police personnel, ambulance sirens, reduction of property values, and fire safety ingress and egress.
- The Planning Commission's job is to protect our community from projects such as this.
- The parking overflow will impact the Stranahan subdivision, Town Center, and the Village Oaks parking lot.
- The project should be vetted better with all the issues addressed.
- Concerns over people in their 50s and 60s bringing their entire family to live in Olivia on Marsh Creek the project which will cause many more young people to live in the project.
- I do not trust real estate agents to be good developers.
- The project will impact the privacy of surrounding properties.
- In defense of former Community Development Director Mindy Gentry, Ms. Gentry did not require the developer to propose a three-story project.
- Drainage, traffic, circulation, and environmental concerns should be addressed.
- Storypoles should be used for the project.
- The massing of the project is too large.
- The quaintness of our community will be ruined by the project.
- It is a misrepresentation to identify Olivia on Marsh Creek as a senior living facility.
- While not opposed to the project, the shortfall in off-street parking is a concern.
- Typically, each person has their own car.
- Using parking comparison examples from the east coast is irrelevant to conditions in California.
- Even locally, conditions in San Francisco are not conducive to using a car; however, in rural areas a car is necessary.

- It would be detrimental to Clayton to approve the project with the limited on-site parking being proposed.
- I own four cars so it would be expected that residents of this project would have more than one car.
- Replacement trees can take many years to mature.
- I think a project of this type would benefit from including people with disabilities which would reduce traffic and parking impacts.
- I understand that change will happen, but the project just seems so large.
- Marsh Creek Road is dangerous and I worry that the project will just make the dangerous traffic conditions worse.
- We have so many festivals in the Town Center where people park their cars in the Stranahan subdivision. The project would exacerbate the parking impacts.
- I have lived in Clayton for 40 years.
- This project is not a good fit for Clayton.
- We have Clayton-specific standards that we have to adhere to and a three-story building does not comply with our community standards.
- The project would ruin the aspects that we love about our community and disrupts the ambience of Clayton.
- Why are we considering a three-story project when no one else has been allowed to build a project that tall?
- Storypoles are crucial to assist the community in understanding how the project will appear.

The following comments were expressed in support of the project as provided by Adam Harris, Dee Vieira, Michael Jordan, Robert Hoyer, Howard Geller,

- I commend Mr. Jordan on his hard work in bringing a quality project before the Planning Commission and I think he has done an excellent job in being dedicated to our community.
- I embrace change and it is unrealistic to expect a developable infill property to remain vacant forever.
- Property owners of vacant lots have a right to develop their properties.
- The impacts to our infrastructure caused by the project are minimal.
- Affordable housing is needed in the Bay Area.
- Mr. Jordan is also a Clayton resident and he has put a lot of effort into proposing a quality project that he, his family, and the community would be proud of.
- The project benefits the community by helping people 55-and-older to afford to move to Clayton.
- It appears that Mr. Jordan has gone above and beyond to comply with applicable requirements and propose a quality project.
- I would ask Mr. Jordan that, in order for the project to increase the benefits to our community, could you enhance this project by sponsoring a parcourse along the Donner Creek Trail which would be a perk for everyone in our community to use to better the health and longevity of our citizens.
- We have anticipated the negative response to the project from this community.
- Every comment in opposition to the project entails a "not in my back yard" attitude.
- I have lived in Clayton for 59 years and I can remember when none of the subdivisions that exist today were built yet.
- There were only 800 people in Clayton when I first moved here.

- I remember when there was a beautiful orchard where the Stranahan subdivision is now located. I loved looking at the orchard but I didn't stare at the orchard all day.
- I remember when the City approved the construction of 1,800 units in the Keller Ranch and Oakhurst areas of Clayton. Many people were opposed to the construction of so many homes in the hills of Clayton yet none of the concerns expressed at that time ever became issues.
- The people opposed to the Olivia on Marsh Creek project don't realize that there was community opposition to the construction of the subdivisions that they now live in.
- Change is part of the developable evolution of our community.
- I think this is a very good project.
- Of course there are project-related issues to iron out, but professional experts have provided studies related to the parking.
- If a prospective tenant were to have four cars, the owners of Olivia on Marsh Creek could make the decision not to rent to them.
- The parking impacts can be mitigated.
- Mr. Jordan has proposed a quality development.
- The issues around parking are easily solved by not renting to prospective tenants that have too many cars. It's a problem that is easily solved.
- Mr. Jordan has worked for many years to make this project viable.
- The State has mandated affordable high density projects and encourages this type of development.

The public hearing was closed.

Interim Director Woltering indicated that, given the further research needed by staff and the legal questions provided by the Planning Commission, it would be helpful to continue to public hearing.

Commissioner Altwal and Vice Chair Chippero asked the following questions:

- Are storypoles required for projects? Interim Director Woltering indicated that installation of storypoles is not a mandatory requirement.
- Why were storypoles provided for the former Clayton Community Church project? Interim Director Woltering indicated that the reason storypoles were required for the formerly-proposed Clayton Community Church project was because the setting for the former Clayton Community Church project site was level and extremely visible in all directions.
- Why were storypoles provided for a two-story residence located on Bigelow Street? Interim Director Woltering indicated that, as with the Clayton Community Church project site, the setting for the Bigelow Street residence was quite prominent and was extremely visible in all directions as well as being located in close proximity to adjacent residential properties.

By consensus, the Planning Commission agreed that more time was needed to review the project and allow for further research to be conducted as well as to provide an opportunity for the City Attorney to attend the public hearing.

Commissioner Altwal made a motion and Vice Chair Chippero seconded a motion to continue the public hearing to the regularly-scheduled Planning Commission on December 10, 2019. The motion passed 4-0.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

8.a. Staff — None.

8.b. Commission — None.

9. ADJOURNMENT

9.a. The meeting was adjourned at 11:25 p.m. to the regularly-scheduled meeting of the Planning Commission on December 10, 2019 with the consideration that the regularly-scheduled Planning Commission meeting on November 26, 2019 would be cancelled.

Submitted by
David Woltering, AICP, MPA
Interim Community Development Director

Approved by
Peter Cloven
Chair

**PLANNING COMMISSION
STAFF REPORT**

Meeting Date: December 10, 2019

Item Number: 5.a

From: David Woltering, AICP, MPA
Interim Community Development Director



Subject: Public Hearing to review and consider an Infill Exemption in accordance with the California Environmental Quality Act (CEQA), Affordable Housing Density Bonus Application, Site Plan Review Permit, and Tree Removal Permit for The Olivia on Marsh Creek, an 81-unit Senior Rental Housing Development (ENV-01-17, DBA-01-19, SPR-04-17, TRP-24-17)

Applicant: William Jordan

REQUEST

The applicant, William Jordan, requests a public hearing before the Clayton Planning Commission for the purpose of reviewing the Infill Exemption (ENV-01-17), Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek, a proposed 81-unit senior (55 and older) rental housing project. The project includes seven affordable units designated for Very Low Income households (as defined by the U.S. Department of Housing and Urban Development [HUD]). The proposed development is located on three adjacent parcels at the southwest corner of the intersection of High Street and Marsh Creek Road in the Town Center (6170 High Street) and just south of the Town Center (6450 Marsh Creek Road and 6490 Marsh Creek Road) of Clayton. The total area of the project site is 3.02 acres (see Attachment A for Vicinity Map).

The Affordable Housing Density Bonus application involves a request to allow a greater number of residential units than is normally permitted on the site under the General Plan land use designation and zoning (81 units proposed, as compared to 60 normally permitted) in exchange for the provision of the seven affordable units, in accordance with State and local Density Bonus Law provisions. The Site Plan Review Permit request involves consideration of the architecture, landscaping, parking, lighting, and fencing for the construction of three multi-unit residential buildings on three separate parcels, each consisting of between 25 and 30 units. The Tree Removal Permit request is for the proposed removal of 106 total trees on the three parcels to accommodate construction of the buildings and other improvements, with a tree replacement plan provided.

PROJECT INFORMATION

Applicant/Property Owner:	William Jordan P.O. Box 547 Clayton, CA 94517
Acreeage/Location:	Total of 3.02 acres comprised of three lots: 6170 High Street (APN: 119-021-063) (1.11 acres) 6450 Marsh Creek Road (APN: 119-021-055) (0.97 acres) 6490 Marsh Creek Road (APN: 119-021-013) (0.93 acres)
General Plan Designation:	Multifamily High Density (20 units per acre) Town Center Commercial (for 6170 High Street only)
Town Center Specific Plan Designation:	Multi-Family High Density Residential (15.1 to 20 units per acre) (for 6170 High Street only)
Zoning Classification:	Planned Development (PD) District
Surrounding General Plan Designations:	North: Town Center Commercial South: Multifamily High Density (20 units per acre) Rural Estate (0 to 1.0 units per acre) East: Town Center Commercial Single Family High Density (5.1 to 7.5 units per acre) West: Multifamily High Density (20 units per acre) Rural Estate (0 to 1.0 units per acre)
Surrounding Zoning Classifications:	North: Planned Development (PD) District South: Planned Development (PD) District East: Planned Development (PD) District West: Planned Development (PD) District Single Family Residential R-40-H (minimum lot area 40,000 square feet with equestrian uses)
Environmental Review:	Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Section 15332, Infill Development Projects.
Public Notice:	On November 29, 2019, a Public Hearing Notice was published in the Contra Costa Times, posted on the notice boards, and mailed to property owners located within 300 feet of the project site.
Authority:	Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a Site Plan Review Permit in accordance with the standards of review in CMC Section 17.44.040.

Chapter 17.90 of the CMC incorporates the State requirements set forth in California Government Code Section 65915 authorizes the City to approve additional density for a residential development beyond the maximum density allowed in the applicable zoning district, in exchange for the inclusion of affordable housing units in the development.

BACKGROUND

This request was considered by the Planning Commission at its November 12, 2019 meeting and, then, continued at that meeting by the Planning Commission to its meeting on December 10, 2019 to receive further information as well as allow additional input, discussion, and action on the matter. At the November 12th meeting, there was considerable discussion and input received from the public and Planning Commissioners on this proposal. Staff has attached to this report the November 12th Staff Report (see Attachment D), the Draft Minutes from that meeting (see Attachment E), and a paper describing and responding to questions raised at or related to the November 12th Planning Commission meeting on this matter (see Attachment F).

Based on input and suggestions received at the November 12th meeting, staff continued to work with the applicant to address concerns raised regarding the proposed project. The modifications provided as a result of input and suggestions are described below and supported by added conditions of approval in the project resolution (see Attachment C).

Project Modifications

During the public testimony at the November 12th meeting, there were specific concerns raised about a number of issues, including spillover parking, traffic speeds on Marsh Creek Road, pedestrian safety, and the adequacy of tree replacement in terms of loss of carbon absorption. Added recommended Condition No. 119 requires the applicant to fund a Permit Parking Program System for the Stranahan Subdivision to limit possible spillover parking there from outside that neighborhood. Condition No. 122 requires the property owner to provide annual bus passes to tenants and establish a car share program for the project to facilitate reducing parking demand within the project. Electronic speed indicator signage is required by added Condition No. 120 in the vicinity of the intersection of Marsh Creek Road and Stranahan Circle to reduce traffic speeds on Marsh Creek Road. Crosswalk flashers are required with Condition No. 121 on Marsh Creek Road at the trail crosswalk south of the project site. The applicant is required to provide and install 50 additional trees off-site in the community to provide for carbon absorption.

Overall, there are over 120 conditions being recommended for approving this proposed project. These conditions include a full program to regulate the affordable housing units under Condition No. 1; installation of cameras to monitor the parking areas and key access points to the property as described in Condition No. 112; and a property maintenance program detailed in Condition No. 114.

ENVIRONMENTAL REVIEW

The project is Categorically Exempt pursuant to the CEQA Guidelines Section 15332, Infill Development Projects (also referred to as a Class 32 Infill Exemption). The project meets all the conditions outlined in Section 15332: (1) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) The proposed development occurs within the city limits on a project site of no more than five acres, surrounded by developed areas; (3) The project site has no value as habitat for endangered, rare, or threatened species; (4) Project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) The site can be adequately served by all required utilities and public services. In addition, none of the exceptions to the Categorical Exemption listed in CEQA Guidelines Section 15300.2 apply to this project.

Staff retained Raney Planning & Management to prepare an environmental analysis of the project to determine whether the proposed development meets the criteria for a Class 32 Infill Exemption. The analysis reviewed the biological, air quality, noise, traffic, and water qualities studies prepared for the project and concluded that the project satisfies all criteria for an Infill Exemption (see Attachment N).

RECOMMENDATION

Staff recommends that the Planning Commission receive and consider the staff report and all information provided and submitted to date, receive and consider any public testimony and, if determined to be appropriate:

- 1) Adopt Planning Commission Resolution No. 05-19 making the determination that the project qualifies for a Categorical Exemption, under Class 32 Infill Development Projects, pursuant to the California Environmental Quality Act (ENV-01-17)(see Attachment B); and
- 2) Adopt Planning Commission Resolution No. 06-19 approving the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SRP-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek, an 81-unit senior residential development project (see Attachment C).

ATTACHMENTS

- A Vicinity Map
- B Planning Commission Resolution No. 05-19
- C Planning Commission Resolution No. 06-19
- D Staff Report from the November 12, 2019 Planning Commission Meeting
- E Minutes from the November 12, 2019 Planning Commission Meeting
- F Responses to Questions Raised at or Related to the November 12, 2019 Planning Commission Meeting
- G Project Plans for The Olivia on Marsh Creek, including:
 - Architectural Plans (Color renderings, Floor Plans, Roof Plans, and Elevations)
 - Landscape Plans (Conceptual Landscape Plans, Conceptual Planting Palettes, Planting Images, Conceptual Landscape Details)
 - Civil Plans (Site Plans, Existing Site Conditions, Demolition and Tree Removal Plans, Utility Plans, Offsite Storm Drain Plans, C-3 Compliance Exhibits)

- H The Olivia on Marsh Creek Colors and Materials Examples (to be distributed at the November 12, 2019 Planning Commission meeting)
- I "Economic Analysis of Requested Concessions – Clayton Senior Housing Project" by PlaceWorks
- J "Peer Review of Economic Analysis" by Michael Baker International
- K "The Olivia on Marsh Creek Parking Study – Final Memorandum" by Kimley-Horn
- L Peer Review of Kimley-Horn Parking Study by Michael Baker International
- M Arborist Report and Addendum
- N CEQA Infill Exemption Report from Raney Planning & Management, Inc.



VICINITY MAP

	<p>Olivia on Marsh Creek Project ENV-01-17/DBA-01-19/SPR-04-17/TRP-24-17 6170 High Street (APN: 119-021-063) 6450 Marsh Creek Road (APN: 119-021-055) 6490 Marsh Creek Road (APN: 119-021-013)</p>	<p>(Not to Scale)</p>
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**CITY OF CLAYTON
PLANNING COMMISSION
RESOLUTION NO. 05-19**

**A RESOLUTION OF THE CLAYTON PLANNING COMMISSION DETERMINING THAT THE OLIVIA
ON MARSH CREEK SENIOR HOUSING PROJECT QUALIFIES FOR A CATEGORICAL EXEMPTION
UNDER CLASS 32 – INFILL DEVELOPMENT PROJECTS
PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT
(ENV-01-17)**

WHEREAS, the City received an application from William Jordan requesting review and consideration of an Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), Tree Removal Permit (TRP-24-17), and related Environmental Review (ENV-01-17) for development of an 81-unit senior residential development located on three adjacent parcels with a total area of 3.02 acres ("Project"), located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013); and

WHEREAS, the Project meets the definition of an infill development project as specified in Section 15332 of Title 14 of the California Code of Regulations, the California Environmental Quality Act ("CEQA") Guidelines; and

WHEREAS, the City commissioned an independent analysis of the Project's eligibility for a Class 32 Infill Exemption by Raney Planning & Management, Inc., titled "Infill Exemption Environmental Analysis for Clayton Senior Housing Project" and dated June 14, 2019, which analyzes whether the Project meets all criteria of the Class 32 Infill Exemption as stated in CEQA Guidelines Section 15332, and which is attached as Exhibit A to this Resolution; and

WHEREAS, the Clayton Planning Commission has reviewed the "Infill Exemption Environmental Analysis for Clayton Senior Housing Project"; and

WHEREAS, on November 12, 2019, and December 10, 2019, the Clayton Planning Commission held a duly-noticed public hearings on the Project, including staff's recommended determination of a Class 32 Categorical Exemption (Infill Development Projects) pursuant to the CEQA Guidelines.

NOW, THEREFORE, BE IT RESOLVED, as follows:

1. The foregoing recitals are true and correct.
2. The Clayton Planning Commission hereby finds, on the basis of the whole record before it, that:
 - a. The City of Clayton exercised overall control and direction over the CEQA review for the Project, including the preparation of the “Infill Exemption Environmental Analysis for Clayton Senior Housing”, and independently reviewed the same; and
 - b. There is no substantial evidence that the Project will have a significant effect on the environment; and
 - c. The “Infill Exemption Environmental Analysis for Clayton Senior Housing” reflects the City’s independent judgment and analysis.
3. The Clayton Planning Commission hereby determines that the Project is Categorically Exempt, under Class 32 – Infill Development Projects, from further review pursuant to the California Environmental Quality Act.

PASSED AND ADOPTED by the Planning Commission of the City of Clayton at a regular meeting on the 10th day of December, 2019.

APPROVED:

ATTEST:

Peter Cloven
Chair

David Woltering
Interim Community Development Director

ATTACHMENTS

Exhibit A – Infill Exemption Environmental Analysis for Clayton Senior Housing Project by Raney Planning & Management, Inc.

**CITY OF CLAYTON
PLANNING COMMISSION
RESOLUTION NO. 06-19**

A RESOLUTION APPROVING THE AFFORDABLE HOUSING DENSITY BONUS APPLICATION (DBA-01-19), SITE PLAN REVIEW (SPR-04-17), AND TREE REMOVAL PERMIT (TRP-S4-17) FOR THE OLIVIA ON MARSH CREEK SENIOR HOUSING PROJECT

WHEREAS, the City received an application from William Jordan requesting review and consideration of an Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17), and related Environmental Review (ENV-01-17) for development of an 81-unit senior residential project located on three adjacent parcels with a total area of 3.02 acres ("Project"), known as The Olivia on Marsh Creek Road, located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013); and

WHEREAS, the City commissioned an independent analysis of the Project's eligibility for an Infill Exemption by Raney Planning & Management, Inc., titled "Infill Exemption Environmental Analysis for Clayton Senior Housing Project" and dated June 14, 2019, which analyzes whether the Project meets all criteria of the Class 32 Infill Exemption as stated in California Environmental Quality Act (CEQA) Guidelines Section 15332; and

WHEREAS, the Clayton Planning Commission adopted Resolution No. 05-19 determining that the Project is Categorical Exempt from environmental review pursuant to CEQA, under Class 32 (Infill Development Projects) of the CEQA Guidelines, at the Planning Commission meeting of December 10, 2019; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, on November 12, 2019, and on December 10, 2019, the Clayton Planning Commission held a duly-noticed public hearing on the Project and received and considered testimony and evidence, both oral and documentary.

NOW, THEREFORE, BE IT RESOLVED, the Planning Commission does determine the foregoing recitals are true and correct and makes the following findings for approval of the Project:

Clayton Municipal Code (CMC) Section 17.90.090 and State Density Bonus law states that the City shall grant the concessions or incentives requested by a project applicant unless the City makes a written finding, based upon substantial evidence, of either of the following:

- A. *The concession or incentive is not required in order to provide for Affordable Housing Costs;***

- B. *The concession or incentive would have a specific adverse impact upon public health and safety or the physical environment or on any real property that is listed in the Federal Register of Historical Resources or any locally officially designated architecturally and historically significant buildings and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Low and Moderate Income households.***

The applicant has submitted documentation demonstrating that the two requested concessions are required in order to make the development project economically feasible with inclusion of the affordable units. According to the independent analysis prepared on the applicant's behalf, and subject to a peer review by the City's independent consultant, for the cost savings of the concessions: (1) a reduction in setback requirements for buildings and parking spaces; and (2) a reduction in the required number of parking spaces; the total cost savings makes it possible to offer seven units at reduced rents to Very Low Income households.

The City further finds that the requested concessions would not have an adverse impact on public health or safety, the physical environment, or historic resources as defined in Government Code section 65589.5(d)(2). There are no environmentally sensitive areas or historic resources on or adjacent to the project site. With one parking space provided per dwelling unit, the project will avoid any potential negative impacts related to parking.

NOW THEREFORE BE IT FURTHER RESOLVED, the Planning Commission hereby makes the following required findings for approval of a Site Plan Review Permit:

- 1. *That the project is consistent with the General Plan and Town Center Specific Plan designations and policies.***

The General Plan designation of the project site is Multifamily High Density (MHD) (20 units per acre) and the Specific Plan designation is Multi-Family High Density Residential (15.1-20 units per acre). These designations are intended to facilitate development of apartments or condominiums, and include affordable housing, two stories or higher in areas of Clayton where higher densities are appropriate, such as near the commercial center. The proposed development is partially within and immediately adjacent to the commercial Town Center of Clayton. The proposed design is complementary to the western design theme of the Town Center Specific Plan. The land use designation allows for maximum structural coverage of 65% of the site area. The proposed project is well below this maximum, with lot coverages of 24.1% for 6170 High Street, 24.5% for 6450 Marsh Creek Road, and 26.1% for 6490 Marsh Creek Road.

The policies for the MHD land use designation encourage new development to use "Planned Development concepts and standards, with incorporation of significant design and amenity in the project." The project site is subject to the Planned Development District zoning regulations and corresponding development standards. The project is well designed, with quality building materials, articulated facades, ample open space, diverse and attractive landscaping, and other amenities including outdoor furnishings, bicycle racks and an assigned parking space for each unit.

Due to the project incorporating a density bonus, pursuant to State law and the City's Affordable Housing Density Bonus Requirements Ordinance, it exceeds the 20 unit per acre residential density for the MHD land use designation. Proposed residential density for the project with the bonus units is 26.8 units per acre. However, the state Density Bonus Law allows a development project to exceed the maximum density allowed under the General Plan when affordable housing units are included and the granting of the density bonus shall not require, or be interpreted, in and of itself, to require a general plan amendment. Furthermore, the Density Bonus Law requires the City to approve the project with the additional density, provided that it meets all requirements of the law and does not result in specific adverse impacts as defined in Government Code section 65589.5(d)(2). Thus, in this case the project is allowed and is consistent with state law and the City's general plan and local regulations (CMC Chapter 17.90) at the proposed density of 26.8 units per acre.

2. *Meets the standards and requirements of the Zoning Ordinance.*

The project meets the requirements of CMC Chapter 17.90, the Affordable Housing Density Bonus Requirements. Eleven percent of the number of 60 residential units allowed under the General Plan are set aside for households meeting HUD's definition of Very Low Income. Therefore, the project is entitled to a 35 percent density bonus, equivalent to 21 additional units. The type and size of affordable units reflects the range and sizes of units in the project as a whole (five one-bedroom units and two two-bedroom units are designated as below market rate [BMR]). The units are dispersed throughout the three buildings and are identical in design and construction quality to the market-rate units.

The applicant has submitted all required materials for the Affordable Housing Unit Plan that are listed in CMC Section 17.90.140. A requirement for an Affordable Housing Unit Agreement pursuant to CMC Section 17.90.150 has been included as a Condition of Approval for the project.

In addition, the project complies with the zoning standards of the Planned Development District in CMC Chapter 17.28. As prescribed in CMC Section 17.28.050.B, the applicable development standards are the Multiple Family Residential High Density (M-R-H) District standards in Chapter 17.20. With the

exception of minor variations in required setbacks and building height and the reduced parking requirements that are permitted through the granting of concessions and waivers/reductions pursuant to the Density Bonus Law, which shall not require, or be interpreted, in and of itself, to require a zoning change the project meets the development standards for the M-R-H District.

3. *Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.*

The project is located on a mostly level site that is not impacted by landslide hazard and is not located in an area at risk of flooding. The project will comply with local and State building codes for seismic safety and fire prevention.

4. *Maintains solar rights of adjacent properties.*

The project is located on a relatively flat site and maintains adequate building setbacks from property lines, thereby avoiding shadow impacts and protecting solar access for adjacent properties.

5. *Reasonably maintains the privacy of adjacent property owners and/or occupants.*

Mature existing trees along the western property line of the subject parcels and along the southern property line of 6490 Marsh Creek Road will be maintained, helping to ensure privacy for adjacent properties to the west and south. In addition, new Oak and Bay trees will be planted along the western property line of 6170 High Street to provide additional screening. Along the "flagpole" section of 6470 Marsh Creek Road that is located between the two subject parcels at 6450 and 6490 Marsh Creek Road, six-foot high solid wood fencing is proposed to ensure privacy for the former parcel.

6. *Reasonably maintains the existing views of adjacent property owners and/or occupants.*

The project is located on a relatively flat site and is downhill from the adjacent property to the west. Because of the significant difference in elevation between the subject site (approximate elevation of 400 feet above sea level) and the properties to the west, 6470 Marsh Creek Road and 6061 Clayton View Lane, (approximate elevation of 450 feet above sea level) the proposed buildings will not obstruct views from these neighboring properties to the west. No other properties adjacent to the project site have significant views.

7. *Is complementary, although not identical, with adjacent existing structures in terms of design, materials, colors, size, and bulk.*

The applicant has requested a waiver of this standard pursuant to the Density Bonus

Law. The size and bulk of the proposed buildings (three stories in height) exceed that of many of the existing structures in the surrounding area. However, the topography in the vicinity of the project site, specifically the hill immediately to the west, has the effect of lessening the visual impact of the taller buildings. In addition, variations in exterior wall planes and design articulation of the facades helps to create a less bulky appearance.

Building materials such as smooth hardiplank siding, brick and composition shingle roofing, as well as stone retaining walls, are similar and complementary to the design and rustic character of nearby structures. Proposed exterior colors for the buildings are primarily neutral and natural earth-tones, such as beiges, browns, grays, and brownish shades of red, which are complementary with the character of the surrounding area.

8. *Is in accordance with the design standards for manufactured homes per Section 17.36.078. of the CMC*

Not applicable – the project does not include manufactured homes.

9. *Proposed tree removal with proposed tree replacement will not adversely impact the health, safety, and general welfare of the residents, while balancing the right of an individual to develop private property per Section 15.70.010 of the CMC.*

The applicant is proposing and the City is requiring replacement trees both on-site and off-site with this proposed project.

NOW THEREFORE BE IT FURTHER RESOLVED, The Clayton Planning Commission does hereby approve the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek Road, an 81-unit senior residential development located on three adjacent parcels with a total area of 3.02 acres, located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013), subject to the following conditions:

PLANNING CONDITIONS

1. An Affordable Housing Unit Agreement (AUA) shall be recorded as a restriction on each parcel on which the Affordable Housing units will be constructed in a form acceptable to the City Attorney. The approval and recordation of the AUA shall take place prior to issuance of building permits. The AUA shall be binding on all future owners and successors interest. The AUA shall include, at minimum, but shall not be limited to the following:
 - a. A description of the development, including the total number of units, the number of Affordable Housing Units, and the tenure of the Affordable Housing Units;

- b. The size, in square footage, and location of Affordable Housing Units;
 - c. A description of the household income group to be accommodated by the Affordable Housing Units, and the formula for determining the monthly rent amount for each Affordable Housing Unit;
 - d. The term of affordability for the Affordable Housing Units;
 - e. A schedule for completion and occupancy of the Affordable Housing Units;
 - f. Provisions and/or documents for rights of first refusal or rental restrictions;
 - g. The Marketing Plan for rental of the Affordable Housing Units;
 - h. Provisions for monitoring the ongoing affordability of the Affordable Housing Units, and the process for qualifying prospective resident households for income eligibility; and
 - i. A description of the concession(s) or incentive(s) provided by the City.
 - j. Specific property management procedures for qualifying and documenting tenant income eligibility, establishing affordable rent and maintaining Affordable Housing units for qualified tenants;
 - k. Provisions requiring property owners to verify household incomes and maintain books and record to demonstrate compliance with this chapter;
 - l. Provisions requiring the Property Owner to submit an annual report to the city, which includes the name(s), address, and income of each household occupying target units, and which identifies the bedroom size and monthly rent or cost of each Affordable Housing unit;
 - m. Provisions describing the amount of, and timing for payment of, Administrative Fees to be paid to the city for the mandated term of compliance monitoring in accordance with the provisions of this chapter; and
 - n. Any additional obligations relevant to the compliance with Chapter 17.90 of the Clayton Municipal Code, *Affordable Housing Density Bonus Requirements*.
2. The project is subject to development impact fees. The applicant shall be responsible for all fees and environmental review costs, including those charged by the California Department of Fish and Wildlife.
3. Any major changes to the project as determined by the Community Development Director shall require Planning Commission review and approval. Any minor changes to the project as determined by the Community Development Director shall be subject to City staff review and approval.
4. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and other fees that are due.

5. Parking spaces shall be assigned to specific residential units. Each unit shall have one (1) assigned parking space. The number and location of the assigned parking space shall be stated in the rental agreement for each unit.
6. The applicant shall execute a shared parking agreement between 6170 High Street and 6450 Marsh Creek Road allowing for three (3) resident parking spaces and one (1) guest parking space for 6170 High Street to be located on the 6450 Marsh Creek Road parcel. The shared parking agreement shall be recorded on the deed for each parcel and shall be in a form acceptable to the City Attorney.
7. Prior to issuance of a building permit, the applicant shall assure there is a recorded easement in a form acceptable to the City Attorney between Site 1 and Site 2 for pedestrian access between parking lot areas.
8. Prior to the commencement of grading, demolition, or construction activities, the applicant shall submit a recycling plan for construction materials to the City for review and approval. The plan shall include that all materials that would not be acceptable for disposal in the sanitary landfill be recycled/reused. Documentation of the material type, amount, where taken, and receipts for verification and certification statements shall be included in the plan. The applicant shall submit deposits to the City to ensure good faith efforts of construction and demolition recycling. A deposit of \$2,000 per residence shall be submitted prior to issuance of the building permit for each residence, or demolition permit. Appropriate documentation regarding recycling shall be provided to the City. All staff costs related to the review, monitoring, and enforcement of this condition shall be charged to the deposit account.
9. Prior to issuance of demolition permits for on-site structures, the applicant shall show compliance with the NPDES Municipal Regional Permit (MRP 2.0) issued by the San Francisco Regional Water Quality Control Board regarding Mercury control and disposal. Building and site assessment shall be conducted to determine if any Mercury-containing devices (i.e. thermostats, etc.) or sources exist. If the assessment identifies any Mercury-containing devices or equipment, the devices or equipment shall be properly removed and disposed of at an acceptable recycling facility or landfill, so that demolition activities do not result in Mercury being scattered on site or entering storm drains. Where applicable, documentation of site assessment and proper disposal shall be provided to the Community Development Department prior to the issuance of any new construction permit.
10. Prior to the issuance of demolition permits, the applicant shall show compliance with the NPDES Municipal Regional Permit (MRP 2.0) issued by the San Francisco Regional Water Quality Control Board regarding polychlorinated biphenyl (PCB) control and disposal. The applicant shall ensure proper management of potential PCB-containing materials and wastes during building demolition and

disposing of PCB properly, so that demolition activities do not result in PCB entering storm drains. Prior to issuance of demolition permits, the applicant shall submit to the Community Development Department an analysis of the existing structures having PCB concentrations below 50 ppm, or provide written documentation and evidence as to the type and style of all structures to be demolished that are single-family residential and/or wood frame structures. If the applicant is unable to obtain compliance by either of these measures, the applicant shall abate any PCB at or above 50 ppb in accordance with an approved disposal plan to be submitted to the Community Development Department prior to issuance of demolition permits.

11. At least thirty (30) days prior to any demolition or groundbreaking activities, the applicant shall retain an exterminator who shall evaluate the site and make recommendations for the control and/or eradication of any on-site rodents. The exterminator's recommendations shall be subject to the review and approval of the Community Development Director. The applicant shall comply with the approved exterminator's recommendations prior to initiation of any demolition or groundbreaking activities.
12. The applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including attorney's fees and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, or the environmental review conducted under the California Environmental Quality Act for this entitlement and related actions. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.

GENERAL CONDITIONS

13. The project shall comply with the Clayton Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Clayton standards.
14. The applicant shall comply with all mitigation measures listed in the CEQA environmental documents, including all Mitigation Measures prepared for this project. The Community Development Director shall interpret the mitigation measures and furnish the applicant with specific improvements to be installed or procedures to follow.
15. The project shall be implemented as indicated on the application form and accompanying materials provided to the City and in compliance with the Clayton

Municipal Code, or as amended by the Planning Commission.

17. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Planning Commission and the standards of the City.
18. This approval expires two years from the date of approval (expires _____, 2021), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Planning Commission. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one-year extension shall be granted.
19. This approval supersedes previous approvals, if any, that have been granted for this site.
20. The general contractor shall install and maintain the erosion and sedimentation control devices around the work premises per the most current NPDES Municipal Regional Permit (MRP). Current MRP is 2.0 and upcoming permit will be MRP-3.0.
21. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Clayton. Advance permission shall be obtained from any property owners or easement holders for any work done within such property or easements.
22. Prior to issuance of the certificate of occupancy for each property, the public improvement for that property including streets, sewers, storm drains, street lights, and traffic signs required for access to the site shall be completed to the sole satisfaction of the City Engineer or City Traffic Engineer.
23. City staff shall inspect the site for compliance with conditions of approval and approved plans prior to final inspection approval.
24. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity. All on-site improvements not covered by the building permit including walkways, driveways, paving, sewers, drainage, curbs, and gutters must be constructed in accordance with approved plans and/or standards and a Site Development Permit approved by the City Engineer.
25. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any

property owner or easement holder for any work done within such property or easement.

26. Building permits for retaining walls shall be obtained as follows:
 - a. For major walls over three feet in height to be constructed during the mass-grading phase, obtain a building permit prior to issuance of the grading permit.
 - b. For all other walls, obtain a building permit prior to issuance of permits for structures on the respective lot in accordance with the applicable California Building Code Standards.

NOISE CONTROL, DUST AND CONDITIONS FOR CONSTRUCTION ACTIVITY

27. An encroachment permit is required for all work in the public right-of-way. Restoration of existing improvements (curb, gutter, sidewalk, street section, etc.) shall be to the City of Clayton standards and as approved by the City Engineer.
28. The use of construction equipment shall be restricted to weekdays between the hours of 8:00 a.m. and 5:00 p.m., or as approved in writing by the City Manager.
29. The project shall be in compliance with and supply all the necessary documentation to comply with the City of Clayton Construction and Demolition Debris Recycling Program.
30. Driveway access to neighboring properties shall be maintained at all times during construction.
31. Standard dust control methods shall be used to stabilize the dust generated by construction activities in accordance with the Bay Area Air Quality Management District standards.
32. The site shall be fenced with locked gates by 7:00 PM. The gates shall remain locked until 7:00 AM. Contractors shall not arrive at the site prior to the opening of the gates. The name and contact information shall be placed at locations on the site for neighbors to contact in the circumstance there is a concern that needs to be addressed to the satisfaction of the City Engineer.
33. All construction equipment utilizing combustion engines shall be equipped with "critical" grade (rather than "stock" grade) noise mufflers or silencers that are in good condition. Back up "beepers" shall be tuned to insure lowest possible noise levels while also serving the safety purpose of the backup sound indicator.
34. Stationary noise sources shall be located at least 300 feet away from any occupied residential or business dwellings unless noise-reducing engine housing enclosures or other appropriate noise screens are provided.

35. Speeds of construction equipment shall be limited to 10 mph. This includes equipment traveling on local streets to and from the site.
36. Access shall be maintained to all driveways at all times.
37. There shall be no parking of construction equipment or construction worker's cars on residential or business streets at any time. A staging area shall be secured prior to issuance of a grading or building permit as determined necessary by the City Engineer.
38. Truck routes for the import or export of cut/fill material shall be identified and approved by the City Engineer prior to the issuance of any permits. Applicant shall be responsible for the repair of any damage to City streets (private and public) caused by the contractor's or subcontractor's vehicles.
39. Prior to construction, applicant shall ensure that the contractor shall contact City inspector for a pre-construction meeting. Haul route shall be submitted for review and approval by the City Engineer.
40. All construction activities must be designed to minimize potential spills from equipment and to provide a planned response in the event an accidental spill occurs. The applicant shall maintain spill equipment on site; there shall be a designated area if refueling takes place on site. Applicant shall insure all construction personnel are trained in proper material handling, cleanup and disposal procedures.
41. Prior to any demolition activities, a demolition permit shall be obtained and all demolition activities be performed in accordance with the Bay Area Air Quality Management District Regulation 11 Hazardous Pollutants, Rule 2 Asbestos Demolition, Renovation, and Manufacturing. The purpose of this Rule is to control emissions of asbestos to the atmosphere during demolition, renovation, milling and manufacturing and establish appropriate waste disposal procedures. These requirements specify the appropriate methods for survey, demolition/removal, and disposal of asbestos materials to control emissions and prevent hazardous conditions. Specifications developed for the demolition activities shall include the proper packaging, manifesting and transport of demolition wastes by trained workers to a permitted facility for disposal in accordance with local, State, and Federal requirements.
42. Prior to demolition or renovation activities that may disturb suspected lead-based paint (LBP), actual material samples shall be collected or an XRF survey performed in order to determine if LBP is present. It should be noted that construction activities that disturb materials or paints containing any amount of lead are subject to certain requirements of the Occupational Safety and Health Administration (OSHA) lead standard contained in 29 CFR 1910.1025 and

1926.62. If lead-based paint is identified, the paint shall be removed by a qualified lead abatement contractor. Specifications developed for the demolition activities shall include the proper packaging, manifesting, and transport of demolition wastes by trained workers to a permitted facility for disposal in accordance with local, State, and Federal requirements.

PROPERTY MAINTENANCE

43. A parking lot sweeping program shall be implemented that, at a minimum, provides for sweeping immediately prior to the storm season and prior to each storm event.
44. The site shall be kept clean of all debris (litter, boxes, junk, garbage, etc.) at all times.
45. No signs shall be installed on this site without prior City approval.
46. Any undeveloped areas on-site shall be maintained in an attractive manner that ensures fire safety and prevents any runoff onto the adjacent sidewalks.

AGENCY REQUIREMENTS

47. Applicable requirements of other agencies including, but not limited to the Contra Costa County Fire District, the Contra Costa Water District, City of Concord (Sanitation), and the East Contra Costa County Habitat Conservancy shall be met.

FEES

48. The applicant shall pay all fees required by the City Council and other applicable agencies.
49. The applicant shall pay all required fees at the time of building permit issuance.

GRADING

50. All grading shall be required grading and drainage plan prepared by a registered Civil Engineer, a soils report prepared by a registered Geotechnical Engineer and a Grading Permit approved by the City Engineer. The grading plans and soils report shall require review by the City's geotechnical consultant with all costs to be borne by the applicant.
51. All recommendations made in the Soil Engineers report (unless amended through the City's review) and all recommendations made by the City's geotechnical consultant shall be incorporated into the design and construction of

the project.

52. Contour grading techniques with spot elevations shall be employed throughout the project to achieve a more natural appearance, even where this will increase the amount of grading.
53. Tops of cuts or toes of fills adjacent to existing public rights-of-way or easements shall be set back two feet minimum from said rights-of-way and easements.
54. Erosion control measures shall be implemented by the applicant per plans approved by the City Engineer for all grading work not completed before October 1. At the time of approval of the improvement and/or grading plans, an approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the City Engineer.
55. All graded slopes in excess of 5 feet in height shall be hydroseeded no later than September 15 and irrigated (if necessary) to ensure establishment prior to the onset of the rainy season
56. The applicant's engineer shall certify the actual pad elevation for the lot in accordance with City standards prior to issuance of Building Permit.
57. Any grading on adjacent properties will require written approval of those property owners affected.
58. If cultural resources are discovered during subsurface excavations, the Contractor shall cease construction and a qualified archeologist shall be contacted to make recommendations for mitigation.
59. The plans shall include the boundary treatment shown on cross sections, drawn to scale, for retaining walls, fencing and drainage.
60. All elevations shown on the grading and improvement plans shall be on the USGS 1929 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.

UTILITIES

61. In the circumstance the applicant or successor-in-interest applies to convert the project from a rental apartment project to a condominium subdivision, the applicant or successor-in-interest shall be required to underground all existing and proposed utilities in accordance with the applicable provisions of the Clayton Municipal Code (CMC) at that time.
62. Trash enclosures shall drain to sanitary sewer and shall incorporate methods to

contain runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure.

63. The sewer collection system shall be constructed to function as a gravity system. Sanitary sewer collection system shall be constructed to the standards of the City of Concord and Central Contra Costa Sanitary District. Inspections of sanitary sewer collection system shall be performed by City of Concord under contract to City of Clayton.
64. Water system facilities shall be designed to meet the requirements of Contra Costa Water District and the fire flow requirements of the Contra Costa County Fire Protection District. All requirements of the responsible agency shall be guaranteed prior to approval of the improvement plans. Any required offsite easements shall be obtained by the applicant at his/her own expense.
65. A reduced pressure backflow preventer assembly shall be installed on all water meter services.
66. Double detector check fire line backflow assemblies shall be enclosed within an easement granted to Contra Costa Water District, as needed, and at no cost to the City or the District.
67. The applicant shall provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.
68. All onsite utilities shall be privately maintained and connected to public facilities in accordance with City and applicable agency standards, as approved by the City Engineer.
69. All sanitary sewer system connections and improvements shall be submitted for reviewed and approved by the City Engineer and review and comment by the City of Concord (Sanitation).

DRAINAGE AND WATER QUALITY

70. For projects disturbing one (1) acre or more, the applicant shall comply with the State Construction General Permit requirements. The applicant shall be responsible for preparing the SWPPP, submit all required documents, and obtaining coverage by filing a Notice of Intent (NOI) with State Water Resource Control Board (SWRQB).
71. A copy of the SWPPP and the Notice of Intent (WDID) shall be submitted to the City prior to issuing permits for construction. The SWPPP and the WDID shall be

kept at the job site during construction. The WDID number shall be included onto the cover sheet of the Grading Plans for the project.

72. Prior to approval of the grading plans, the applicant shall submit a drainage study to the City for review and approval, and to the Contra Costa County Flood Control and Water Conservation District (FC District) for review and comment. The applicant shall be responsible to pay directly for the agency's review.
73. Applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Permit (MRP) of the State Regional Water Resources Control Board NPDES Permit as applicable to this project.
74. Stormwater control facilities (C.3 facilities) shall be maintained and operated by the applicant/property owner, in perpetuity, in accordance with the Operation and Maintenance Plan. The applicant/property owner shall provide periodic and annual inspection reports.
75. Applicant shall submit a comprehensive Stormwater Control Plan, construction plans, details, and calculations in accordance with the current Contra Costa Clean Water Program (CCCWP) C.3 Guidebook (7th Edition). Required offsite improvements and street(s) frontage improvement work shall be considered and included as a part of this project for compliance with C.3 requirements. The Stormwater Control Plan watershed drainage map shall include all impervious surface locations (i.e. streets, buildings, parking lots, walkways, etc.) to be used in the calculations for sizing C.3 facilities.
76. CCWP C.3 online calculator shall be used in determining the size of the required C.3 facilities. Submit a printout and attach a copy in the Stormwater Control Plan.
77. Bio-retention basin side slopes shall not be steeper than 3H:1V.
78. Using C.3 bio-retention basin(s) as a detention basin(s) for the mitigation of increased peak flows shall be subject to the City Engineer's approval. If approved by the City Engineer, applicant shall submit hydrology and hydraulic study, calculations, and details to demonstrate compliance with the C.3 requirements as well as flood control requirements. Detention basin(s) design parameters and the calculations shall also be in accordance with Contra Costa County Flood Control guidelines.
79. Prior to City Approval of the plans and issuance of permits, the applicant shall submit a signed operation and maintenance agreement. The agreement shall be the City's standard form and subject to the review and approval by the City.
80. All storm water flows shall be collected onsite and discharged into an approved

public storm drain system. No onsite drainage is allowed to flow over the sidewalk.

81. Applicant shall not increase storm water runoff to adjacent downhill lots unless either, (1) a Drainage Release is signed by the property owner(s) of the affected downhill lots and recorded in the office of the County Recorder; or (2) site drainage is collected and conveyed in approved drainage facilities within a private drainage easement through a downhill property. This condition may require collection of on-site runoff and construction of an off-site storm drainage system. All required releases and/or easements shall be obtained prior to issuance of any building permits.
82. A structure shall be installed at all pipe intersections, change of direction, or change in slope as approved by the City Engineer.

STREET IMPROVEMENTS

83. Sidewalks, curb, gutter, sidewalk and street pavement shall be constructed and/or replaced (if cracked, broken or damaged) in the public right-of-way along the entire project frontage as required by the City Engineer and at no cost to the City. Driveway aprons shall be removed and/or replaced with new curb, gutter and sidewalk to match the proposed development. Corner curb ramps (handicap ramps) that do not meet current Federal ADA and State Title 24 Standards shall be replaced to current standards. Existing street pavement section shall be removed and replaced along the frontage of the property to the centerline of the street if the section is cracked or damaged in any way (regardless if it is damaged by project construction or not), or other roadway preservation methods as approved by the City Engineer. All required public easements or rights-of-way shall be offered to the City. All improvements shall be designed and constructed to the satisfaction of the City Engineer.
84. All streets shall be paved and improved after utilities are installed in accordance with the City of Clayton Standard Drawings and Design Guidelines and the approved plans.

LANDSCAPING

85. Sight distance triangles shall be maintained per Chapter 12.08 of the CMC, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
86. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.

87. Landscaping for the project shall be designed to comply with the applicable requirements of City of Clayton Municipal Code. The State Model Water Efficient Landscape Ordinance (MWEL0). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWEL0 in the landscape and irrigation plans submitted to the City.
88. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans. Plant material selection shall avoid plant species that are known to be susceptible to disease (e.g., Platanus Blood Good) or drop fruit on hard surfaces and walkways causing a maintenance or safety concern.
89. All trees shall be a minimum 15-gallon size and all shrubs shall be a minimum 5-gallon size.

PROJECT SPECIFIC CONDITIONS

90. Any cracked or broken sidewalks shall be replaced as required by the City Engineer.
91. All rooftop mechanical equipment shall be screened from the public right-of-way and the residential properties to the west of the subject property. A line of sight study shall be submitted with the building permit submittal confirming the equipment is screened.
92. Asphalt paving shall have a minimum slope of two percent (2%), concrete paving shall have a minimum slope of 0.75%, except asphalt paving for identified accessible parking stalls and access routes shall have a minimum slope of 1.5% and a maximum slope of 2%, or as approved by the City Engineer.
93. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.
94. All walkways adjacent to parking areas with vehicle overhang shall be a minimum of six and a half (6½) feet wide.

TREE PROTECTION CONDITIONS

95. The following construction policies and guidelines for tree preservation and protection put forth by the City of Clayton shall be followed during project implementation:
 - a. The applicant shall submit for the review and approval of the Community

Development Director a tree protection plan to identify the location of the tree trunk and dripline of all on- and off-site trees subject to City of Clayton Municipal Code Section 15.70.020.

- b. A protective fence shall be installed around all trees subject to the tree protection plan. The protective fence shall be installed prior to commencement of any construction activity and shall remain in place for the duration of construction.
 - c. Grading, excavation, deposition of fill, erosion, compaction, and other construction-related activities shall not be permitted within the dripline or at locations which may damage the root system of trees subject to the tree protection plan, unless such activities are specifically allowed by the tree protection plan. Tree wells may be used if specifically allowed by the tree protection plan.
 - d. Oil, gas, chemicals, vehicles, construction equipment, machinery, and other construction materials shall not be allowed within the dripline of trees subject to the tree protection plan.
96. Trees which are identified for preservation, and are subsequently removed during construction, shall be replaced by new trees or shall be required to pay an in-lieu fee equal to 200% of the value (as established by the International Society of Arboriculture) of the original tree(s) to be preserved.
97. The Community Development Department shall review and approve grading and improvement plans to ensure adequate measures are taken to protect trees.

LANDSCAPING CONDITIONS

98. The project shall comply with all applicable requirements and regulations as they pertain to the Landscape Water Conservation Standards and the Water Efficient Landscape Ordinance.
99. Three sets of the landscape and irrigation plans shall be submitted with the grading and improvement plans for review and approval by the Community Development Department, Engineering Department, and the Maintenance Department. These plans shall be prepared by a landscape architect.
100. Installation of all irrigation and landscaping shall be performed by a licensed contractor. Open trench inspection of the irrigation installation in areas to be maintained by the City is subject to approval of the Maintenance Department. Prior to the final inspection by the Maintenance Department, the installation shall be approved by the landscape architect.
101. All trees shall be planted at least ten (10) feet away from any public water, sewer, or storm drain lines, unless a closer location is approved by the City. All trees shall be installed with support staking. All nursery stakes must be removed

from trees. All trees planted within eight (8) feet of a sidewalk or driveway shall be installed with root guards.

EXPIRATION CONDITIONS

103. The Tree Removal Permit (TRP-24-17) shall expire simultaneously with the expiration of the Site Plan Review Permit (SRP-04-17), pursuant to the permit expiration provisions listed in Chapter 17.64 of the Clayton Municipal Code.

GENERAL CONDITIONS

104. The applicant shall obtain the necessary approvals from the Contra Costa County Fire Protection District.
105. The applicant shall provide an adequate and reliable water supply for fire protection as set forth in the Uniform Fire Code.
106. The access driveway/roadway and turnaround improvements must be completed and inspected by the Contra Costa County Fire Protection District (CCCYPD) prior to construction on the two residential lots.
107. All proposed residences are required to be protected with an approved automatic fire sprinkler system complying with the 2013 edition of NFPA 13D or Section R313.3 of the 2013 California Residential Code. A minimum of two (2) sets of sprinkler plans shall be submitted to the CCCYPD for both residences for review and approval prior to installation.
108. Additional requirements may be imposed by the CCCYPD. Before proceeding with the project, it is advisable to check with the CCCYPD located at 4005 Port Chicago Highway, Concord, 925-941-3300.
109. The applicant shall comply with all applicable State, County, and City codes, regulations, and standards as well as pay all associated fees and charges.
110. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer, 925-969-8181, scott.alman@weareharris.com (Clayton Municipal Code Section 15.01.101).
111. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department. All construction shall conform to the California Building Code.
112. Prior to issuance of a Certificate of Occupancy for any residential building, the

- applicant shall install security cameras to monitor primary individual building entries and parking areas with the ability to archive and monitor the imaging to the satisfaction of the Chief of Police.
113. In the circumstance the applicant or successor-in-interest applies to convert the rental apartment project to a condominium subdivision, the applicant or successor-in-interest shall pay Quimby Act fees in accordance with applicable provisions of the Clayton Municipal Code (CMC) and City adopted fee schedule in effect at that time.
 114. The applicant shall prepare a property maintenance program to address on-going building maintenance, landscaping, parking lot maintenance, and tenant maintenance responsibilities to the satisfaction of the City Attorney.
 115. Prior to issuance of a City demolition and/or grading permit the applicant shall complete a Green Infrastructure Feasibility analysis, as required by the San Francisco Rational Water Quality Control Board in MRP 2.0, to determine opportunities to address existing frontage runoff into planned or new bio retention areas behind the back of curb. If such analysis determines these are feasible, any Green Infrastructure shall be maintained by the abutting property owner in perpetuity.
 116. The applicant is advised this project is subject in perpetuity to the required (annual) Operations and Maintenance inspections by the City for the C.3 facilities at the costs established and updated annually in the City Fees and Charges Schedule.
 117. The trash enclosures shall have solid metal doors, a solid roof and ventilation. The proposed trash enclosures need to be enlarged in order to have internal clear dimensions that are adequate to accommodate the required refuse and recycling dumpsters/containers and resident accessibility to utilize them. The trash enclosures must be located in close proximity to the access driveway near the public right-of-way to the satisfaction of Republic Services and the City Engineer to assure accessibility for trash removal and adequate sight distance to assure the public the safety.
 118. All landscaping along Marsh Creek Road and along High Street behind the back of curb shall be maintained by the abutting property owner in perpetuity.
 119. Prior to the issuance of the first Certificate of Occupancy the applicant shall contribute up to \$20,000. to establish a Permit Parking Program System for the Stranahan Subdivision located across Marsh Creek Road to the east of the project to limit possible spillover parking from outside that neighborhood to the satisfaction of the City Engineer and Chief of Police.
 120. Prior to the issuance of the first Certificate of Occupancy the applicant shall install electronic speed indicator signage on Marsh Creek Road in the vicinity of the intersection of Marsh Creek Road and Stranahan Circle to facilitate reducing speeding in

this area to the satisfaction of the City Engineer and Chief of Police.

121. Prior to the issuance of the first Certificate of Occupancy the applicant shall install pedestrian activated crosswalk flashers at the trail crosswalk south of the project site on Marsh Creek Road to facilitate pedestrian safety to the satisfaction of the City Engineer.
122. The property owner shall provide annual bus passes to the tenants in the development and establish a car share program to facilitate reducing on-site parking demand to the satisfaction of the Community Development Director.
123. Prior to the issuance of the first Certificate of Occupancy the applicant shall provide and install fifty 15-gallon trees off-site within the City of Clayton to increase carbon absorption to the satisfaction of the City Maintenance Supervisor and City Manager.

PASSED AND ADOPTED by the Planning Commission of the City of Clayton at a regular meeting on the 10th day of December 2019.

APPROVED:

ATTEST:

Peter Cloven
Chair

David Woltering
Interim Community Development Director

**PLANNING COMMISSION
STAFF REPORT**

Meeting Date: November 12, 2019

Item Number: 5.a

From: David Woltering, AICP, MPA
Interim Community Development Director



Prepared By: Holly Pearson, AICP
Contract Planner

Subject: Public Hearing to review and consider an Infill Exemption in accordance with the California Environmental Quality Act (CEQA), Affordable Housing Density Bonus Application, Site Plan Review Permit, and Tree Removal Permit for The Olivia on Marsh Creek, an 81-unit Senior Rental Housing Development (ENV-01-17, DBA-01-19, SPR-04-17, TRP-24-17)

Applicant: William Jordan

REQUEST

The applicant, William Jordan, requests a public hearing before the Clayton Planning Commission for the purpose of reviewing the Infill Exemption (ENV-01-17), Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek, a proposed 81-unit senior (55 and older) rental housing project. The project includes seven affordable units designated for Very Low Income households (as defined by the U.S. Department of Housing and Urban Development [HUD]). The proposed development is located on three adjacent parcels at the southwest corner of the intersection of High Street and Marsh Creek Road in the Town Center (6170 High Street) and just south of the Town Center (6450 Marsh Creek Road and 6490 Marsh Creek Road) of Clayton. The total area of the project site is 3.02 acres (see Attachment A for Vicinity Map).

The Affordable Housing Density Bonus application involves a request to allow a greater number of residential units than is normally permitted on the site under the General Plan land use designation and zoning (81 units proposed, as compared to 60 normally permitted) in exchange for the provision of the seven affordable units, in accordance with State and local Density Bonus Law provisions. The Site Plan Review Permit request involves consideration of the

architecture, landscaping, parking, lighting, and fencing for the construction of three multi-unit residential buildings on three separate parcels, each consisting of between 25 and 30 units. The Tree Removal Permit request is for the proposed removal of 106 total trees on the three parcels to accommodate construction of the buildings and other improvements, with a tree replacement plan provided.

PROJECT INFORMATION

Applicant/Property Owner: William Jordan
P.O. Box 547
Clayton, CA 94517

Acreage/Location: Total of 3.02 acres comprised of three lots:
6170 High Street (APN: 119-021-063) (1.11 acres)
6450 Marsh Creek Road (APN: 119-021-055) (0.97 acres)
6490 Marsh Creek Road (APN: 119-021-013) (0.93 acres)

General Plan Designation: Multifamily High Density (20 units per acre)
Town Center Commercial (for 6170 High Street only)

Town Center Specific Plan Designation: Multi-Family High Density Residential
(15.1 to 20 units per acre)

Zoning Classification: Planned Development (PD) District

Surrounding General Plan Designations:
North: Town Center Commercial
South: Rural Estate (0 to 1.0 units per acre)
Multifamily High Density (20 units per acre)
East: Single Family High Density (5.1 to 7.5 units per acre)
Town Center Commercial
West: Town Center Commercial
Rural Estate (0 to 1.0 units per acre)

Surrounding Zoning Classifications:
North: Planned Development (PD) District
South: Planned Development (PD) District
East: Planned Development (PD) District
West: Planned Development (PD) District
Single Family Residential R-40-H (minimum lot area 40,000 square feet with equestrian uses)

Environmental Review: Categorically Exempt per the California Environmental Quality Act (CEQA) Guidelines Section 15332, Infill Development Projects.

Public Notice: On November 1, 2019, a Public Hearing Notice was published in the Contra Costa Times, posted on the notice boards, and mailed to property owners located within 300 feet of the project site.

Authority: Section 17.44.020 of the Clayton Municipal Code (CMC) authorizes the Planning Commission to approve a Site Plan Review Permit in accordance with the standards of review in CMC Section 17.44.040.

Section 15.70.030.C of the CMC authorizes the Planning Commission to approve, conditionally approve, or deny a tree removal permit.

Chapter 17.90 of the CMC incorporates the State requirements set forth in California Government Code § 65915, authorizes the City to approve additional density for a residential development beyond the maximum density allowed in the applicable zoning district, in exchange for the inclusion of affordable housing units in the development.

BACKGROUND

On September 6, 2017, the applicant, William Jordan, filed an application with the Clayton Planning Department to construct a multi-family residential development project at the corner of High Street and Marsh Creek Road, including a request for the granting of a density bonus pursuant to the State's Density Bonus Law (California Government Code Sections 65915 to 65918) and the City's Affordable Housing Density Bonus Requirements Ordinance (Chapter 17.90 of the Clayton Municipal Code [CMC]). The proposed development would consist of for-rent units and would be restricted to occupancy by residents age 55 and older.

The 3.02-acre project site consists of three separate parcels: 6170 High Street, 6450 Marsh Creek Road, and 6490 Marsh Creek Road. The three parcels would remain separate; no merging of lots is proposed. A portion of the rear lot line of 6170 High Street abuts the side lot line of 6450 Marsh Creek Road. A 20-foot wide "pole" portion of a flag lot immediately to the west of 6450 Marsh Creek Road separates the latter parcel from 6490 Marsh Creek Road.

All three parcels have a General Plan land use designation of Multifamily High Density; in addition, 6170 High Street is located within the Town Center Specific Plan area, which applies additional design standards to development on that lot. All three parcels have a zoning designation of Planned Development (PD) District. Per CMC Section 17.28.050, for properties zoned Planned Development and with a General Plan land use designation of Multifamily High Density, the development standards for the Multiple Family Residential (M-R-H) District apply to multifamily residential development projects.

The three parcels associated with this application were identified as affordable housing opportunity (AHO) sites in the City's 2009-2014 Housing Element Update. Accordingly, in 2011, the properties were re-designated in the City's General Plan to Multifamily High Density Residential to allow a maximum of 20 units per acre, increasing the allowed densities from a maximum of five units per acre along Marsh Creek Road and 15 units per acre on High Street. The City had determined that the proximity of these parcels to the Town Center, services and nearby bus transit offered for Clayton an appropriate opportunity to locate affordable housing. Subsequently, in 2016, the City designated these sites for 20 units per acre to assure achieving density levels that would enable a developer to construct affordable units on these parcels. The current developer has been working with the City since 2015, considering different options for developing these properties. The developer shifted from an earlier townhome development proposal at about 15 units per acre to this current senior housing proposal with seven affordable housing units as a concept that would offer higher density close to services and transit with affordable units in support of the City's Housing Element objectives. The 81 units would additionally offer economic development advantages for the Town Center restaurants and merchants, given the population that would occupy this development could walk to these establishments.

AFFORDABLE HOUSING DENSITY BONUS APPLICATION

The project site's General Plan land use designation, Multifamily High Density, allows a maximum density of 20 units per acre, or 60 total units for the 3.02-acre site. Under California's Density Bonus Law, because the proposed project provides seven affordable (below market rate) units, or 11 % of the maximum allowed number of units, the project is eligible for a density bonus of 35 %, or 21 units, for a total of 81 proposed units.

As noted above, the seven affordable units in the proposed development would be designated for residents meeting HUD's definition of Very Low Income for the Oakland-Fremont HUD Metro Fair Market Rate (FMR) Area (the federally-defined geographical area in which Contra Costa County is located, for the purpose of calculating area median income as well as local income limits for eligibility for federal housing subsidies). For 2019 the definition of Very Low Income for the Oakland-Fremont HUD Metro FMR Area is a maximum annual income of \$43,400 for a one person, \$49,600 for a family of two persons, and \$61,950 for a family of four persons.

The affordable units are dispersed throughout the proposed development. The locations and sizes of these units are as follows:

- 6170 High Street: 1 bdrm 1 bath / 683 sq. ft. / 2nd floor
 1 bdrm 1 bath / 566 sq. ft. / 2nd floor
 2 bdrm 2 bath / 950 sq. ft. / 2nd floor

- 6450 Marsh Creek Road: 1 bdrm 1 bath / 671 sq. ft. / 2nd floor
 1 bdrm 1 bath / 567 sq. ft. / 2nd floor

6490 Marsh Creek Road: 1 bdrm 1 bath / 567 sq. ft. / 2nd floor
2 bdrm 2 bath / 950 sq. ft. / 2nd floor

Legal Context and Requirements

California Density Bonus Law

The State's Density Bonus Law is a package of incentives intended to help make development of affordable and senior housing more affordable. In addition to provisions allowing additional residential density for qualifying projects, the law provides for incentives and concessions such as a reduction in parking requirements, reduction or relaxation of development or design standards, and other similar project modifications that reduce the cost of development, thereby helping to make the inclusion of below market rate units financially feasible. The Density Bonus Law specifies that a development meeting the requirements of the law is entitled to receive the density bonus and accompanying concessions by right, provided that the project would not result in adverse impacts (e.g. harmful public health or safety effects, environmental degradation, or damage to a historic resource). In other words, a local jurisdiction is required to grant a density bonus, along with the incentives and concessions that have been demonstrated to be necessary to make the project feasible, when the proposed project complies with the Density Bonus Law.

The Density Bonus Law includes three categories of incentives: maximum parking requirements, concessions, and waivers/reductions of development standards. Maximum parking requirements are established based on unit size. For a project seeking a density bonus, the local jurisdiction with approval authority is allowed to require a maximum of one parking space per one-bedroom unit and two spaces per two-bedroom unit. However, an applicant can request a lower parking standard as a concession.

Concessions are defined under the law as modifications to development standards, including zoning regulations and design standards that result in actual and verifiable cost reductions. The applicant must demonstrate that a requested concession is necessary to make the project financially feasible. The law stipulates that, for a project proposing to designate between 10% and 15% of the total units for Very Low Income households (as defined by HUD), the developer is entitled to receive two concessions.

A developer is also entitled to a waiver or reduction of any development standard that is shown to physically preclude construction of the proposed project at the residential density that is allowed with the bonus. The Density Bonus Law does not impose a limit on the number of waivers a developer may request. For waivers, the project applicant does not need to demonstrate economic necessity. As with concessions, the local jurisdiction must grant the waiver or reduction if it is found to be necessary to physically accommodate the project and there is not a resulting adverse impact to the public health, welfare, and safety.

Clayton Affordable Housing Density Bonus Requirements Ordinance

Chapter 17.90 of the CMC is the City's Affordable Housing Density Bonus Ordinance, which was adopted to comply with the State's Density Bonus Law. The ordinance establishes the

procedure and submittal requirements for a proposed residential development with affordable units to request a density bonus. Among other requirements, the applicant must provide information that describes the concessions being requested and verify the cost reductions associated with these concessions.

Project Requests under Affordable Housing Density Bonus Application

Requested Concessions

As noted above, because the proposed development would restrict 11 % of the permitted number of units to Very Low Income households, based on the provisions of the Density Bonus Law the project is entitled to receive two (2) concessions. The applicant has requested the two concessions described below as part of the Affordable Housing Density Bonus application:

1. Reduction in Setback Requirements

The applicant is requesting a reduction in some of the required building setbacks for the development. The table below summarizes the specific parcels and building setbacks for which a reduced standard is sought, and shows both the required and proposed building setbacks:

6170 High Street	Required by Code	Requested for Project
Front	20 ft	8 ft
6450 Marsh Creek Road	Required by Code	Requested for Project
Side - South	15 ft	11 ft

In addition the applicant requests a reduction in the required front setback for parking spaces (*CMC Section 17.37.090.A.2 prohibits parking in the front setback*). The required and proposed front parking setbacks are shown below:

6170 High Street	Required by Code	Requested for Project
Front (north)	20 ft	12 ft
6450 Marsh Creek Road	Required by Code	Requested for Project
Front	20 ft	0 ft
6490 Marsh Creek Road	Required by Code	Requested for Project
Front	20 ft	4 ft (approx.)

2. Reduction in Required Number of Parking Spaces

The second concession requested is a reduced parking requirement (please note: as previously described, the Density Bonus Law sets forth a *maximum* parking requirement that may be imposed by the local jurisdiction of one space per one-bedroom unit and two spaces per two-bedroom unit. In this case, the applicant is requesting a reduction below this maximum as a concession). The proposed Olivia on Marsh Creek development includes 45 one-bedroom units and 36 two-bedroom units. Under CMC Section 17.37.030, this unit count would result in 180 required parking spaces (including guest parking) and, under the Density Bonus Law, the maximum number of parking spaces that the City may require is 117.

The applicant's original request for reduction of the parking requirement was 62 spaces (0.76 spaces per unit). Staff felt that this amount of parking was insufficient to serve the need and demand of the residential development and would cause spillover parking effect into adjacent residential areas. Because the requested concession would result in an adverse impact on the surrounding area, staff requested that the developer provide at least one assigned parking space per unit on-site plus a small amount of guest parking. Accordingly, the developer revised the parking plan to provide up to 86 spaces, equal to one space per residential unit plus 5 guest spaces). Each residential unit will have an assigned parking space.

The applicant has submitted an economic analysis (report) of the requested concessions, prepared by PlaceWorks, to verify that these concessions result in actual cost reductions and are necessary to make the development project financially feasible. The report concludes that the requested concessions are warranted under the Density Bonus Law and Clayton's affordable housing regulations, and that both concessions are necessary for the project to be financially feasible (see **Attachment F**). The conclusions of this report were supported by a peer review prepared by Michael Baker International (see **Attachment G**).

The applicant also provided a parking study by Kimley-Horn (**Attachment H**) that analyzed whether the original parking proposal of 62 spaces was sufficient to meet the estimated parking demand for the residential development. The study concluded that, based on the land use category of Senior Adult Housing – Attached from the Institute of Transportation Engineers (ITE) *Parking Generation Manual*, the parking demand for The Olivia would be 53 parking spaces, and therefore the 62 proposed parking spaces would be adequate. The City retained Michael Baker International to conduct a peer review of the Kimley-Horn parking study (**Attachment I**). This peer review noted that the ITE *Parking Generation Manual* is only one source for parking demand data, and suggested that the data behind ITE's Senior Adult Housing-Attached category are outdated and based on data collected from sites in Pennsylvania, and therefore do not accurately represent parking demand in Clayton. The peer review noted the importance of taking into consideration the local conditions when estimating parking demand for the project (e.g. rural area with limited shopping and employment, limited transit service, actual auto ownership rates of residents age 55 and older, lack of on-street parking in the immediate area around the project site). The peer review concludes that, based on the common practice of estimating the senior age-restricted parking rate at 50% of the standard rate for multifamily housing, the actual parking demand for The Olivia would be approximately 90 spaces.

Requested Waivers

The applicant is requesting a total of seven waivers or reductions of development and design standards for the proposed project. Staff has worked with the applicant to develop understandings regarding the details of several of these items as the proposed project has evolved. Staff supports the granting of the waivers and reductions described below. In order to physically accommodate the number of dwelling units allowed under the Density Bonus Law

as well as the required amount of open space and the 86 parking spaces requested by staff on the project site, it is necessary to reduce or waive the standards noted below.

1. Parking Lot Landscaping Requirements

Section 17.37.090.H of the CMC sets requirements for the size and configuration of landscaping for new parking lots. The applicant requests reductions for the following four standards in this section:

- One tree per 150 square feet of perimeter planting area;
- Internal planting areas equal to at least 10 % of the total parking lot area;
- Minimum area of 25 feet and minimum width of five feet for parking lot landscape areas; and
- Minimum of one tree for every three parking spaces.

For each standard, the code requirement and the details of the proposed project are shown below.

Code Requirement: Internal planting area equal to at least 10 % of parking lot area

	Parking lot area	Landscape area required	Landscape area proposed
6170 High Street	10,721 sf	1,072 sf (10%)	2,857 sf (27%)
6450 Marsh Creek Road	10,306 sf	1,031 sf (10%)	2,099 sf (20%)
6490 Marsh Creek Road	9,211 sf	921 sf (10%)	2,654 sf (29%)

On each of the three parcels the proposed landscaping plan exceeds the minimum required planting area of 10% of the total parking lot area, but planting areas are along the perimeter of parking lots rather than internal, as is stated in the zoning code.

Code Requirement: One tree per 150 sf of perimeter planting area

	Perimeter planting Area	Trees required	Trees proposed
6170 High Street	1310 sf	8	5
6450 Marsh Creek Road	807 sf	5	4
6490 Marsh Creek Road	1238 sf	8	10

The applicant notes that C.3 stormwater management requirements and space dedicated to C.3 features such as bioretention areas places constraints on the number of trees that can be planted in the parking lot perimeter areas.

Code Requirement: One tree per three parking spaces

	Number of parking spaces	Trees required	Trees proposed
6170 High Street	27	9	5
6450 Marsh Creek Road	31	10	4
6490 Marsh Creek Road	28	9	10

2. Site Plan Review Standard for Size and Bulk

Section 17.44.040 of the CMC provides standards for the review and approval of a Site Plan Review Permit. Section 17.44.040.G states that the new development should be complementary with adjacent existing structures in terms of materials, color, bulk and size. The applicant has requested a waiver or relaxing of this standard of compatibility with the surrounding area in terms of size and bulk. Although the height and bulk of the proposed development are greater than that of the structures on adjacent properties, there are existing site conditions which reduce or mitigate the impact of the buildings' height and bulk. This is discussed further below in the "Building Height" section under *Site Plan Review Permit*.

3. Preservation of Natural Features

The Town Center Specific Plan, which sets regulations applicable to the 6170 High Street parcel, includes site design guidelines stating that "All mature trees should be retained where feasible" and encouraging minimization of "grading and alteration of natural landforms." Staff's review of the proposed grading and tree removal for 6170 High Street found that the two existing, mature trees on the eastern side property line are located within a stormwater treatment area (flow-through planter) which cannot be relocated due to site constraints; therefore, it is not feasible to preserve these trees. Staff also finds that the proposed site design minimizes grading and preserves the site's natural topography.

4. Covered Parking

Schedule 17.37.030.A of the CMC includes requirements for a certain proportion of required parking spaces to be covered. For multi-family dwellings the Code requires at least one out of every 1.5 parking spaces for one-bedroom units to be covered, and one out of every two parking spaces for two-bedroom units to be covered. The current parking proposal has all 86 parking spaces as open (no covered parking). Staff supports the waiver of this standard in particular due to concerns that covered/enclosed parking (garages) would likely be used for storage rather than parking, which would further exacerbate the condition of limited parking on site.

5. Percentage of Regular and Compact Parking Spaces

Section 17.37.080 of the CMC requires all resident parking spaces, and at least 90 % of guest spaces, to be standard spaces. In order to accommodate staff's direction to provide at least one parking space per dwelling unit plus a small amount of guest parking, the applicant's revised parking plan has a higher percentage of compact spaces, as shown below:

	Standard Spaces	Compact Spaces
6170 High Street	14 (51.9%)	13 (48.1%)
6450 Marsh Creek Road	21 (67.7%)	10 (32.3%)
6490 Marsh Creek Road	18 (64.3%)	10 (35.7%)

6. Building Height limit of 35 feet within 50 feet of abutting single family residential district

The development standards for the M-R-H zoning district in Section 17.20.080.C of the CMC set a building height limit of 40 feet, except that within 50 feet of an abutting single family residential district the building height limit is 35 feet. This standard applies only to 6170 High Street, as this is the only one of the three parcels that abuts a single family residential district, the R-40-H zone immediately to the west.

Only a very small portion, approximately four horizontal feet, of the proposed building at 6170 High Street that is within 50 feet of the abutting R-40-H-zoned parcel exceeds the 35-foot height limit. This section of the building within the 50-foot distance of the single family residential district is 36 feet 9 inches above finished grade.

7. Tree Replacement – Trunk Diameter Ratio

The Tree Replacement Plan requirements in Section 15.70.040.A of the CMC include two options for the cumulative trunk diameter of replacement trees: either (1) a cumulative trunk diameter of at least 50 % of the trunk diameter of trees to be removed if the replacement trees are not of the varieties listed in Section 15.70.015.C as "Protected Trees"; or (2) a cumulative trunk diameter of at least 33 % of the trunk diameter of the trees to be removed if the replacement trees are of the varieties listed in Section 15.70.015.C as Protected Trees. The City's list of Protected Trees includes, but is not limited to, native species such as Ash, Bay, Box Elder, Madrone, Maple, Oak, and Walnut varieties.

The applicant has opted to provide replacement trees with a cumulative trunk diameter of 33% of the diameter of trees to be removed, and is requesting a waiver of the requirement for all replacement trees to be species on the City's Protected Tree list. The project's landscape architect states that most of the trees on the City's Protected Tree list are considered weed trees and are not suitable for modern landscape purposes (e.g.

not suitable for planting as part of high-density housing projects). The applicant also submitted an analysis of the tree sizes (DBH) that would be required to meet the replacement ratio requirements of 33% (if using Protected Tree species only) and 50% (if using non-protected tree species). The conclusion is that it is generally not feasible to landscape the project using the large sizes of trees (4.75 inches average trunk diameter, which equates to a 60-inch box tree) that would be required to comply with the 50% ratio.

Staff worked with the applicant to develop a solution that would meet both the applicant’s needs for landscape design and the City’s objective for plantings that are compatible with the natural landscape and setting of the project site and the surrounding area. Staff requested that the applicant create a “blended” landscape palette that includes both oak and other native tree species, and non-native/ornamental tree species. The intent is for new and replacement trees and landscaping to complement the existing trees in the surrounding area as they grow and mature. The current planting plan fulfills this objective.

SITE PLAN REVIEW PERMIT

The Site Plan Review Permit process, as outlined in CMC Chapter 17.44, is intended to ensure that new development is compatible with Clayton’s character and does not create adverse impacts on adjacent properties. The Site Plan Review Permit involves consideration of the project’s compliance with applicable development standards (lot coverage, building height, building setbacks) as well as architectural design, site planning, open space, landscaping, parking, and vehicular access. It also considers protection of solar access, privacy, and views for adjacent properties.

Project Overview

Each of the three lots is proposed to be improved with a three-story multi-family residential building, plus landscaping, open space amenities, and parking. The table below summarizes the significant components of each property:

	Lot Area	Building Footprint	Number of Residential Units	Number of Parking Spaces
6170 High Street	48,378 sf	11,659 sf	30	27
6450 Marsh Creek Road	42,361 sf	10,966 sf	26	31
6490 Marsh Creek Road	40,603 sf	10,916 sf	25	28

Multiple Family Residential High Density (M-R-H) Development Standards

Lot Coverage

The maximum lot coverage in the M-R-H zoning district is 65 % of the lot area. Each of the three project sites is well below the maximum lot coverage, as shown below:

6170 High Street: Lot coverage 24.1 %
 6450 Marsh Creek Road: Lot coverage 25.9 %
 6490 Marsh Creek Road: Lot coverage 26.9 %

Building Height

The M-R-H zone sets a maximum building height of 40 feet, except that within 50 feet of an abutting single family residential district the maximum building height is 35 feet. The heights of buildings on all three lots comply with this standard, with two permitted exceptions:

- (1) As noted above in the *Requested Waivers* section of the Affordable Housing Density Bonus discussion, Waiver #6, described previously, allows a small, horizontal four-foot portion of the 6170 High Street building that is within 50 feet of the abutting R-40-H zone to exceed 35 feet (proposed height: 36 feet 9 inches).
- (2) Each of the three buildings has a corner decorative roof element that is an allowed projection above the maximum building height per CMC Section 17.36.020.

Maximum building heights for each building are shown below:

	Height to Parapet	Height of Decorative Roof Element
6170 High Street:	39 feet 2-½ inches	45 feet 8 inches
6450 Marsh Creek Road:	37 feet 6 inches	42 feet 0-½ inches
6490 Marsh Creek Road:	38 feet 6 inches	44 feet 7 inches

Setbacks

The minimum building setbacks in the M-R-H zone are 20 feet from front lot lines, 15 feet from interior side lot lines, and 15 feet from rear lot lines. The setbacks for the proposed project are shown in the following table (note: all side lot lines for the three parcels are interior).

ADDRESS OF PARCEL	FRONT SETBACK	SIDE SETBACK	SIDE SETBACK	REAR SETBACK
6170 High Street	8 ft*	37 ft 9 in (west side)	58 ft 3 in (east side)	57 ft 3 in
6450 Marsh Creek Road	20 ft	86 ft 6 in (north side)	11 ft * (south side)	52 ft
6490 Marsh Creek Road	28 ft	90 ft (north side)	27 ft 6 in (south side)	24 ft

* A concession for a reduced building setback is requested pursuant to the Density Bonus Law.

Architectural Design

Architectural Style and Concept

The building design is intended to be reminiscent of the architectural style of old western communities or mining towns and to blend into the semi-rural context and character of

Clayton. Exterior features that define this style include horizontal siding, batten board siding, tall windows, parapet roof styles, porches, heavy trim for shadows, and rustic color schemes.

Exterior Colors and Materials

Building materials such as smooth hardiplank siding, brick, wooden beams and railings, and metal and composition shingle roofing, as well as stone retaining walls, are similar and complementary to the design and rustic character of nearby structures. Proposed exterior color for the buildings are primarily neutral and natural earth-tones, such as beiges, browns, grays, and earthy shades of red, which are complementary with the rustic character of the surrounding area. Exterior colors vary from one building to the next in order to create visual interest and distinct design between the three properties.

6170 High Street is subject to the design guidelines in the Town Center Specific Plan, which are intended to preserve the historic and semi-rural character of Clayton's center. The building is consistent with the guidelines in the Specific Plan that call for breaking up of the façade into smaller human-scale forms; covered porches/walkways; a low brick building base; wood detailing such as beams, railings and corbels; natural-looking building materials such as composition shingle roofing and hardiplank siding (with the appearance of wood); and natural and earth-tone colors.

Exterior Lighting

Wall-mounted lighting is provided at all main building entrances/exits and all exterior doors to individual units. Lighting fixtures are metal gooseneck type, appropriate for the architectural style and semi-rural setting. The outdoor open space areas have three-foot six-inch high bollard lighting.

Signage

Each of the three buildings has a wall-mounted wood sign with the name of the development, "The Olivia on Marsh Creek," that is visible from the public street (dimensions: 2 feet 6 inches by 12 feet for 6170 High Street and 4 feet 6 inches by 20 feet for both 6450 Marsh Creek Road and 6490 Marsh Creek Road). At the driveway entrances to the 6450 Marsh Creek Road and 6490 Marsh Creek Road sites there is a brick veneer wall with pilasters and sign panel with the name "The Olivia on Marsh Creek" (8 square feet). The font on all signs is a rustic style that fits with the western architectural theme.

Fencing

The 6170 High Street property has four-foot high wood ranch fencing with horizontal rails along the front and rear property lines, consistent with the design guidelines for the Town Center Specific Plan. Existing fencing along the side property lines would remain.

Both 6450 Marsh Creek Road and 6490 Marsh Creek Road have 40-inch wood picket fencing along the front property lines, and six- to eight-foot deer fencing (wood posts with wire mesh) along the rear property lines. The deer fencing would also extend along the south side (interior) property line of 6490 Marsh Creek Road. Existing fencing would remain on the north

side property line of 6450 Marsh Creek Road that abuts the existing AT&T Switching Facility located on the southwest corner of High Street and Marsh Creek Road (height/materials?). Along the south side property line of 6450 Marsh Creek Road and the north side property line of 6490 Marsh Creek Road, which abut the “pole” section of the flag lot to the west, six-foot solid wood fencing is proposed to protect privacy for the neighboring lot.

Site Design

Open Space

The open space regulations for the Planned Development District zone in Section 17.28.100 of the CMC require that at least 20 % of the project site be dedicated to open space areas, with 10% provided as passive open space and 10% designed for active open space.

In the site plans for the proposed project, passive open spaces include sloped areas with natural vegetation. Active open spaces include lawn areas, landscaped areas, patios, and paved walkways. Open space area on the three subject parcels is summarized below:

	Total Lot Area	Total Open Space	Active Open Space
6170 High Street	48,378 sf	25,998 sf (54%)	9,716 sf (20.1%)*
6450 Marsh Creek Rd	42,361 sf	21,059 sf (49.7%)	12,863 sf (30.4%)*
6490 Marsh Creek Rd	40,603 sf	21,047 (51.8%)	19,834 sf (48.8%)*

** For active open space the required amount is 50 % of the required total amount of open space at 20 % of lot area, i.e. 10 % of total lot area. Percentages of active open space shown above are expressed as percentages of total lot area.*

Amenities provided in active open spaces include a small fenced dog park on each of the three sites and patio areas with enhanced paving, shade arbors, seating and tables, grills, fire pits and water features.

Landscaping - Trees

The planting plan includes a variety of native (Coast Live Oak, Valley Oak, California Bay) and non-native (Marina Strawberry, Deodar Cedar, Chinese Pistache, Western Redbud, Golden Rain Tree, Lavender Crape Myrtle, London Plane, Southern Magnolia) tree species. This palette follows staff’s direction to the applicant regarding the requested waiver under the Density Bonus Law to include non-native trees not included on the City’s Protected Tree list (CMC Section 15.70.015.C) in the tree replacement plan. See the following section, *Tree Removal Permit*, for discussion of existing trees on the project site and proposed new trees to be planted.

Landscaping - Shrubs and Groundcover

The planting palette features a rich mix of shrub and groundcover varieties, with 38 proposed varieties of shrubs and perennials and 12 varieties of grasses and vines. The overall planting theme provides an assortment of colors, textures, and heights. Staff has concerns that a large proportion of the shrub and groundcover varieties are moderate water demand species, which is not fully consistent with the intent of the Landscape Water Conservation Standards in CMC Chapter 17.80. As a result, staff has included a condition that the planting list be updated to replace moderate water species with low or very low water varieties, subject to review and approval by City staff.

Parking and Vehicular Access

As discussed above, the project is requesting a reduced requirement for parking spaces as a concession under the Density Bonus Law. One parking space per residential unit plus five guest parking spaces are proposed, for a total of 86 spaces. The applicant is also seeking a waiver of the standard in CMC Section 17.37.080 relating to the required percentages of regular and compact parking spaces. Under the proposed parking layout, the following would be percentages of compact spaces on each lot: 48.1 % on 6170 High Street, 32.3 % on 6450 Marsh Creek Road, and 35.7 % on 6490 Marsh Creek Road.

Each parcel has one proposed point of vehicular access to the street, with driveway width of 25 feet (minimum requirement per CMC Section 17.37.090 is 20 feet). The parking plans for each lot also comply with zoning requirements for 25-foot aisle width and additional two-foot width for all parking spaces adjacent to obstructions such as walls or columns.

Solar Access, Privacy and Views

The project is located on a relatively flat site and maintains adequate building setbacks from property lines, thereby avoiding shadow impacts and protecting solar access for adjacent properties. Because the subject lots are downhill from the adjacent properties to the west, with a significant difference in elevation of about 50 feet between the subject site and the uphill lots to the west of the subject site, the proposed buildings will not obstruct views from these neighboring properties to the west. No other properties adjacent to the project site have significant views.

Mature existing trees along the western property line of the subject parcels and along the southern property line of 6490 Marsh Creek Road will be maintained, helping to ensure privacy for adjacent properties to the west and south. In addition, new Oak and Bay trees will be planted along the western property line of the AT&T Switching Facility property to provide additional screening. As noted above, along the "pole" section of 6470 Marsh Creek Road that is located between 6450 Marsh Creek Road and 6490 Marsh Creek Road, six-foot high solid wood fencing is proposed to ensure privacy for the former parcel.

TREE REMOVAL PERMIT

As part of the project, the applicant is requesting approval of a Tree Removal Permit to remove both protected and non-protected trees to accommodate the proposed development. The

applicant has submitted an Arborist Report dated December 2015, plus an addendum for 6490 Marsh Creek Road dated January 25, 2018 (see **Attachment J**).

	Trunk Diameter Inches to be Removed	Required Trunk Diameter Inches for Replacement at 33%	Proposed Trunk Diameter Inches for Replacement
6170 High Street	124.5	41	42
6450 Marsh Creek Road	120	40	54
6490 Marsh Creek Road	86	29	41

The following table shows the total number of trees on each parcel, both protected and non-protected, and the number of trees in each category that are proposed to be removed.

The tree replacement plan proposes to provide replacement trees with a cumulative trunk

	Total Trees	Trees to be Removed (all)	Protected Trees	Protected Trees to be Removed
6170 High Street	21	13	13	7
6450 Marsh Creek Road	45	16	14	13
6490 Marsh Creek Road	86	78	7	4

diameter of 33% of the trunk diameter of the trees to be removed, as allowed by CMC 15.70.0405.A.2. Tree replacement details are presented in the table below:

As previously discussed, the applicant is requesting a Density Bonus Law waiver to allow some of the replacement trees to be species not defined as "Protected Trees" per CMC Section 15.70.015.C. Proposed non-protected replacement trees include Marina Strawberry, Deodar Cedar, Chinese Pistache, Western Redbud, Golden Rain Tree, Lavender Crape Myrtle, London Plane, and Southern Magnolia. Staff is suggesting the Platanus Columbia variety of London Plane tree be selected for its known resistance to disease.

ENVIRONMENTAL REVIEW

The project is Categorically Exempt pursuant to the CEQA Guidelines Section 15332, Infill Development Projects (also referred to as a Class 32 Infill Exemption). The project meets all the conditions outlined in Section 15332: (1) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (2) The proposed development occurs within the city limits on a project site of no more than five acres, surrounded by developed areas; (3) The project site has no value as habitat for endangered, rare, or threatened species; (4) Project approval would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (5) The

site can be adequately served by all required utilities and public services. In addition, none of the exceptions to the Categorical Exemption listed in CEQA Guidelines Section 15300.2 apply to this project.

Staff retained Raney Planning & Management to prepare an environmental analysis of the project to determine whether the proposed development meets the criteria for a Class 32 Infill Exemption. The analysis reviewed the biological, air quality, noise, traffic, and water qualities studies prepared for the project and concluded that the project satisfies all criteria for an Infill Exemption (see Attachment K).

RECOMMENDATION

Staff recommends that the Planning Commission receive and consider the staff report and all information provided and submitted to date, receive and consider any public testimony and, if determined to be appropriate:

- 1) Adopt Planning Commission Resolution No. 05-19 making the determination that the project qualifies for a Categorical Exemption, under Class 32 Infill Development Projects, pursuant to the California Environmental Quality Act (ENV-01-17)(see Attachment B); and
- 2) Adopt Planning Commission Resolution No. 06-19 approving the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SRP-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek, an 81-unit senior residential development project (see Attachment C).

ATTACHMENTS

- A Vicinity Map
- B Planning Commission Resolution No. 05-19
- C Planning Commission Resolution No. 06-19
- D Project Plans for The Olivia on Marsh Creek, including:
 - Architectural Plans (Color renderings, Floor Plans, Roof Plans, and Elevations)
 - Landscape Plans (Conceptual Landscape Plans, Conceptual Planting Palettes, Planting Images, Conceptual Landscape Details)
 - Civil Plans (Site Plans, Existing Site Conditions, Demolition and Tree Removal Plans, Utility Plans, Offsite Storm Drain Plans, C-3 Compliance Exhibits)
- E The Olivia on Marsh Creek Colors and Materials Examples (to be distributed at the November 12, 2019 Planning Commission meeting)
- F “Economic Analysis of Requested Concessions – Clayton Senior Housing Project” by PlaceWorks
- G “Peer Review of Economic Analysis” by Michael Baker International
- H “The Olivia on Marsh Creek Parking Study – Final Memorandum” by Kimley-Horn
- I Peer Review of Kimley-Horn Parking Study by Michael Baker International
- J Arborist Report and Addendum
- K CEQA Infill Exemption Report from Raney Planning & Management, Inc.



VICINITY MAP

	<p align="center"> Olivia on Marsh Creek Project ENV-01-17/DBA-01-19/SPR-04-17/TRP-24-17 6170 High Street (APN: 119-021-063) 6450 Marsh Creek Road (APN: 119-021-055) 6490 Marsh Creek Road (APN: 119-021-013) </p>	<p align="center"> (Not to Scale) </p>
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ATTACHMENT A

Draft

**CITY OF CLAYTON
PLANNING COMMISSION
RESOLUTION NO. 05-19**

**A RESOLUTION OF THE CLAYTON PLANNING COMMISSION DETERMINING THAT THE OLIVIA
ON MARSH CREEK SENIOR HOUSING PROJECT QUALIFIES FOR A CATEGORICAL EXEMPTION
UNDER CLASS 32 – INFILL DEVELOPMENT PROJECTS
PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT
(ENV-01-17)**

WHEREAS, the City received an application from William Jordan requesting review and consideration of an Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), Tree Removal Permit (TRP-24-17), and related Environmental Review (ENV-01-17) for development of an 81-unit senior residential development located on three adjacent parcels with a total area of 3.02 acres ("Project"), located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013); and

WHEREAS, the Project meets the definition of an infill development project as specified in Section 15332 of Title 14 of the California Code of Regulations, the California Environmental Quality Act ("CEQA") Guidelines; and

WHEREAS, the City commissioned an independent analysis of the Project's eligibility for a Class 32 Infill Exemption by Raney Planning & Management, Inc., titled "Infill Exemption Environmental Analysis for Clayton Senior Housing Project" and dated June 14, 2019, which analyzes whether the Project meets all criteria of the Class 32 Infill Exemption as stated in CEQA Guidelines Section 15332, and which is attached as Exhibit A to this Resolution; and

WHEREAS, the Clayton Planning Commission has reviewed the "Infill Exemption Environmental Analysis for Clayton Senior Housing Project"; and

WHEREAS, on November 12, 2019, the Clayton Planning Commission held a duly-noticed public hearing on the Project, including staff's recommended determination of a Class 32 Categorical Exemption (Infill Development Projects) pursuant to the CEQA Guidelines.

NOW, THEREFORE, BE IT RESOLVED, as follows:

1. The foregoing recitals are true and correct.
2. The Clayton Planning Commission hereby finds, on the basis of the whole record before it, that:
 - a. The City of Clayton exercised overall control and direction over the CEQA review for the Project, including the preparation of the “Infill Exemption Environmental Analysis for Clayton Senior Housing”, and independently reviewed the same; and
 - b. There is no substantial evidence that the Project will have a significant effect on the environment; and
 - c. The “Infill Exemption Environmental Analysis for Clayton Senior Housing” reflects the City’s independent judgment and analysis.
3. The Clayton Planning Commission hereby determines that the Project is Categorically Exempt, under Class 32 – Infill Development Projects, from further review pursuant to the California Environmental Quality Act.

PASSED AND ADOPTED by the Planning Commission of the City of Clayton at a regular meeting on the 12th day of November, 2019.

APPROVED:

ATTEST:

Peter Cloven
Chair

David Woltering
Interim Community Development Director



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NORTHERN CALIFORNIA

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June 14, 2019

David Woltering
Interim Community Development Director
City of Clayton
6000 Heritage Trail
Clayton, CA

Subject: Infill Exemption Environmental Analysis for Clayton Senior Housing Project

Dear Mr. Woltering:

The City of Clayton retained Raney Planning & Management, Inc. (Raney) to determine whether the Clayton Senior Housing Project satisfies criteria (c) and (d) of the Class 32 Infill Exemption included in the California Environmental Quality Act (CEQA) Guidelines. The specific conditions identified in the Class 32 Infill Exemption in the CEQA Guidelines are as follows (specific emphasis has been added for criteria (c) and (d)):

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*
- (b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*
- (c) *The project site has no value as habitat for endangered, rare or threatened species.*
- (d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*
- (e) *The site can be adequately served by all required utilities and public services.*

The applicant team prepared several technical studies for the project, which provide information needed to determine whether the project satisfies criteria (c) and (d). To that end, the Raney team performed peer reviews of the applicant-prepared reports to determine their adequacy. The technical reports for the Clayton Senior Housing Project are as follows:

- *6170 High Street/6450 Marsh Creek Road, 6490 Marsh Creek Road – Revised Biological Constraints Assessment Survey Results (November 6, 2018), prepared by Olberding Environmental;*
- *Air Quality & Greenhouse Gas Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 24, 2018);*
- *Noise & Groundborne Vibration Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 21, 2018); and*
- *Clayton Senior Housing Trip Generation Study Final Letter (May 8, 2017), prepared by Kimley Horn.*

The following section provides a summary of Raney's review of the technical biological, air quality, noise, traffic, and water quality studies.

Biological

Raney has determined that the methods employed by Olberding Environmental are in general conformance with industry standard practice for biological assessments. For example, the report includes a search of the California Natural Diversity Database (CNDDDB) maintained by the California Department of Fish and Wildlife, and reports the special-status species recorded within an extended radius around the project site (presumably 5 miles). The initial peer review comments provided by Raney to the City on September 19, 2018 have been adequately addressed in the final November 6, 2018 report. The report concludes that the project site has no value as habitat for endangered, rare or threatened species, consistent with criteria (c) of Infill Exemption 15332.

Air Quality

Raney has concluded that the Air Quality/Greenhouse Gas analysis was completed in accordance with current industry standards, and in compliance with the recommended guidance of the Bay Area Air Quality Management District (BAAQMD). The general methodology of the Technical Memorandum included estimating potential air quality and greenhouse gas (GHG) emissions from construction and operation of the proposed project, using the most-up-to-date version of the California Emissions Estimator Model (CalEEMod) software. To assess the adequacy of the Air Quality/GHG analysis presented in the Technical Memorandum, Raney reviewed the methods, assumptions, and CalEEMod outputs provided by Ambient Consulting. The initial peer review comments provided by Raney to the City on July 20, 2018 and September 7, 2018 have been adequately addressed in the final September 24, 2018 report. The report concludes that the proposed project would result in construction and operational emissions below the BAAQMD's thresholds of significance. Thus, the proposed project would not result in any significant air quality effects, consistent with criteria (d) of Infill Exemption 15332.

Noise

Raney hired j.c. brennan & associates, Inc., a noise technical expert, to perform a technical peer review of the project-specific noise and vibration study. j.c. brennan & associates reviewed the report methodology and results and determined that the report was completed in accordance with current industry standards and adequately addresses whether the proposed project would exceed the City of Clayton's General Plan Noise Element and/or Noise Ordinance standards. The report concludes that the proposed project would result in operational noise levels below the relevant City noise thresholds. With respect to construction noise, the report correctly notes that construction activities occurring between the allowable hours specified in Clayton Municipal Code Section 15.01.101 are not subject to the City's noise level thresholds. Per City Ordinance, construction hours for the project would be limited. Thus, the proposed project would not result in any significant noise effects, consistent with criteria (d) of Infill Exemption 15332.

Traffic

Raney consulted with Abrams Associates Traffic Engineering, Inc. to advise on the accuracy of a Trip Generation Study prepared for the proposed project by Kimley Horn. On May 9, 2018, Abrams Associates confirmed that the method of analysis used in the Trip Generation Study was correct, and that the resulting trip estimates are accurate. The Trip Generation Study concludes that the proposed project would generate 16 AM peak hour trips and 19 PM peak hour trips using the ITE Trip Generation Manual. The expected AM and PM peak hour trips are well below the Contra Costa Transportation Authority's 100 peak hour trip threshold for warranting a traffic impact analysis. Additionally, the nearby intersection of Marsh Creek Road/Clayton Road was analyzed and it was determined that the intersection would not be impacted by the relatively small increase in trips in the vicinity. Thus, the proposed project would not result in any significant traffic effects, consistent with criteria (d) of Infill Exemption 15332.

Hydrology

The City Engineer has reviewed the proposed project's potential to significantly effect water quality in the vicinity and has determined that compliance with existing stormwater regulations would ensure no significant adverse water quality effects would occur, as the following will demonstrate. The proposed project would implement the City of Clayton development standards, as well as adhere to all regulations set forth by the Regional Water Quality Control Board, including Section C.3 of the Municipal Regional Storm Water Permit. Additionally, the proposed project would adhere to all requirements for sewerage collection and purveyance of drinking water enforced by the Contra Costa Water District. The City Engineer determined that the proposed project would not introduce any extraordinary issues that would negatively impact water quality on the project site or in the surrounding area. Thus, the proposed project would not result in any significant water quality effects, consistent with criteria (d) of Infill Exemption 15332.

Conclusion

As discussed above, the project site does not contain valuable habitat for endangered, rare or threatened species. Based on an air quality analysis conducted for the proposed project, emissions of criteria pollutants associated with the project would not exceed applicable thresholds established by BAAQMD. Additionally, as determined by the technical studies, the proposed project would be consistent with all applicable regulations set forth by the City and Contra Costa County with regard to noise and traffic. Finally, the City Engineer has evaluated the project site plans and determined that the proposed project would not create any significant adverse effects to water quality on the project site or in the surrounding area. Based on the above, the Clayton Senior Housing Project would satisfy the Infill Exemption conditions (c) related to biological resources and (d) related to air quality, noise, traffic, and water quality.

Exceptions to Categorical Exemptions

Even if a project is ordinarily exempt under any of the categorical exemptions, CEQA Guidelines Section 15300.2 provides specific instances where exceptions to otherwise applicable exemptions apply. The following is a discussion of any possible exceptions to the CEQA exemption.

Criterion 15300.2(a): Location

This exception only applies to CEQA exemptions under Classes 3,4,5,6, or 11. Since the proposed project qualifies as a Class 32 Infill Exemption, Criterion 15300.2(a) would not apply.

Criterion 15300.2(b): Cumulative Impact

The project site is currently designated Multifamily High Density Residential in the Clayton General Plan and zoned Planned Development. The proposed project is consistent with the site's General Plan and zoning designations. Therefore, impacts of the project have been anticipated by the City and analyzed in the General Plan EIR. Furthermore, the proposed project would not create a significant impact related to modification of habitat for endangered, rare, or threatened species, air quality, noise, traffic, or water quality. Thus, the overall effects of the proposed project would be less than significant and would not contribute to significant cumulative impacts.

Criterion 15300.2(c): Unusual Circumstances

The proposed project would develop a senior housing facility on a project site currently planned for residential development. As discussed above, the Biological Assessment determined that the site does not contain any suitable habitat for endangered, rare, or threatened species; and, such species are not anticipated to occur on-site. Additionally, the project site has not been identified as a source of potentially hazardous materials or waste contamination which could pose a risk to surrounding residents. Based on the above, the project site is not affected by any unusual circumstances. Thus, the exception regarding significant effects on the environment due to unusual circumstances would not apply.

Criterion 15300.2(d): Scenic Highway

The project site would not be located within view of any Officially Designated Scenic Highway. Interstate 680 (I-680), an Officially Designated Scenic Highway, is located approximately 7.5 miles southwest of the project site; however, I-680 would not provide views of the project site.¹ Thus, the exception regarding scenic highways would not apply.

Criterion 15300.2(e): Hazardous Waste Sites

The Cortese List, consisting of databases identified in California Government Code Section 65962.5, was consulted to identify sites with known hazardous materials or waste contamination within or adjacent to the project site; however, none were found. Thus, an exception to the Class 32 exemption based on the presence of a hazardous waste site would not apply.

Criterion 15300.2(f): Historical Resources

The City of Clayton's *Heritage Preservation Task Force Report* includes a list of any potentially historic resources located within the City, including historic resources listed on either the California Register of Historical Resources or the National Register. Based on the Report, the existing on-site structures are not listed as historical resources and the project site does not contain any other structures which are considered historic by the City. In addition, the project site is located within an urbanized area of the City of Clayton and is surrounded by development. Thus, archaeological and paleontological resources are not anticipated be present at or near the project site. Therefore, the exception based on presence of historical resources would not apply.

Conclusion

Based on the above discussions, the proposed project would be consistent with the General Plan and zoning designations. Consistency with such would ensure that the project would not result in any cumulative impacts which have not already been anticipated by the City. In addition, the project site does not contain any unusual circumstances. Finally, the project site is not within view of a Scenic Highway, identified as a source of hazardous materials, and does not contain any recorded historic resources. Based on the above, the proposed project would not meet any of the exception criteria for a Class 32 Infill Exemption.

Please contact me at (916) 372-6100 if you have any questions regarding this Infill Exemption analysis.

Sincerely,

Nick Pappani
Vice President
Raney Planning and Management, Inc.

¹ California Department of Transportation. *California Scenic Highway Mapping System Contra Costa County*. Accessed June 2019. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/.

Draft for Review

**CITY OF CLAYTON
PLANNING COMMISSION
RESOLUTION NO. 06-19**

A RESOLUTION APPROVING THE AFFORDABLE HOUSING DENSITY BONUS APPLICATION (DBA-01-19), SITE PLAN REVIEW (SPR-04-17), AND TREE REMOVAL PERMIT (TRP-S4-17) FOR THE OLIVIA ON MARSH CREEK SENIOR HOUSING PROJECT

WHEREAS, the City received an application from William Jordan requesting review and consideration of an Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17), and related Environmental Review (ENV-01-17) for development of an 81-unit senior residential project located on three adjacent parcels with a total area of 3.02 acres ("Project"), known as The Olivia on Marsh Creek Road, located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013); and

WHEREAS, the City commissioned an independent analysis of the Project's eligibility for an Infill Exemption by Raney Planning & Management, Inc., titled "Infill Exemption Environmental Analysis for Clayton Senior Housing Project" and dated June 14, 2019, which analyzes whether the Project meets all criteria of the Class 32 Infill Exemption as stated in California Environmental Quality Act (CEQA) Guidelines Section 15332; and

WHEREAS, the Clayton Planning Commission adopted Resolution No. 05-19 determining that the Project is Categorically Exempt from environmental review pursuant to CEQA, under Class 32 (Infill Development Projects) of the CEQA Guidelines, at the Planning Commission meeting of November 12, 2019; and

WHEREAS, proper notice of this public hearing was given in all respects as required by law; and

WHEREAS, on November 12, 2019, the Clayton Planning Commission held a duly-noticed public hearing on the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17), and received and considered testimony and evidence, both oral and documentary.

NOW, THEREFORE, BE IT RESOLVED, the Planning Commission does determine the foregoing recitals are true and correct and makes the following findings for approval of the Affordable Housing Density Bonus application:

Clayton Municipal Code (CMC) Section 17.90.090 states that the City shall grant the concessions or incentives requested by a project applicant unless the City makes a written finding, based upon substantial evidence, of either of the following:

- A. The concession or incentive is not required in order to provide for Affordable Housing Costs;***
- B. The concession or incentive would have a specific adverse impact upon public health and safety or the physical environment or on any real property that is listed in the Federal Register of Historical Resources or any locally officially designated architecturally and historically significant buildings and for which there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development unaffordable to Low and Moderate Income households.***

The applicant has submitted documentation demonstrating that the two requested concessions are required in order to make the development project economically feasible with inclusion of the affordable units. According to the independent analysis prepared on the applicant's behalf, and subject to a peer review by the City, for the cost savings of the concessions: (1) a reduction in setback requirements for buildings and parking spaces; and (2) a reduction in the required number of parking spaces; the total cost savings makes it possible to offer seven units at reduced rents to Very Low Income households.

The City further finds that the requested concessions would not have an adverse impact on public health or safety, the physical environment, or historic resources. There are no environmentally sensitive areas or historic resources on or adjacent to the project site. With one parking space provided per dwelling unit, the project will avoid any potential adverse impacts related to parking.

NOW THEREFORE BE IT FURTHER RESOLVED, the Planning Commission hereby makes the following required findings for approval of a Site Plan Review Permit:

- 1. That the project is consistent with the General Plan designation and policies.***

The General Plan designation of the project site is Multifamily High Density (MHD) (20 units per acre). This designation is intended to facilitate development of apartments or condominiums in areas of Clayton where higher densities are appropriate, such as near the commercial center. The proposed development is immediately adjacent to the commercial Town Center of Clayton. This land use designation allows for maximum structural coverage of 65% of the site area. The proposed project is well below this maximum, with lot coverages of 24.1% for 6170 High Street, 24.5% for 6450 Marsh Creek Road, and 26.1% for 6490 Marsh Creek Road.

The policies for the MHD land use designation encourage new development to use

“Planned Development concepts and standards, with incorporation of significant design and amenity in the project.” The project site is subject to the Planned Development District zoning regulations and corresponding development standards. The project is well designed, with quality building materials, articulated facades, ample open space, diverse and attractive landscaping, and other amenities including outdoor furnishings, bicycle racks and an assigned parking space for each unit.

Due to the project incorporating a density bonus, pursuant to State law and the City’s Affordable Housing Density Bonus Requirements Ordinance, it exceeds the 20 unit per acre residential density for the MHD land use designation. Proposed residential density for the project with the bonus units is 26.8 units per acre. However, the state Density Bonus Law allows a development project to exceed the maximum density allowed under the General Plan when affordable housing units are included. Furthermore, the Density Bonus Law requires the City to approve the project with the additional density, provided that it meets all requirements of the law and does not result in adverse impacts. Thus, in this case the project is allowed and is consistent with state law and the City’s local regulations (CMC Chapter 17.90) at the proposed density of 26.8 units per acre.

2. *Meets the standards and requirements of the Zoning Ordinance.*

The project meets the requirements of CMC Chapter 17.90, the Affordable Housing Density Bonus Requirements. Eleven percent of the number of 60 residential units allowed under the General Plan are set aside for households meeting HUD’s definition of Very Low Income. Therefore, the project is entitled to a 35 percent density bonus, equivalent to 21 additional units. The type and size of affordable units reflects the range and sizes of units in the project as a whole (five one-bedroom units and two two-bedroom units are designated as below market rate [BMR]). The units are dispersed throughout the three buildings and are identical in design and construction quality to the market-rate units.

The applicant has submitted all required materials for the Affordable Housing Unit Plan that are listed in CMC Section 17.90.140. A requirement for an Affordable Housing Unit Agreement pursuant to CMC Section 17.90.150 has been included as a Condition of Approval for the project.

In addition, the project complies with the zoning standards of the Planned Development District in CMC Chapter 17.28. As prescribed in CMC Section 17.28.050.B, the applicable development standards are the Multiple Family Residential High Density (M-R-H) District standards in Chapter 17.20. With the exception of minor variations in required setbacks and building height and the reduced parking requirements that are permitted through the granting of concessions and waivers/reductions pursuant to the Density Bonus Law, the project meets the development standards for the M-R-H District.

3. Preserves the general safety of the community regarding seismic, landslide, flooding, fire, and traffic hazards.

The project is located on a mostly level site that is not impacted by landslide hazard and is not located in an area at risk of flooding. The project will comply with local and State building codes for seismic safety and fire prevention.

4. Maintains solar rights of adjacent properties.

The project is located on a relatively flat site and maintains adequate building setbacks from property lines, thereby avoiding shadow impacts and protecting solar access for adjacent properties.

5. Reasonably maintains the privacy of adjacent property owners and/or occupants.

Mature existing trees along the western property line of the subject parcels and along the southern property line of 6490 Marsh Creek Road will be maintained, helping to ensure privacy for adjacent properties to the west and south. In addition, new Oak and Bay trees will be planted along the western property line of 6170 High Street to provide additional screening. Along the "flagpole" section of 6470 Marsh Creek Road that is located between the two subject parcels at 6450 and 6490 Marsh Creek Road, six-foot high solid wood fencing is proposed to ensure privacy for the former parcel.

6. Reasonably maintains the existing views of adjacent property owners and/or occupants.

The project is located on a relatively flat site and is downhill from the adjacent property to the west. Because of the significant difference in elevation between the subject site (approximate elevation of 400 feet above sea level) and the properties to the west, 6470 Marsh Creek Road and 6061 Clayton View Lane, (approximate elevation of 450 feet above sea level) the proposed buildings will not obstruct views from these neighboring properties to the west. No other properties adjacent to the project site have significant views.

7. Is complementary, although not identical, with adjacent existing structures in terms of materials, colors, size, and bulk.

The applicant has requested a waiver of this standard pursuant to the Density Bonus Law. The size and bulk of the proposed buildings (three stories in height) exceed that of many of the existing structures in the surrounding area. However, the topography in the vicinity of the project site, specifically the hill immediately to the west, has the effect of lessening the visual impact of the taller buildings. In addition, variations in exterior wall planes and design articulation of the facades helps to create a less bulky appearance.

Building materials such as smooth hardiplank siding, brick and composition shingle roofing, as well as stone retaining walls, are similar and complementary to the design and rustic character of nearby structures. Proposed exterior colors for the buildings are primarily neutral and natural earth-tones, such as beiges, browns, grays, and brownish shades of red, which are complementary with the character of the surrounding area.

8. *Is in accordance with the design standards for manufactured homes per Section 17.36.078.*

Not applicable – the project does not include manufactured homes.

NOW THEREFORE BE IT FURTHER RESOLVED, The Clayton Planning Commission does hereby approve the Affordable Housing Density Bonus Application (DBA-01-19), Site Plan Review Permit (SPR-04-17), and Tree Removal Permit (TRP-24-17) for The Olivia on Marsh Creek Road, an 81-unit senior residential development located on three adjacent parcels with a total area of 3.02 acres, located at the southwest intersection of High Street and Marsh Creek Road (APNs: 119-021-063, 119-021-055, and 119-021-013), subject to the following conditions:

PLANNING CONDITIONS

1. An Affordable Housing Unit Agreement (AUA) shall be recorded as a restriction on each parcel on which the Affordable Housing units will be constructed. The approval and recordation of the AUA shall take place prior to issuance of building permits. The AUA shall be binding on all future owners and successors interest. The AUA must include, at minimum, the following:
 - a. A description of the development, including the total number of units, the number of Affordable Housing Units, and the tenure of the Affordable Housing Units;
 - b. The size, in square footage, and location of Affordable Housing Units;
 - c. A description of the household income group to be accommodated by the Affordable Housing Units, and the formula for determining the monthly rent amount for each Affordable Housing Unit;
 - d. The term of affordability for the Affordable Housing Units;
 - e. A schedule for completion and occupancy of the Affordable Housing Units;
 - f. Provisions and/or documents for rights of first refusal or rental restrictions;
 - g. The Marketing Plan for rental of the Affordable Housing Units;
 - h. Provisions for monitoring the ongoing affordability of the Affordable Housing Units, and the process for qualifying prospective resident households for income eligibility; and
 - i. A description of the concession(s) or incentive(s) provided by the City.

- j. Specific property management procedures for qualifying and documenting tenant income eligibility, establishing affordable rent and maintaining Affordable Housing units for qualified tenants;
 - k. Provisions requiring property owners to verify household incomes and maintain books and record to demonstrate compliance with this chapter;
 - l. Provisions requiring the Property Owner to submit an annual report to the city, which includes the name(s), address, and income of each household occupying target units, and which identifies the bedroom size and monthly rent or cost of each Affordable Housing unit;
 - m. Provisions describing the amount of, and timing for payment of, Administrative Fees to be paid to the city for the mandated term of compliance monitoring in accordance with the provisions of this chapter; and
 - n. Any additional obligations relevant to the compliance with Chapter 17.90 of the Clayton Municipal Code, *Affordable Housing Density Bonus Requirements*.
2. The project is subject to development impact fees. The applicant shall be responsible for all fees and environmental review costs, including those charged by the California Department of Fish and Wildlife.
 3. Any major changes to the project shall require Planning Commission review and approval. Any minor changes to the project shall be subject to City staff review and approval.
 4. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and other fees that are due.
 5. Parking spaces shall be assigned to specific residential units. Each unit shall have one (1) assigned parking space. The number and location of the assigned parking space shall be stated in the rental agreement for each unit.
 6. The applicant shall execute a shared parking agreement between 6170 High Street and 6450 Marsh Creek Road allowing for three (3) resident parking spaces and one (1) guest parking space for 6170 High Street to be located on the 6450 Marsh Creek Road parcel. The shared parking agreement shall be recorded on the deed for each parcel.
 7. Prior to issuance of a building permit, the applicant shall assure there is a recorded easement between Site 1 and Site 2 for pedestrian access between parking lot areas.

8. Prior to the commencement of grading, demolition, or construction activities, the applicant shall submit a recycling plan for construction materials to the City for review and approval. The plan shall include that all materials that would not be acceptable for disposal in the sanitary landfill be recycled/reused. Documentation of the material type, amount, where taken, and receipts for verification and certification statements shall be included in the plan. The applicant shall submit deposits to the City to ensure good faith efforts of construction and demolition recycling. A deposit of \$2,000 per residence shall be submitted prior to issuance of the building permit for each residence, or demolition permit. Appropriate documentation regarding recycling shall be provided to the City. All staff costs related to the review, monitoring, and enforcement of this condition shall be charged to the deposit account.
9. Prior to issuance of demolition permits for on-site structures, the applicant shall show compliance with the NPDES Municipal Regional Permit (MRP 2.0) issued by the San Francisco Regional Water Quality Control Board regarding Mercury control and disposal. Building and site assessment shall be conducted to determine if any Mercury-containing devices (i.e. thermostats, etc.) or sources exist. If the assessment identifies any Mercury-containing devices or equipment, the devices or equipment shall be properly removed and disposed of at an acceptable recycling facility or landfill, so that demolition activities do not result in Mercury being scattered on site or entering storm drains. Where applicable, documentation of site assessment and proper disposal shall be provided to the Community Development Department prior to the issuance of any new construction permit.
10. Prior to the issuance of demolition permits, the applicant shall show compliance with the NPDES Municipal Regional Permit (MRP 2.0) issued by the San Francisco Regional Water Quality Control Board regarding polychlorinated biphenyl (PCB) control and disposal. The applicant shall ensure proper management of potential PCB-containing materials and wastes during building demolition and disposing of PCB properly, so that demolition activities do not result in PCB entering storm drains. Prior to issuance of demolition permits, the applicant shall submit to the Community Development Department an analysis of the existing structures having PCB concentrations below 50 ppm, or provide written documentation and evidence as to the type and style of all structures to be demolished that are single-family residential and/or wood frame structures. If the applicant is unable to obtain compliance by either of these measures, the applicant shall abate any PCB at or above 50 ppb in accordance with an approved disposal plan to be submitted to the Community Development Department prior to issuance of demolition permits.
11. At least thirty (30) days prior to any demolition or groundbreaking activities, the applicant shall retain an exterminator who shall evaluate the site and make recommendations for the control and/or eradication of any on-site rodents. The

exterminator's recommendations shall be subject to the review and approval of the Community Development Director. The applicant shall comply with the approved exterminator's recommendations prior to initiation of any demolition or groundbreaking activities.

12. Pursuant to Government Code Section 66474.9, the applicant (including the subdivider or any agent thereof) shall defend, indemnify, and hold harmless the City of Clayton and its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the City's approval concerning this subdivision map application, which action is brought within the time period provided for in Section 66499.37. The City will promptly notify the subdivider of any such claim, action, or proceeding and cooperate fully in the defense.
13. The applicant agrees applicant agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including attorney's fees and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, or the environmental review conducted under the California Environmental Quality Act for this entitlement and related actions. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.

GENERAL CONDITIONS

14. The project shall comply with the Clayton Municipal Code. All construction shall conform to the requirements of the California Building Code and City of Clayton standards.
15. The developer shall comply with all mitigation measures listed in the CEQA environmental documents, including all Mitigation Measures prepared for this project. The Community Development Director shall interpret the mitigation measures and furnish the developer with specific improvements to be installed or procedures to follow.
16. The applicant shall defend, indemnify, and hold harmless the City in any action brought by a third party to challenge the land use entitlement. In addition, if there is any referendum or other election action to contest or overturn these approvals, the applicant shall either withdraw the application or pay all City costs for such an election.
17. The project shall be implemented as indicated on the application form and

accompanying materials provided to the City and in compliance with the Clayton Municipal Code, or as amended by the Planning Commission.

18. No building permit will be issued unless the plan conforms to the project description and materials as approved by the Planning Commission and the standards of the City.
19. This approval expires two years from the date of approval (expires_____, 2021), unless a building permit has been issued and construction has diligently commenced thereon and has not expired, or an extension has been approved by the Planning Commission. Requests for extensions must be received in writing with the appropriate fees prior to the expiration of this approval. No more than one, one-year extension shall be granted.
20. No permits or approvals, whether discretionary or mandatory, shall be considered if the applicant is not current on fees, reimbursement payments, and any other payments that are due.
21. This approval supersedes previous approvals, if any, that have been granted for this site.
22. The general contractor shall install and maintain the erosion and sedimentation control devices around the work premises per the most current NPDES Municipal Regional Permit (MRP). Current MRP is 2.0 and upcoming permit will be MRP-3.0.
23. All required easements or rights-of-way shall be obtained by the applicant at no cost to the City of Clayton. Advance permission shall be obtained from any property owners or easement holders for any work done within such property or easements.
24. Prior to issuance of the certificate of occupancy for each property, the public improvement for that property including streets, sewers, storm drains, street lights, and traffic signs required for access to the site shall be completed to the sole satisfaction of the City Engineer or City Traffic Engineer.
25. City staff shall inspect the site for compliance with conditions of approval and approved plans prior to final inspection approval.
26. The applicant shall obtain an encroachment permit for all work to be done within the public right-of-way or easement, and peak commute-hour traffic shall not be impeded by construction-related activity. All on-site improvements not covered by the building permit including walkways, driveways, paving, sewers, drainage, curbs, an gutters must be constructed in accordance with approved

plans and/or standards and a Site Development Permit approved by the City Engineer.

27. All existing easements shall be identified on the site plan and all plans that encroach into existing easements shall be submitted to the easement holder for review and approval, and advance written permission shall be obtained from any property owner or easement holder for any work done within such property or easement.
28. Building permits for retaining walls shall be obtained as follows:
 - a. For major walls over three feet in height to be constructed during the mass-grading phase, obtain a building permit prior to issuance of the grading permit.
 - b. For all other walls, obtain a building permit prior to issuance of permits for structures on the respective lot in accordance with the applicable California Building Code Standards.

NOISE CONTROL, DUST AND CONDITIONS FOR CONSTRUCTION ACTIVITY

28. An encroachment permit is required for all work in the public right-of-way. Restoration of existing improvements (curb, gutter, sidewalk, street section, etc.) shall be to the City of Clayton standards and as approved by the City Engineer.
29. The use of construction equipment shall be restricted to weekdays between the hours of 8:00 a.m. and 5:00 p.m., or as approved in writing by the City Manager.
30. The project shall be in compliance with and supply all the necessary documentation to comply with the City of Clayton Construction and Demolition Debris Recycling Program.
31. Driveway access to neighboring properties shall be maintained at all times during construction.
32. Standard dust control methods shall be used to stabilize the dust generated by construction activities in accordance with the Bay Area Air Quality Management District standards.
33. The site shall be fenced with locked gates by 7:00 PM. The gates shall remain locked until 7:00 AM. Contractors shall not arrive at the site prior to the opening of the gates. The name and contact information shall be placed at locations on the site for neighbors to contact in the circumstance there is a concern that needs to be addressed to the satisfaction of the City Engineer.
34. All construction equipment utilizing combustion engines shall be equipped with "critical" grade (rather than "stock" grade) noise mufflers or silencers that are in good condition. Back up "beepers" shall be tuned to insure lowest possible

noise levels while also serving the safety purpose of the backup sound indicator.

35. Stationary noise sources shall be located at least 300 feet away from any occupied residential or business dwellings unless noise-reducing engine housing enclosures or other appropriate noise screens are provided.
36. Speeds of construction equipment shall be limited to 10 mph. This includes equipment traveling on local streets to and from the site.
37. Access shall be maintained to all driveways at all times.
38. There shall be no parking of construction equipment or construction worker's cars on residential or business streets at any time. A staging area shall be secured prior to issuance of a grading or building permit as determined necessary by the City Engineer.
39. Truck routes for the import or export of cut/fill material shall be identified and approved by the City Engineer prior to the issuance of any permits. Developer shall be responsible for the repair of any damage to City streets (private and public) caused by the contractor's or subcontractor's vehicles.
40. Prior to construction, developer shall ensure that the contractor shall contact City inspector for a pre-construction meeting. Haul route shall be submitted for review and approval by the City Engineer.
41. All construction activities must be designed to minimize potential spills from equipment and to provide a planned response in the event an accidental spill occurs. The developer shall maintain spill equipment on site; there shall be a designated area if refueling takes place on site. Developer shall insure all construction personnel are trained in proper material handling, cleanup and disposal procedures.
42. Prior to any demolition activities, a demolition permit shall be obtained and all demolition activities be performed in accordance with the Bay Area Air Quality Management District Regulation 11 Hazardous Pollutants, Rule 2 Asbestos Demolition, Renovation, and Manufacturing. The purpose of this Rule is to control emissions of asbestos to the atmosphere during demolition, renovation, milling and manufacturing and establish appropriate waste disposal procedures. These requirements specify the appropriate methods for survey, demolition/removal, and disposal of asbestos materials to control emissions and prevent hazardous conditions. Specifications developed for the demolition activities shall include the proper packaging, manifesting and transport of demolition wastes by trained workers to a permitted facility for disposal in accordance with local, State, and Federal requirements.

43. Prior to demolition or renovation activities that may disturb suspected lead-based paint (LBP), actual material samples shall be collected or an XRF survey performed in order to determine if LBP is present. It should be noted that construction activities that disturb materials or paints containing any amount of lead are subject to certain requirements of the Occupational Safety and Health Administration (OSHA) lead standard contained in 29 CFR 1910.1025 and 1926.62. If lead-based paint is identified, the paint shall be removed by a qualified lead abatement contractor. Specifications developed for the demolition activities shall include the proper packaging, manifesting, and transport of demolition wastes by trained workers to a permitted facility for disposal in accordance with local, State, and Federal requirements.

PROPERTY MAINTENANCE

44. A parking lot sweeping program shall be implemented that, at a minimum, provides for sweeping immediately prior to the storm season and prior to each storm event.
45. The site shall be kept clean of all debris (litter, boxes, junk, garbage, etc.) at all times.
46. No signs shall be installed on this site without prior City approval.
47. Any undeveloped areas on-site shall be maintained in an attractive manner that ensures fire safety and prevents any runoff onto the adjacent sidewalks.

AGENCY REQUIREMENTS

48. Applicable requirements of other agencies including, but not limited to the Contra Costa County Fire District, the Contra Costa Water District, City of Concord (Sanitation), and the East Contra Costa County Habitat Conservancy shall be met.

FEES

49. The applicant shall pay all fees required by the City Council and other applicable agencies.
50. The developer shall pay all required fees at the time of building permit issuance.

GRADING

51. All grading shall be required grading and drainage plan prepared by a registered Civil Engineer, a soils report prepared by a registered Geotechnical Engineer and a Grading Permit approved by the City Engineer. The grading plans and soils

report shall require review by the City's geotechnical consultant with all costs to be borne by the developer.

52. All recommendations made in the Soil Engineers report (unless amended through the City's review) and all recommendations made by the City's geotechnical consultant shall be incorporated into the design and construction of the project.
53. Contour grading techniques with spot elevations shall be employed throughout the project to achieve a more natural appearance, even where this will increase the amount of grading.
54. Tops of cuts or toes of fills adjacent to existing public rights-of-way or easements shall be set back two feet minimum from said rights-of-way and easements.
55. Erosion control measures shall be implemented by the developer per plans approved by the City Engineer for all grading work not completed before October 1. At the time of approval of the improvement and/or grading plans, an approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the City Engineer.
56. All graded slopes in excess of 5 feet in height shall be hydroseeded no later than September 15 and irrigated (if necessary) to ensure establishment prior to the onset of the rainy season
57. The applicant's engineer shall certify the actual pad elevation for the lot in accordance with City standards prior to issuance of Building Permit.
58. Any grading on adjacent properties will require written approval of those property owners affected.
59. If cultural resources are discovered during subsurface excavations, the Contractor shall cease construction and a qualified archeologist shall be contacted to make recommendations for mitigation.
60. The plans shall include the boundary treatment shown on cross sections, drawn to scale, for retaining walls, fencing and drainage.
61. All elevations shown on the grading and improvement plans shall be on the USGS 1929 sea level datum or NAVD 88 with conversion information, or as approved by the City Engineer.

UTILITIES

62. The developer agrees to underground existing and proposed utilities (e.g. transformers and PMH boxes) except existing PG&E towers, if any, or as approved by the City Engineer.
63. Trash enclosures shall drain to sanitary sewer and shall incorporate methods to contain runoff at the front-gate and pedestrian access point to prevent storm water from entering the enclosure
64. The sewer collection system shall be constructed to function as a gravity system. Sanitary sewer collection system shall be constructed to the standards of the City of Concord and Central Contra Costa Sanitary District. Inspections of sanitary sewer collection system shall be performed by City of Concord under contract to City of Clayton.
65. Water system facilities shall be designed to meet the requirements of Contra Costa Water District and the fire flow requirements of the Contra Costa County Fire Protection District. All requirements of the responsible agency shall be guaranteed prior to approval of the improvement plans. Any required offsite easements shall be obtained by the developer at his/her own expense.
66. A reduced pressure backflow preventer assembly shall be installed on all water meter services.
67. Double detector check fire line backflow assemblies shall be enclosed within an easement granted to Contra Costa Water District, as needed, and at no cost to the City or the District.
68. The developer shall provide adequate water pressure and volume to serve this development, as approved by the City Engineer. This will include a minimum residual pressure of 20 psi with all losses included at the highest point of water service and a minimum static pressure of 50 psi.
69. All onsite utilities shall be privately maintained and connected to public facilities in accordance with City and applicable agency standards, as approved by the City Engineer.
70. All sanitary sewer system connections and improvements shall be submitted for reviewed and approved by the City Engineer and review and comment by the City of Concord (Sanitation).

DRAINAGE AND WATER QUALITY

71. For projects disturbing one (1) acre or more, the developer shall comply with the State Construction General Permit requirements. The developer shall be responsible for preparing the SWPPP, submit all required documents, and obtaining coverage by filing a Notice of Intent (NOI) with State Water Resource Control Board (SWRQB).
72. A copy of the SWPPP and the Notice of Intent (WDID) shall be submitted to the City prior to issuing permits for construction. The SWPPP and the WDID shall be kept at the job site during construction. The WDID number shall be included onto the cover sheet of the Grading Plans for the project.
73. Prior to approval of the grading plans, the applicant shall submit a drainage study to the City for review and approval, and to the Contra Costa County Flood Control and Water Conservation District (FC District) for review and comment. The developer shall be responsible to pay directly for the agency's review.
74. Applicant shall comply with the requirements of Provision C.3 of the Municipal Regional Permit (MRP) of the State Regional Water Resources Control Board NPDES Permit as applicable to this project.
75. Stormwater control facilities (C.3 facilities) shall be maintained and operated by the applicant/property owner, in perpetuity, in accordance with the Operation and Maintenance Plan. The applicant/property owner shall provide periodic and annual inspection reports.
76. Applicant shall submit a comprehensive Stormwater Control Plan, construction plans, details, and calculations in accordance with the current Contra Costa Clean Water Program (CCCWP) C.3 Guidebook (7th Edition). Required offsite improvements and street(s) frontage improvement work shall be considered and included as a part of this project for compliance with C.3 requirements. The Stormwater Control Plan watershed drainage map shall include all impervious surface locations (i.e. streets, buildings, parking lots, walkways, etc.) to be used in the calculations for sizing C.3 facilities.
77. CCCWP C.3 online calculator shall be used in determining the size of the required C.3 facilities. Submit a printout and attach a copy in the Stormwater Control Plan.
78. Bio-retention basin side slopes shall not be steeper than 3H:1V.
79. Using C.3 bio-retention basin(s) as a detention basin(s) for the mitigation of increased peak flows shall be subject to the City Engineer's approval. If approved by the City Engineer, applicant shall submit hydrology and hydraulic study, calculations, and details to demonstrate compliance with the C.3

requirements as well as flood control requirements. Detention basin(s) design parameters and the calculations shall also be in accordance with Contra Costa County Flood Control guidelines.

80. Prior to City Approval of the plans and issuance of permits, the applicant shall submit a signed operation and maintenance agreement. The agreement shall be the City's standard form and subject to the review and approval by the City.
81. All storm water flows shall be collected onsite and discharged into an approved public storm drain system. No onsite drainage is allowed to flow over the sidewalk.
82. Applicant shall not increase storm water runoff to adjacent downhill lots unless either, (1) a Drainage Release is signed by the property owner(s) of the affected downhill lots and recorded in the office of the County Recorder; or (2) site drainage is collected and conveyed in approved drainage facilities within a private drainage easement through a downhill property. This condition may require collection of on-site runoff and construction of an off-site storm drainage system. All required releases and/or easements shall be obtained prior to issuance of any building permits.
83. A structure shall be installed at all pipe intersections, change of direction, or change in slope as approved by the City Engineer.

STREET IMPROVEMENTS

84. Sidewalks, curb, gutter, sidewalk and street pavement shall be constructed and/or replaced (if cracked, broken or damaged) in the public right-of-way along the entire project frontage as required by the City Engineer and at no cost to the City. Driveway aprons shall be removed and/or replaced with new curb, gutter and sidewalk to match the proposed development. Corner curb ramps (handicap ramps) that do not meet current Federal ADA and State Title 24 Standards shall be replaced to current standards. Existing street pavement section shall be removed and replaced along the frontage of the property to the centerline of the street if the section is cracked or damaged in any way (regardless if it is damaged by project construction or not), or other roadway preservation methods as approved by the City Engineer. All required public easements or rights-of-way shall be offered to the City. All improvements shall be designed and constructed to the satisfaction of the City Engineer.
85. All streets shall be paved and improved after utilities are installed in accordance with the City of Clayton Standard Drawings and Design Guidelines and the approved plans.

LANDSCAPING

86. Sight distance triangles shall be maintained per Chapter 12.08 of the CMC, Site Obstructions at Intersections, or as approved by the City Engineer. Landscaping and signage shall not create a sight distance problem.
87. Detailed landscaping and irrigation plans for the entire site shall be submitted to the City for review and approval. All landscaping and irrigation shall be installed in accordance with approved plans prior to the issuance of certificates of occupancy for this building.
88. Landscaping for the project shall be designed to comply with the applicable requirements of City of Clayton Municipal Code. The State Model Water Efficient Landscape Ordinance (MWELo). Prior to issuance of a building permit, the applicant shall demonstrate compliance with the applicable requirements of the MWELo in the landscape and irrigation plans submitted to the City.
89. Landscape shall show immediate results. Landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, and/or otherwise maintained as necessary. Plant materials shall be replaced as needed to maintain the landscaping in accordance with the approved plans. Plant material selection shall avoid plant species that are known to be susceptible to disease (e.g., Platanus Blood Good) or drop fruit on hard surfaces and walkways causing a maintenance or safety concern.
90. All trees shall be a minimum 15-gallon size and all shrubs shall be a minimum 5-gallon size.

PROJECT SPECIFIC CONDITIONS

91. Any cracked or broken sidewalks shall be replaced as required by the City Engineer.
92. All rooftop mechanical equipment shall be screened from the public right-of-way and the residential properties to the west of the subject property. A line of sight study shall be submitted with the building permit submittal confirming the equipment is screened.
93. Asphalt paving shall have a minimum slope of two percent (2%), concrete paving shall have a minimum slope of 0.75%, except asphalt paving for identified accessible parking stalls and access routes shall have a minimum slope of 1.5% and a maximum slope of 2%, or as approved by the City Engineer.
94. All on-site curbs, gutters and sidewalks shall be constructed of Portland cement concrete.

95. All walkways adjacent to parking areas with vehicle overhang shall be a minimum of six and a half (6½) feet wide.

TREE PROTECTION CONDITIONS

96. The following construction policies and guidelines for tree preservation and protection put forth by the City of Clayton shall be followed during project implementation:
 - a. The applicant shall submit for the review and approval of the Community Development Director a tree protection plan to identify the location of the tree trunk and dripline of all on- and off-site trees subject to City of Clayton Municipal Code Section 15.70.020.
 - b. A protective fence shall be installed around all trees subject to the tree protection plan. The protective fence shall be installed prior to commencement of any construction activity and shall remain in place for the duration of construction.
 - c. Grading, excavation, deposition of fill, erosion, compaction, and other construction-related activities shall not be permitted within the dripline or at locations which may damage the root system of trees subject to the tree protection plan, unless such activities are specifically allowed by the tree protection plan. Tree wells may be used if specifically allowed by the tree protection plan.
 - d. Oil, gas, chemicals, vehicles, construction equipment, machinery, and other construction materials shall not be allowed within the dripline of trees subject to the tree protection plan.
97. Trees which are identified for preservation, and are subsequently removed during construction, shall be replaced by new trees or shall be required to pay an in-lieu fee equal to 200% of the value (as established by the International Society of Arboriculture) of the original tree(s) to be preserved.
98. The Community Development Department shall review and approve grading and improvement plans to ensure adequate measures are taken to protect trees.

LANDSCAPING CONDITIONS

99. The project shall comply with all applicable requirements and regulations as they pertain to the Landscape Water Conservation Standards and the Water Efficient Landscape Ordinance.
100. Three sets of the landscape and irrigation plans shall be submitted with the grading and improvement plans for review and approval by the Community Development Department, Engineering Department, and the Maintenance Department. These plans shall be prepared by a landscape architect; shall have

overall dimensions Engineer, and Maintenance Department; and shall show all existing and proposed public

101. Installation of all irrigation and landscaping shall be performed by a licensed contractor. Open trench inspection of the irrigation installation in areas to be maintained by the City is subject to approval of the Maintenance Department. Prior to the final inspection by the Maintenance Department, the installation shall be approved by the landscape architect.
102. All trees shall be planted at least ten (10) feet away from any public water, sewer, or storm drain lines, unless a closer location is approved by the City. All trees shall be installed with support staking. All nursery stakes must be removed from trees. All trees planted within eight (8) feet of a sidewalk or driveway shall be installed with root guards.

EXPIRATION CONDITIONS

103. The Tree Removal Permit (TRP-24-17) shall expire simultaneously with the expiration of the Site Plan Review Permit (SRP-04-17), pursuant to the permit expiration provisions listed in Chapter 17.64 of the Clayton Municipal Code.

GENERAL CONDITIONS

1. The applicant shall obtain the necessary approvals from the Contra Costa County Fire Protection District.
2. The applicant shall provide an adequate and reliable water supply for fire protection as set forth in the Uniform Fire Code.
3. The access driveway/roadway and turnaround improvements must be completed and inspected by the Contra Costa County Fire Protection District (CCCFPD) prior to construction on the two residential lots.
4. All proposed residences are required to be protected with an approved automatic fire sprinkler system complying with the 2013 edition of NFPA 13D or Section R313.3 of the 2013 California Residential Code. A minimum of two (2) sets of sprinkler plans shall be submitted to the CCCFPD for both residences for review and approval prior to installation.
5. Additional requirements may be imposed by the CCCFPD. Before proceeding with the project, it is advisable to check with the CCCFPD located at 4005 Port Chicago Highway, Concord, 925-941-3300.
6. The applicant shall comply with all applicable State, County, and City codes, regulations, and standards as well as pay all associated fees and charges.

7. All construction and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless specifically authorized in writing by the City Engineer, 925-969-8181, scott.alman@weareharris.com (Clayton Municipal Code Section 15.01.101).
8. The applicant shall obtain the necessary building permits from the Contra Costa County Building Inspection Department. All construction shall conform to the California Building Code.
9. Prior to issuance of a Certificate of Occupancy for any residential building, the developer shall install security cameras to monitor primary individual building entries and parking areas with the ability to archive and monitor the imaging to the satisfaction of the Chief of Police.
10. The developer agrees to underground utilities at the project site prior to the issuance of the Certificate of Occupancy for the last building to the satisfaction of the City Engineer.
11. The developer agrees to pay Quimby Act fees estimated to be \$8.008 per unit prior to issuance of the Certificated of Occupancy for the last building or enter into an agreement to pay those fees over a period not to exceed 36 months form the date of project approval to the satisfaction of the City Manager.
12. The developer shall prepare a property maintenance program to address on-going building maintenance, landscaping, parking lot maintenance, and tenant maintenance responsibilities to the satisfaction of the City Attorney.
13. Prior to issuance of a City demolition and/or grading permit the applicant shall complete a Green Infrastructure Feasibility analysis, as required by the San Francisco Rational Water Quality Control Board in MRP 2.0, to determine opportunities to address existing frontage runoff into planned or new bio retention areas behind the back of curb. If such analysis determines these are feasible, any Green Infrastructure shall be maintained by the abutting property owner in perpetuity.
14. The applicant is advised this project is subject in perpetuity to the required (annual) Operations and Maintenance inspections by the City for the C.3 facilities at the costs established and updated annually in the City Fees and Charges Schedule.
15. The trash enclosures shall have solid metal doors, a solid roof and ventilation. The proposed trash enclosures need to be enlarged in order to have internal clear dimensions that are adequate to accommodate the required refuse and

recycling dumpsters/containers and resident accessibility to utilize them. The trash enclosures must be located in close proximity to the access driveway near the public right-of-way to the satisfaction of Republic Services and the City Engineer to assure accessibility for trash removal and adequate sight distance to assure the public the safety.

16. All landscaping along Marsh Creek Road and along High Street behind the back of curb shall be maintained by the abutting property owner in perpetuity.

PASSED AND ADOPTED by the Planning Commission of the City of Clayton at a regular meeting on the 12th day of November 2019.

APPROVED:

ATTEST:

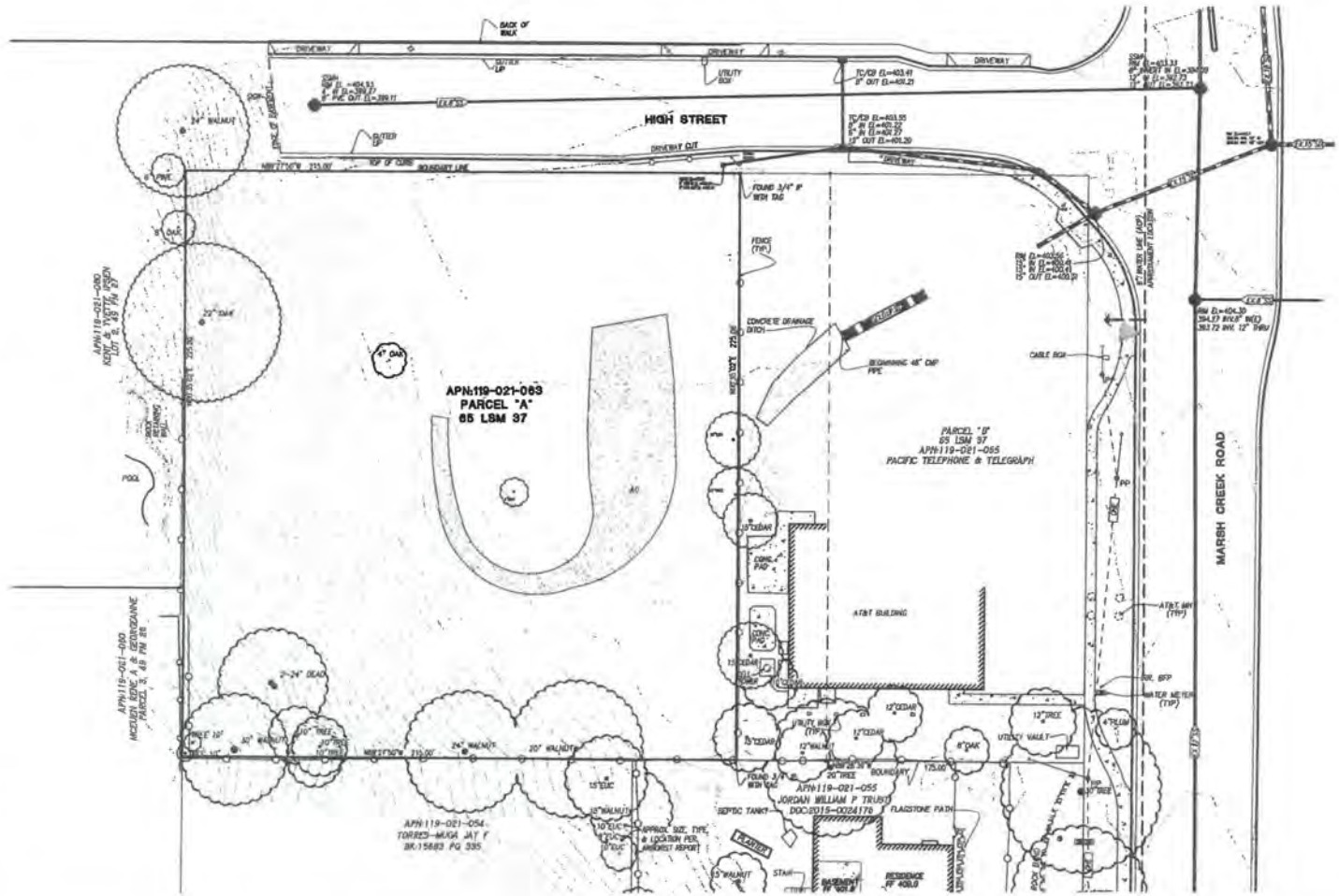
Peter Cloven
Chair

David Woltering
Interim Community Development Director



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THIS PROJECT IS TO BE REVISION WITH
 CORRECTIONS TO THE PLAN BY THE
 ARCHITECTURAL APPROVAL OF THE



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 Lead Development Engineering
 Mechanical Engineering
 Construction Detailing
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 SBPPV Monitoring & Reporting



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JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
EXISTING SITE CONDITIONS

A.P.N. 119-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. LEVINE
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 50788 - CIVIL
 DATE: _____
 DRAWN: JYANBAMAL
 CHECKED: MEM

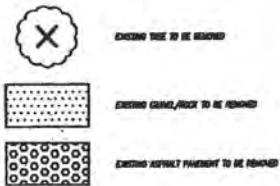
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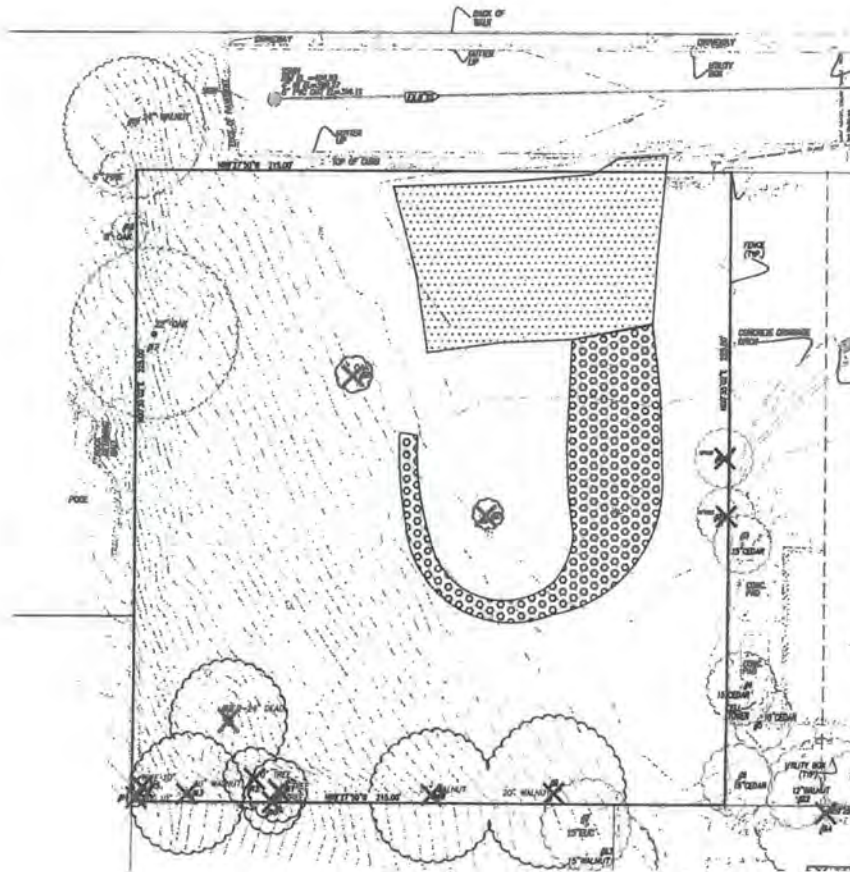
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13
 10/23/19

DEMOLITION LEGEND



DEMOLITION QUANTITIES
 ASPHALT 1.25 CFT
 PER SQUARE FT TOTAL



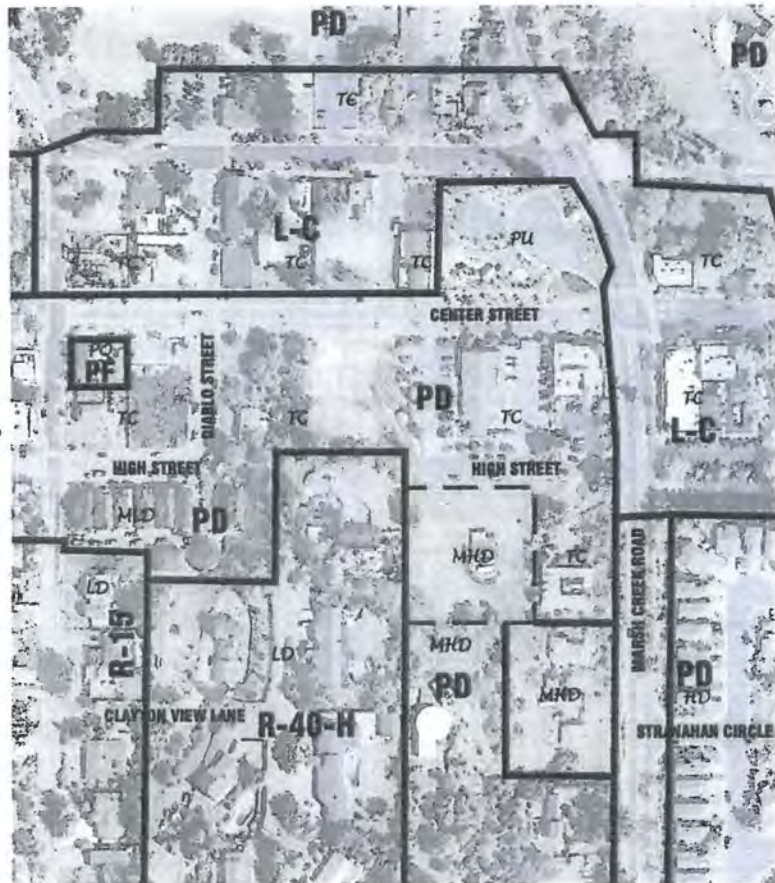
TREE REMOVAL NOTES:

Tag#	Species	Common name	DBH	Height	Spread	Health	Structure	Proximity to Structure	Suitability for Retention	Notes
#1	Quercus laevis	Valley Oak	11.5	30	25	G	G	Y	G	Rise from, On property line
#2	Albizia julibrissin	Tree of Heaven	4.8, 5.4	25	20	P	P	A	F	On property line
#3	Calleryna oleaginea	Japanese Cedar	22	30	20	H	F	Y	G	CI, On adjacent property
#4	Calleryna oleaginea	Japanese Cedar	15, 15	25	20	G	P	Y	G	CI&S, On adjacent property
#5	Calleryna oleaginea	Japanese Cedar	9, 9	20	15	G	G	Y	G	On adjacent property
#6	Calleryna oleaginea	Japanese Cedar	3.6	20	20	G	G	Y	G	On adjacent property line
#7	Handkeia woodii	Shaw Red Oak	25	30	20	F	P	H	F	On adjacent property, 85 Main road, Brentwood, CA
#8	Agave schottii	California Black Widow	17.5	36	20	G	F	Y	F-P	On property line, Brentwood, CA
#9	Agave schottii	California Black Widow	23	30	20	D	P	Y	F	Dead, CI, property line
#10	Albizia julibrissin	Tree of Heaven	7	30	20	F	H	H	F	On property line, Sector 800 B&D
#11	Albizia julibrissin	Tree of Heaven	5	30	15	F	H	H	F	Spacer from B&D
#12	Albizia julibrissin	Tree of Heaven	8	30	15	F	H	H	F	Spacer from B&D
#13	Agave schottii	California Black Widow	7, 5.5, 5.5, 3.3	20	10	F	P	Y	F-F	On property line, 100, 100B, 100C, 100D, 100E, 100F, 100G, 100H, 100I, 100J, 100K, 100L, 100M, 100N, 100O, 100P, 100Q, 100R, 100S, 100T, 100U, 100V, 100W, 100X, 100Y, 100Z
#14	Albizia julibrissin	Tree of Heaven	10.5	30	5	F	P	H	F	Spacer from B&D, On property line
#15	Albizia julibrissin	Tree of Heaven	4.7	30	10	F	P	H	F	Spacer from B&D, On property line
#16	Albizia julibrissin	Tree of Heaven	22	40	20	F	H	H	F	Double CI&S, Brentwood
#17	Quercus laevis	Valley Oak	23.5	45	40	G	P	Y	F	CI&S, Brentwood
#18	Quercus laevis	Valley Oak	7	20	10	F	G	Y	G	On adjacent property
#19	Agave schottii	California Black Widow	11.5, 9, 7.5, 5.5, 10	25	40	G	F	Y	F	On adjacent property
#20	Quercus laevis	Valley Oak	1, 2, 1.5	20	15	G	F-F	Y	H	Multi tree group spacer:
#21	Quercus laevis	Valley Oak	4, 4.5, 4.5, 2.5	20	20	G	F	Y	G	Island

Suitability for Retention - Based on Tree Condition: G is Good, F is Fair, P is Poor
 * TO BE REMOVED
 ** PROTECTED TREE & TO BE REMOVED

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Planning & Surveying Land Development Engineering Mechanical Engineering Civil Engineering Environmental Engineering EIR/PPV Monitoring & Reporting		2800 Shattuck Blvd., Suite 102 Oakland, CA 94612 Phone: (510) 874-8882 Fax: (510) 874-8379 Web: www.milaniconsultants.com	JOBBER PROPERTY THE OLIVIA ON MARSH CREEK 6170 HIGH STREET DEMOLITION & TREE REMOVAL PLAN CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA	DESIGNED UNDER THE DIRECTION OF: MICHAEL E. GILCHRIST PLS. No. 9180 SUPER #10411 DATE: _____ DRAWN: JAVASABALLAL JOB NO: 740 DATE: OCTOBER 2010 CHECKED: MBI SCALE: AS SHOWN		NO. _____	REVISIONS	BY _____	APP _____	DATE _____	SHEET
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LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- SITE BOUNDARY
- === ZONING BOUNDARY

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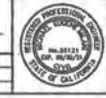
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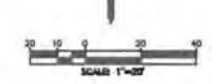
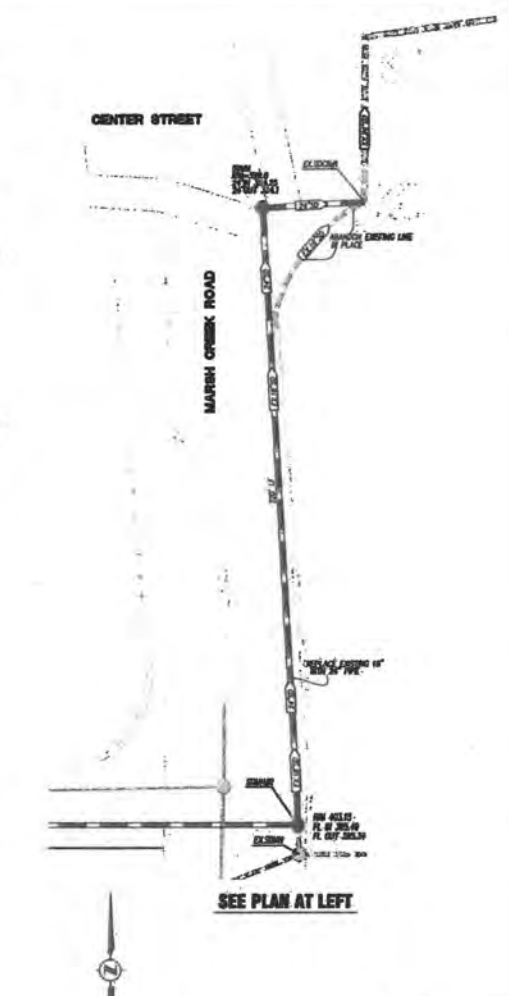
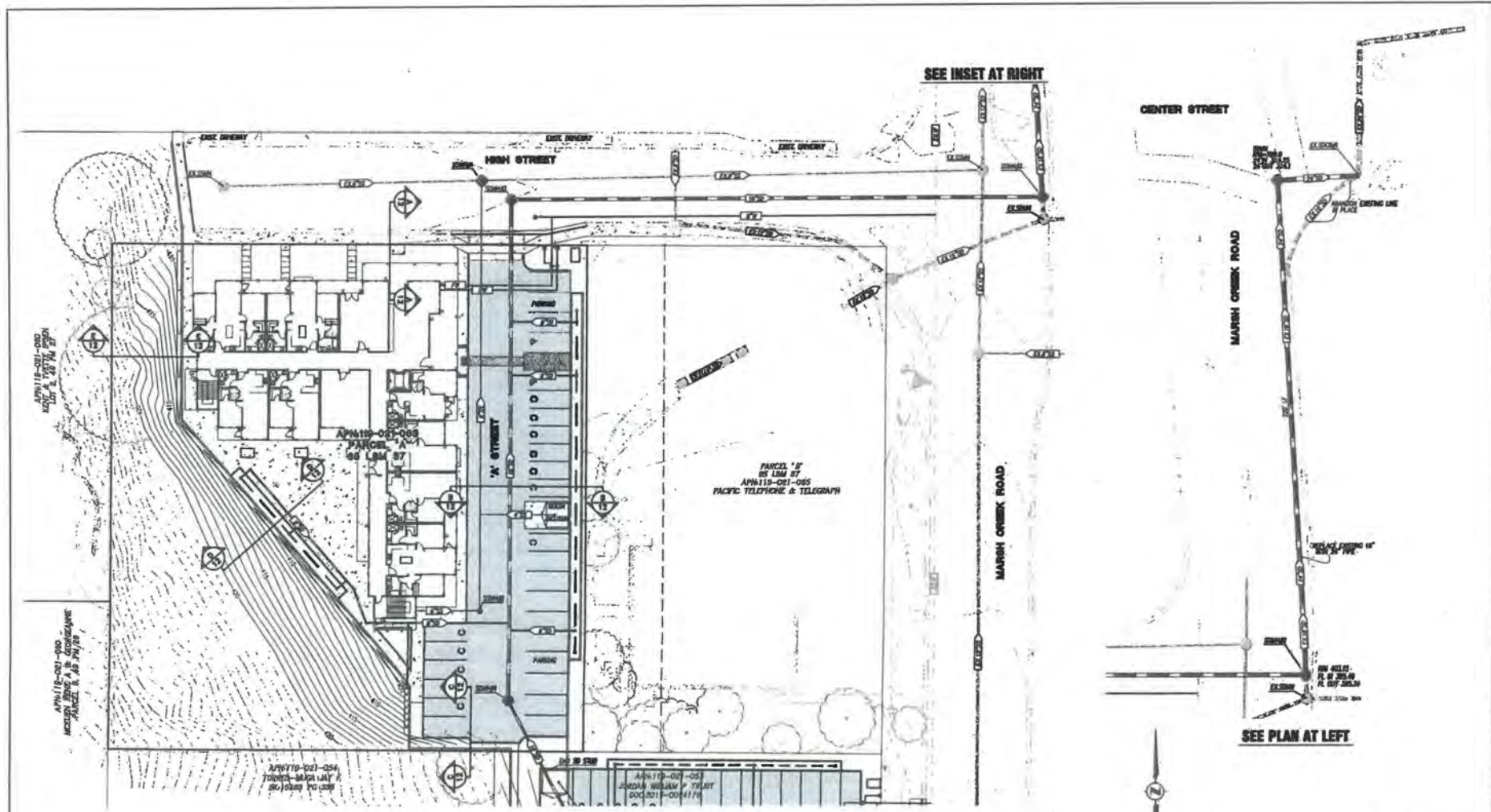
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
 ZONING EXHIBIT
 CONTRA COSTA COUNTY

A.P.N. 119-021-063
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 DRAWN: KIRASINGALAM
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**THE OLIVIA ON MARSH CREEK
 6170 HIGH STREET
 OVERALL SITE PLAN**

A.P.E. 118-021-083

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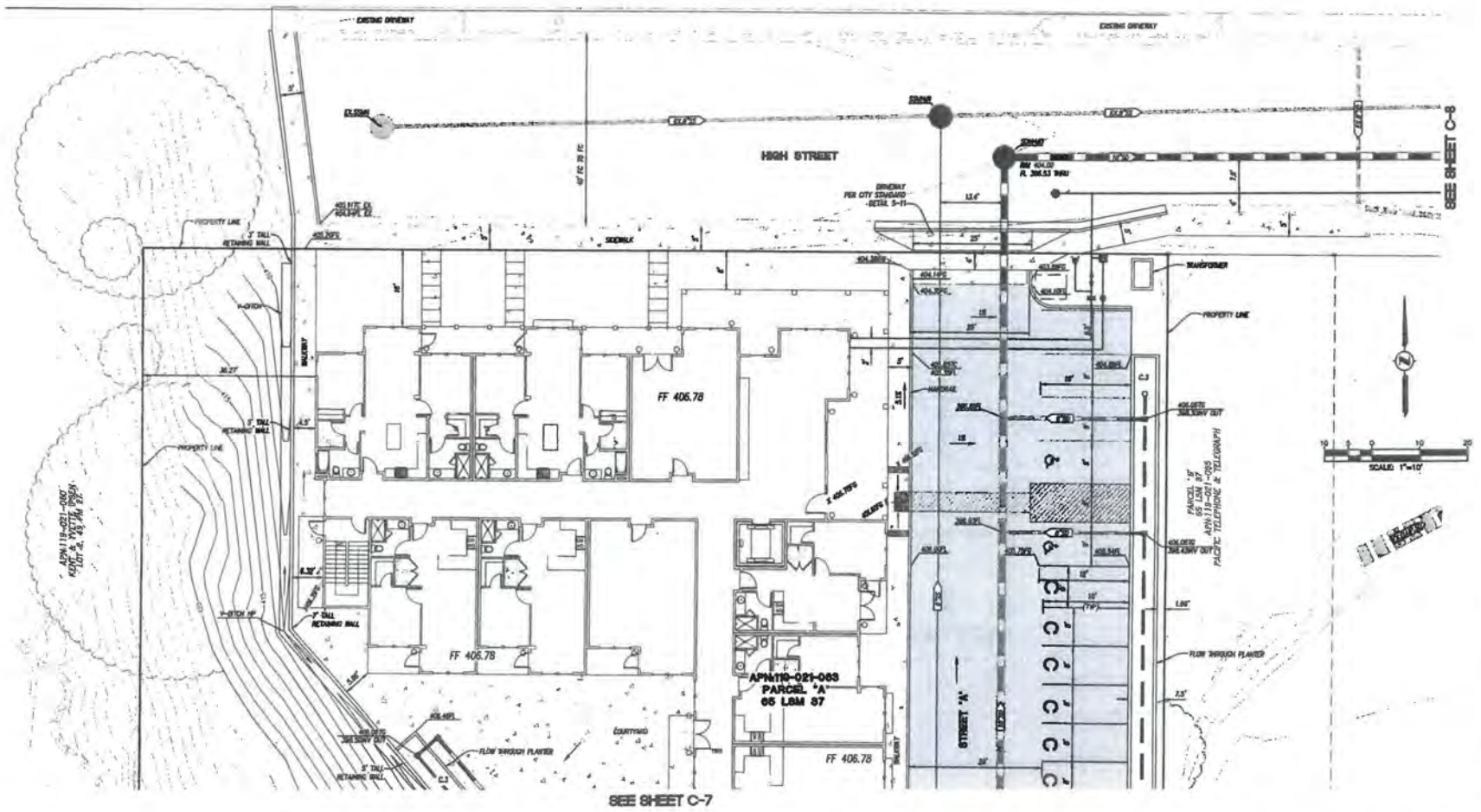
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DESIGNER: KISA	JOB NO: 740
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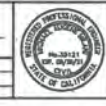
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THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SITE PLAN
 CONTRA COSTA COUNTY
 CALIFORNIA

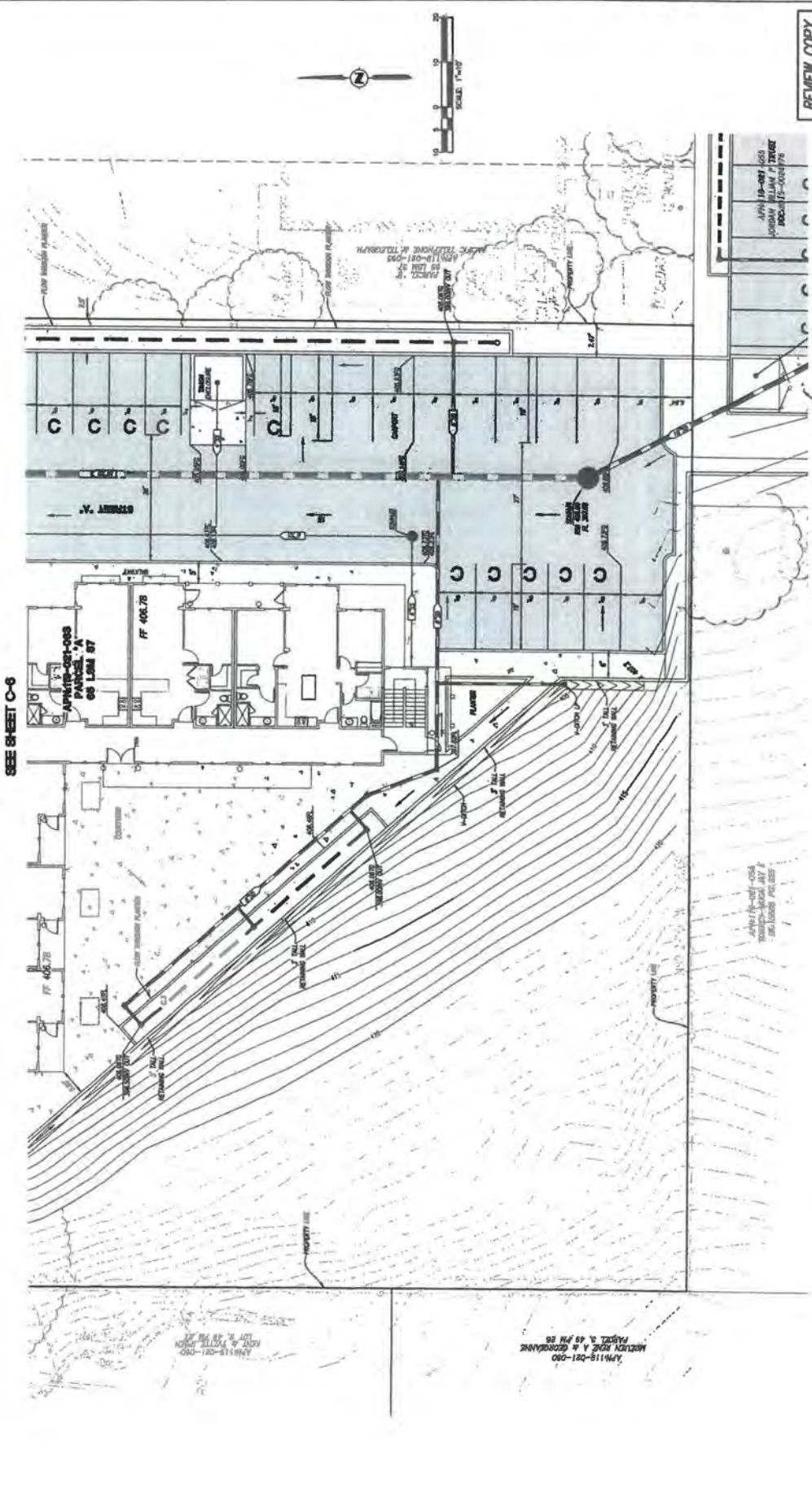
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 DRAWING: KRA/MSJ/MJM
 CHECKED: MEM
 JOB NO. 740
 DATE: OCTOBER 2019
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THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
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CITY OF CLAYTON

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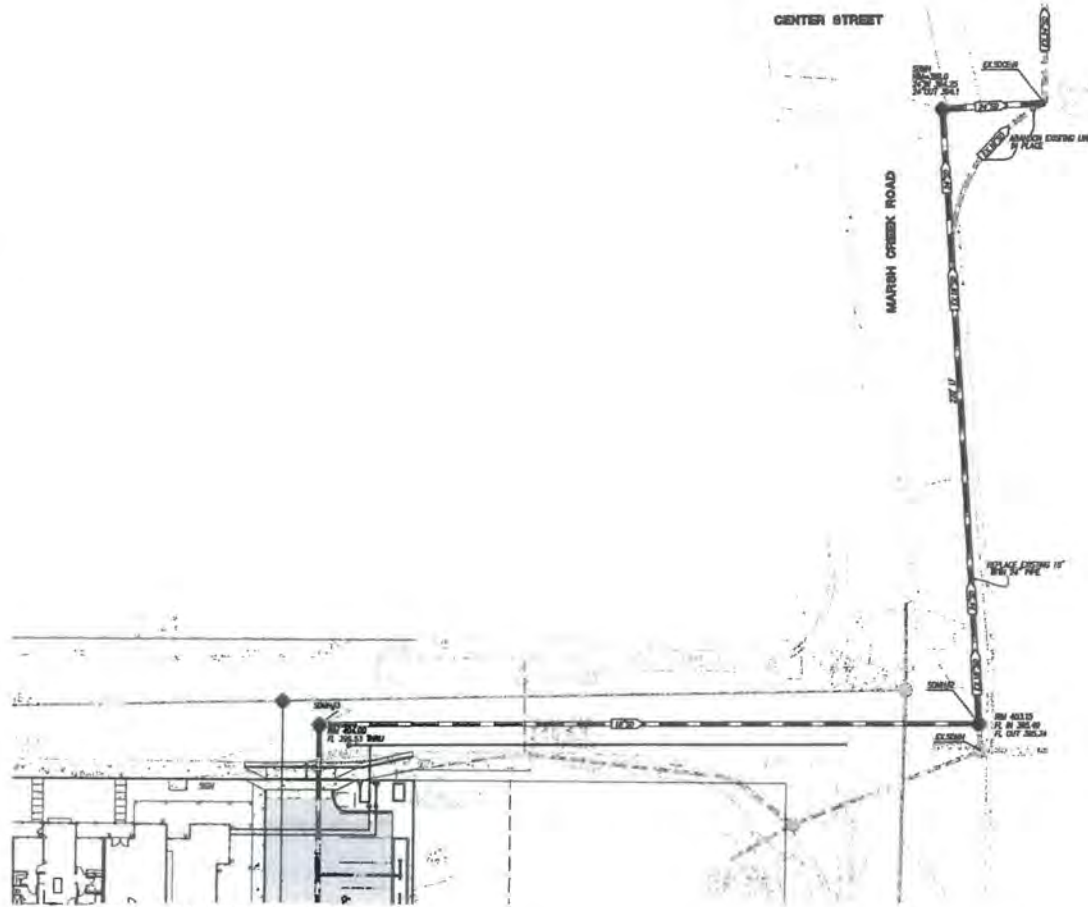
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SEE SITE 2 PLAN FOR CONTINGED WALKWAY

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PAGE 2, 45 PM 85

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PAGE 3, 45 PM 85

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PAGE 4, 45 PM 85



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 ENGINEER OF RECORD AND OTHER
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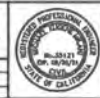
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 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
OFFSITE STORM DRAIN PLAN
 COSTA COSTA COUNTY

A.P.N. 118-821-063
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 MICHAEL E. MILANI
 R.C.E. No. 52517 - CIVIL/MS-0417
 DESIGN: PVA
 DRAWN: HSH/MELAK
 CHECKED: MEM

DATE: _____
 JOB NO: 740
 DATE: OCTOBER 2018
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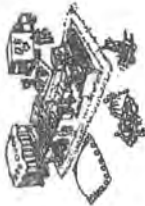


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Clean Bay Blue Print

Make sure your crews and subs do the job right!
 Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless construction crews plan ahead to keep dirt, debris, and other construction waste away from stream drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.



Materials storage & spill cleanup

Place hazardous materials in designated containers. Labels, if any, must be legible and include the name of the material and its hazard. All containers must be closed and secured with a tamper-resistant cap or other means to prevent unauthorized access. Containers must be stored on a paved or other impervious surface and must be protected from fire and theft.

- Containers must be stored in a secure area, away from buildings, utilities, or other structures.
- Containers must be stored in a secure area, away from buildings, utilities, or other structures.
- Containers must be stored in a secure area, away from buildings, utilities, or other structures.
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Hazardous materials management

Label all hazardous materials and hazardous wastes (such as pesticides, paints, solvents, adhesives, seal, oil, and antifreeze) in accordance with city, county, state, and federal regulations.

- Store hazardous materials and wastes in water-tight containers, such as appropriate secondary containment, and cover them in the end of every work day or during rain, snow, or other conditions.
- Follow manufacturer's application instructions for hazardous materials and be sure to use them as directed. Do not apply flammable materials near open flames.
- Store in storage in appropriate containers.

Spill prevention and control

Keep a supply of spill cleanup materials (sags, absorbents, etc.) available at construction sites at all times.

- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain.
- Store wash spill materials (oil, grease, acids, solvents, etc.) in a secure area.
- Dispose of all construction and cleanup materials properly.
- Report any hazardous materials spills immediately. (3131)

Construction Erosion and Sedimentation

Establish and maintain sediment control and sediment abatement at construction sites and take all necessary erosion control and sediment abatement measures to prevent erosion.

Vehicle and equipment maintenance & cleaning

Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used.

- Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used. Repair vehicles and equipment as they are used.
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Earthwork & contaminated soils

Keep excavated soils on site when it is not contained in bins, bags, or other containers. Use other methods, such as filters, to prevent erosion and sedimentation to the extent of the site.

- Earth retaining structures: Earth retaining structures, whether temporary or permanent, must be constructed in accordance with the City of Fremont specifications.
- Stormwater management: Stormwater management systems must be designed and constructed in accordance with the City of Fremont specifications.
- Erosion control: Erosion control measures must be implemented in accordance with the City of Fremont specifications.

De-watering operations

Efficiently manage all water, oil, and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site.

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Concrete, grout, and mortar storage & waste disposal

Store concrete, grout, and mortar water, oil, and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site.

- Store concrete, grout, and mortar water, oil, and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site. Remove all oil and other liquids that are discharged from the site.
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Saw cutting

Always completely cover or enclose saws that leak when saw cutting. Use filter bags, wet dust filters, or misting equipment to keep dust from being blown into the air.

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Paving/Asphalt work

Always cover materials that are spilled or leaked during paving/Asphalt work. Use filter bags, wet dust filters, or misting equipment to keep dust from being blown into the air.

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Painting

Store paint cans in a secure area. Use proper disposal methods for paint cans. Use proper disposal methods for paint cans. Use proper disposal methods for paint cans.

- Store paint cans in a secure area. Use proper disposal methods for paint cans. Use proper disposal methods for paint cans. Use proper disposal methods for paint cans.
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Landscape Materials

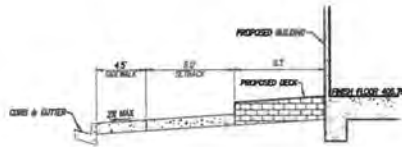
Store landscape materials in a secure area. Use proper disposal methods for landscape materials. Use proper disposal methods for landscape materials. Use proper disposal methods for landscape materials.

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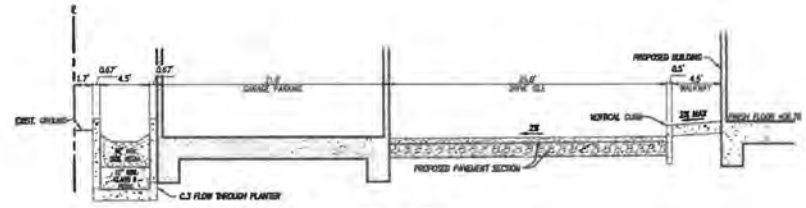
Storm drain polluters may be liable for fines of \$10,000 or more per day!

<p>MILANI Environmental Remediation & Investigation 2605 Shattuck Blvd, Suite 105 Oakland, CA 94609 Phone: (510) 533-6000 Fax: (510) 533-6000 Web: www.milanienviro.com</p>	PROJECT NO.: DRAWN: KRAMARJALA CHECKED: JEM SCALE: AS SHOWN	DESIGNED UNDER THE DIRECTION OF: PROJECT NO.: DATE:	SHEET: C-10 OF 13	
	CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA	THE OLIVIA ON MARSH CREEK 6170 HIGH STREET CLEAN BAY BLUE PRINT	AP.B. 118-421-003 A.P. No. 118-421-003	REVISIONS NO. BY DATE
	REVIEW COPY SUBJECT TO REVISION NOT FINAL APPROVED BY:			DATE:

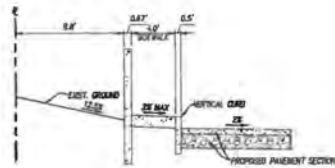
NO.	BY	DATE	DESCRIPTION



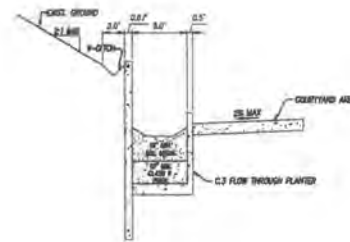
SECTION A
 SCALE: 1"=2.5'
 VERT: 1"=2.5'



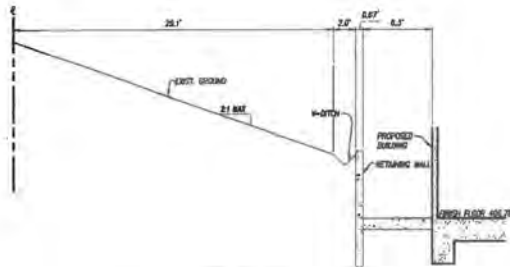
SECTION B
 SCALE: 1"=2.5'
 VERT: 1"=2.5'



SECTION C
 SCALE: 1"=2.5'
 VERT: 1"=2.5'



SECTION D
 SCALE: 1"=2.5'
 VERT: 1"=2.5'



SECTION E
 SCALE: 1"=2.5'
 VERT: 1"=2.5'

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 NOT FINAL
 THE OWNER SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS
 AND APPROVALS FROM ALL
 AFFECTING AGENCIES.

Planning
 Surveying & Mapping
 Land Development Engineering
 Mechanical Engineering
 Construction Staking
 Environmental Engineering
 GIS/PP Monitoring & Reporting



2655 Stewart Drive, Suite 103
 Concord, CA 94520
 Phone: (925) 674-6682
 Fax: (925) 674-6279
 Web: www.milaniassociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
 SECTIONS
 CONTRA COSTA COUNTY

A.P.#. 119-021-063
 CALIFORNIA

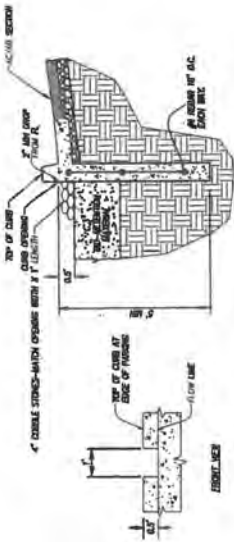
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL MILANI
 REG. No. 51817 - CIVIL ENGINEER
 DESIGNER: NINA
 DRAWN: KRISHNAGALAKSHMI
 CHECKED: MDM

DATE:
 JOB NO: 740
 DATE: OCTOBER 2019
 SCALE: AS SHOWN

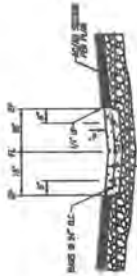


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					C-12
					13
					SHEETS

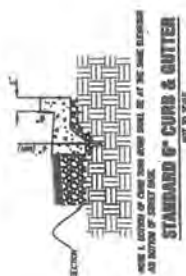
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DEEPENED CURB AT C3 BIO-RETENTION BASIN
NET TO SCALE



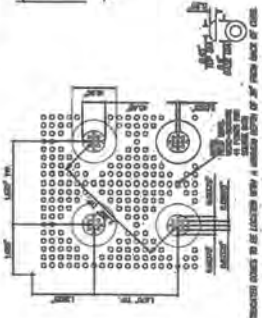
36" VALLEY GUTTER
NET TO SCALE



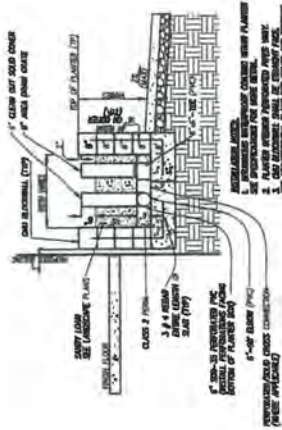
STANDARD 6" CURB & GUTTER
NET TO SCALE



ADA RAMP GROOVING DETAIL
NET TO SCALE



RAISED TRUNCATED DOME DETAILS
NET TO SCALE



C3 PLANTER
NET TO SCALE



BIO-RETENTION FACILITY
NET TO SCALE

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NO WARRANTIES OR REPRESENTATIONS

NO.	DATE	BY	APP.	REVISIONS
13				



COMBINED UNDER THE DIRECTION OF:
J.S.J. 1118-001-001
MILANI & ASSOCIATES
1000 W. 14TH ST., SUITE 200
OAKLAND, CA 94612
TEL: 415.778.8888
WWW.MILANI.COM

THE OLIVIA ON HARKY CREEK
6170 HIGH STREET
DETAILS
CANTON CREST
CITY OF CLAYTON

PROJECT NO. 100-000000-0000
DATE: 01/15/2010
SCALE: AS SHOWN

MILANI
1000 W. 14TH ST., SUITE 200
OAKLAND, CA 94612
TEL: 415.778.8888
WWW.MILANI.COM

Preparing & Issuing: [Signature]
Checking: [Signature]
Designing: [Signature]
Contract Administration: [Signature]
Site Preparation & Inspection: [Signature]

SITE PLAN

THE OLIVIA ON MARSH CREEK

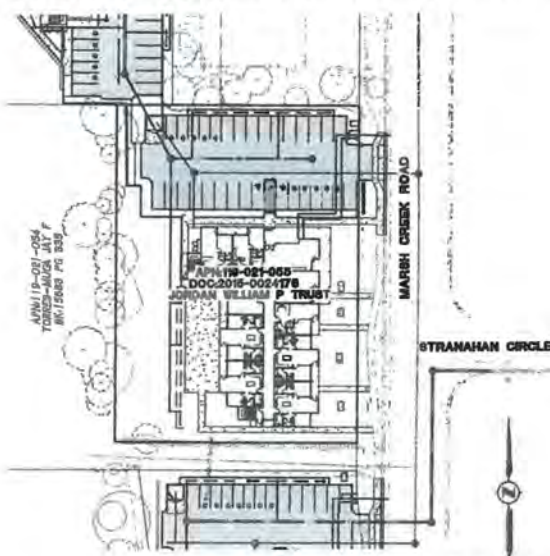
6450 MARSH CREEK ROAD

CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA



PROJECT SITE
VICINITY MAP
A13

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND TREE REMOVAL PLAN
C-4	ZONING MAP
C-5	OVERALL SITE PLAN
C-6	SITE PLAN-NORTH
C-7	SITE PLAN-SOUTH
C-8	C-3 EXHIBIT
C-9	CLEAR BAY BLUE PRINT
C-10	SECTIONS
C-11	DETAILS



RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

GENERAL NOTES

1. OWNER/DEVELOPER
WILSON P. JORDAN TRUST
1000 MARSH CREEK ROAD
CLAYTON, CA 94527
PHONE (925) 852-7244
2. ARCHITECT
DESIGN & DEVELOPMENT
1000 WILSON AVENUE, SUITE A
OAKLAND, CA 94612
PHONE (510) 528-2200
CONTACT: JIM ANDERSON
3. CIVIL ENGINEER
MILANI AND ASSOCIATES
1000 CHINNELLY DRIVE, SUITE 102
OAKLAND, CA 94612
PHONE (510) 528-2200
CONTACT: BEN ALONSO
4. GEOTECHNICAL ENGINEER
MILANI ASSOCIATES, INC.
3000 WILSON AVENUE
SAN MARINO, CA 91767
PHONE (909) 291-3000
CONTACT: BOB HARRIS
GEOTECHNICAL PROJECT NO. 1794
5. AIRBORNE
SOILS TRUE CONSULTING
1000 WEST STREET
CONCORD, CA 94520
PHONE (925) 301-3000
CONTACT: STEVE BUCHHEISER
6. SITE ADDRESS
1000 MARSH CREEK ROAD, CLAYTON, CA 94527
7. ADDRESS PARCEL NUMBER
10-001-005
8. TRACT AND ADDRESS
6450 MARSH CREEK ROAD
9. APN ASSIGNMENT
NO (DUE TO AN ERROR WITH COUNTY)
10. ZONING ZONE
PD (PLANNED DEVELOPMENT)
11. PROPOSED ZONING
NO (DUE TO AN ERROR WITH COUNTY)
12. CENSUS USE
SINGLE FAMILY RESIDENTIAL
13. PROPOSED USE
SINGLE FAMILY RESIDENTIAL/ADDITIONAL
14. TOTAL NUMBER OF UNITS
1 UNIT
15. UTILITIES & SERVICES
WATER: CONTRA COSTA WATER AGENCY
SEWER: CITY OF CLAYTON
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AIRTEL
CABLE: COMCAST
FIRE: CITY OF CLAYTON
SEWERAGE: CONTRA COSTA COUNTY FLOOD CONTROL & WASTEWATER DISTRICT (COWCD)
16. NO PUBLIC AREAS ARE PROPOSED.
17. FLOOD ZONE: "X" (OUTSIDE THE 100-YEAR FLOOD PLAIN)
(FLOOD ZONE MAPS 10/16/2006)
18. LEGAL DESCRIPTION: PARCEL "A" AS SHOWN ON THE RECORD OF SURVEY, DATED MARCH 1, 1978 IN BOOK 41 OF RECORDS, SUBDIVISION MAP, PAGE 22, CONTRA COSTA COUNTY.
19. EXISTING CONDITIONS BASED ON FIELD PHOTOGRAPHIC SURVEY BY MILANI & ASSOCIATES CONDUCTED NOVEMBER, 2018.

BASIS OF BEARINGS:

FIELD TWO (2) "X" BEARS FROM AS SHOWN ON 85 LEM JO, TAKEN AS INDICATED

BENCHMARK:

FIELD MARKS USED TO DETERMINE "X" AS SHOWN FROM AT THE ENTRANCE TO CLAYTON CITY OFFICES AT THE TOP OF A CEMENT SIGN ON CLAYTON ROAD. ELEVATION TAKEN AS 412.00 (MAGNETIC) PROJECT BASED ON 1988 DATUM. ELEVATION TAKEN AS 412.00 (MEAN 1929)

Planning Services & Mapping
Land Development Engineering
Construction Staking
Environmental Engineering
Survey Mapping & Reporting

MILANI & ASSOCIATES
2008 Woodwell Oaks, Suite 102
Concord, CA 94520
Phone: (925) 674-8282
Fax: (925) 674-8279
Web: www.milaniandassociates.com

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
COVER SHEET

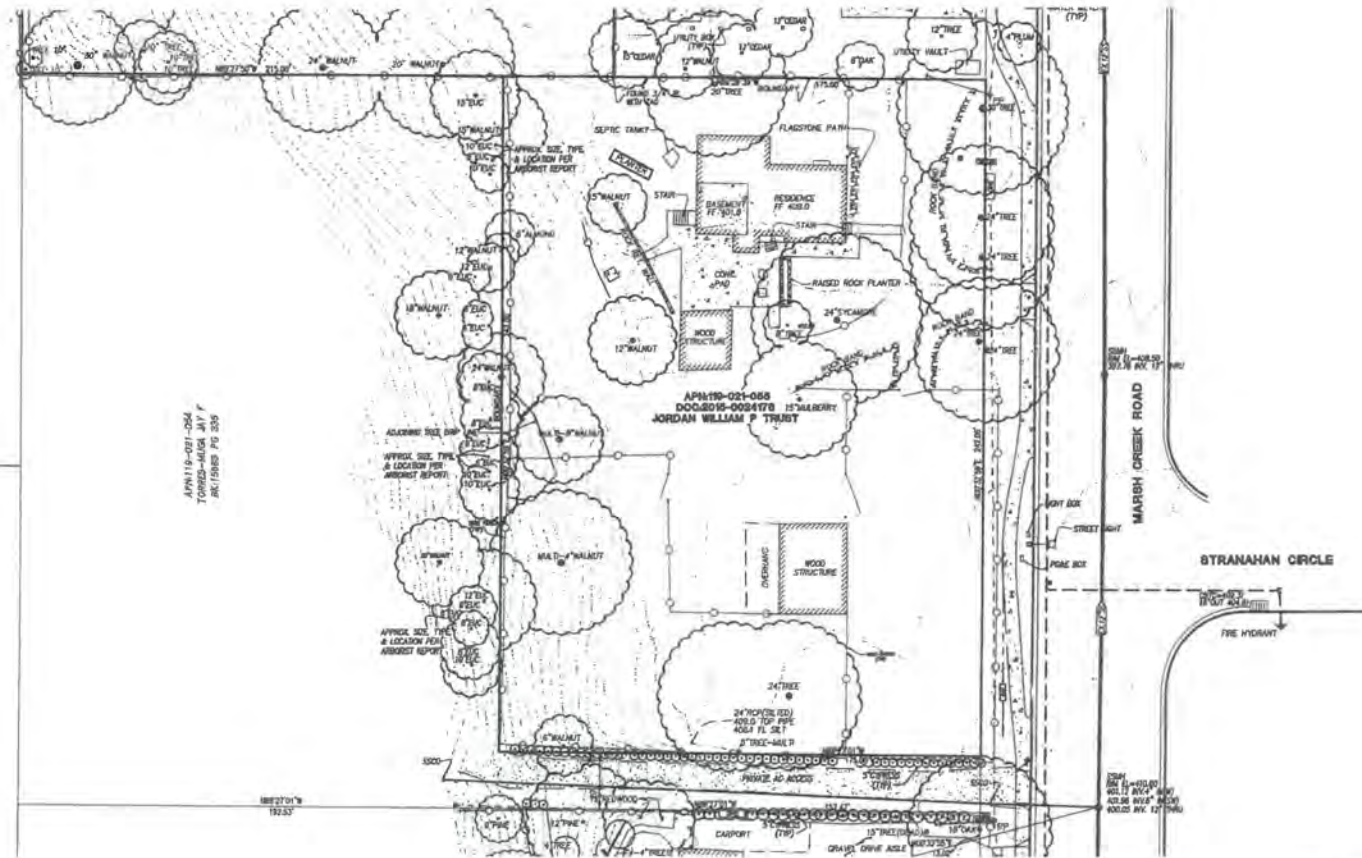
APN: 10-021-005
CITY OF CLAYTON
CONTRA COSTA COUNTY
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF	
NAME	DATE
MICHAEL E. MILANI REGISTERED PROFESSIONAL ENGINEER	OCTOBER 2019
CHECKED: MEM	DATE: OCTOBER 2019
SCALE: AS SHOWN	



NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-1
11					OF 10 SHEETS

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APN 119-021-054
 TORRES-MORA JTY F
 RC/15889 PG 339

APN 119-021-055
 DOO.S019-002478
 JORDAN WILLIAM P TRUST

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 REPRESENTATION OF THE PROPOSED PROJECT
 AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT

Planning
 Surveying & Mapping
 Land Development Engineering
 Mechanical Engineering
 Construction Staking
 Environmental Engineering
 Utility Monitoring & Reporting

MILANI
 & Associates

2855 Shored Oaks, Suite 100
 Concord, CA 94520
 Phone: (925) 674-0282
 Fax: (925) 674-9279
 Web: www.milaniasociates.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
 EXISTING SITE CONDITIONS

A.P.N. 119-021-055

CITY OF CLATTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
 REG. NO. 50181 ENGINEER-ARCHT

DATE: _____

CREATOR: MSA
 JOB NO. 740







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 DATE: OCTOBER 2019

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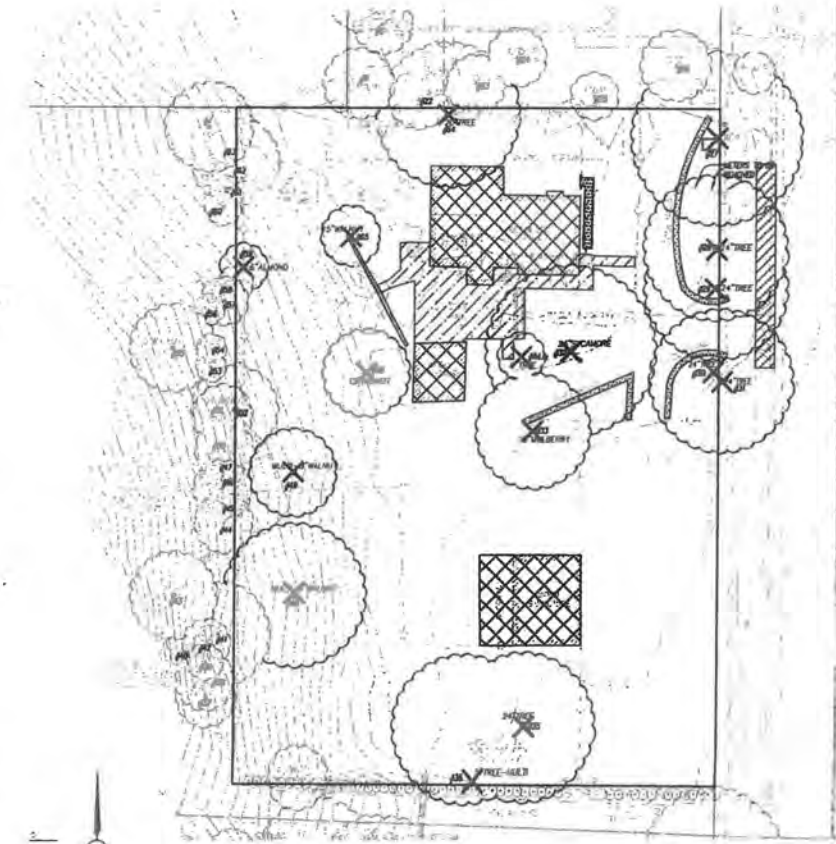
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					C-2
					11

DEMOLITION LEGEND

-  EXISTING TREE TO BE REMOVED
-  EXISTING CURB, UTILITY AND SIDEWALK TO BE REMOVED
-  EXISTING STRUCTURE TO BE REMOVED
-  EXISTING GRAVEL/ROCK TO BE REMOVED
-  EXISTING CONCRETE TO BE REMOVED
-  EXISTING ROAD DECK AND HILL TO BE REMOVED

DEMOLITION QUANTITIES

- STRUCTURE REMOVAL 3,300 SF
- CONCRETE BASEMENT 350 SF
- CONCRETE FLAT ROOF REMOVAL 1,800 SF
- GRAVEL/ROCK REMOVAL 8,700 SF
- CONCRETE CURB, UTILITY & SIDEWALK REMOVAL 140 SF
- ROAD PAVEMENT (1" DECK AND 2"-4") 804 SF
- TREE REMOVAL 10 TONS



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TREE REMOVAL NOTES:

Tree #	Species	Common name	DBH	Height	Spread	Health	Structure	Proximity Road	Stability	Notes
22	Agave hybrid	California Black Walnut	6.1	30	32	F	F	Y	F	On adjacent property, Main stem gone, Rootstock
23	Conocarpus	Redwood Cedar	18.0	29	20	G	G	Y	G	On adjacent property, DBH 18.0, 18.0
24	Calocedrus	Incense Cedar	8.6	28	23	F	F	Y	G	On adjacent property, DBH 8.6, 8.6
25	Quercus	Valley Oak	8.5	50	20	F	F	Y	G	On adjacent property, CI, DW
26	Morus	Black Elm	8.7, 4.4, 4.4	25	46	F	F	N	G	On adjacent property, Surface roots, CI/DB
27	Morus	Black Elm	7.1	36	76	F	F	N	F	Stem Tree, Headed for high voltage clearance, CI
28	Morus	Black Elm	2.0	36	40	F	F	N	F	Stem Tree, Headed for high voltage clearance, CI
29	Morus	Black Elm	21.5	26	23	F	F	N	F	Stem Tree, Headed for high voltage clearance, CI/DB
30	Morus	Black Elm	21.4, 13.8, 13.8	20	05	F	F	N	F	Stem Tree, Headed for high voltage clearance, Adult
31	Morus	Black Elm	8.1, 11.1, 11.1	20	20	F	F	N	F	Stem Tree, Headed for high voltage clearance, Adult, CI/DB
32	Platanus	London Plane	25.0	50	50	G	G	N	F	CI
33	Hamamelis	Honey Locust	26.5	40	38	G	G	N	F	Headed
34	Prunus	Prickly Pear	6.5, 4.4	20	38	F	F	N	F	CI, Headed
35	Sambucus	Elderberry	10.1	25	28	F	F	Y	F	PP, Rootstock, 1/2 tree gone
36	Sambucus	Elderberry	6.6, 4.5, 4.5	20	20	G	G	Y	F	PP, Large growing vertical, On property line
37	Eucalyptus	Silver Dollar Gum	10	40	25	G	G	N	G	On adjacent property
38	Eucalyptus	Silver Dollar Gum	8	15	20	G	F	N	G	Lean, On adjacent property
39	Eucalyptus	Silver Dollar Gum	6	25	35	G	F	N	G	Lean, On adjacent property
40	Eucalyptus	Silver Dollar Gum	6	20	25	G	F	N	G	On adjacent property
41	Eucalyptus	Silver Dollar Gum	13	25	20	G	F	N	G	Lean on fence, On adjacent property
42	Eucalyptus	Silver Dollar Gum	6	25	25	G	F	N	F	CI/DB, On adjacent property
43	Agave	California Black Walnut	20	25	25	F	F	Y	F	Remains, Mutil from stump sprouts, On adjacent property
44	Eucalyptus	Silver Dollar Gum	10	45	0	G	G	N	G	On adjacent property
45	Eucalyptus	Silver Dollar Gum	12	30	30	G	G	N	G	On adjacent property
46	Eucalyptus	Silver Dollar Gum	6	30	25	G	G	N	G	On adjacent property
47	Eucalyptus	Silver Dollar Gum	10	75	30	G	F	N	G	Lean on fence, On adjacent property, Large growing vertical
48	Agave	California Black Walnut	4.4, 4.4, 4.4, 3.3, 3.3	15	35	F	F	Y	F	Mutil from stump sprouts
49	Agave	California Black Walnut	8.0, 5.5, 4.5, 1.1	25	38	F	F	Y	F	Mutilated, Mutil from stump sprouts
50	Eucalyptus	Silver Dollar Gum	8	30	20	G	F	N	G	CI, On adjacent property
51	Eucalyptus	Silver Dollar Gum	8	35	35	G	F	N	G	On adjacent property
52	Agave	California Black Walnut	24"	25	30	F	F	Y	F	Mutil from stump sprouts, On property line
53	Eucalyptus	Silver Dollar Gum	6	35	30	G	F	N	G	CI, On adjacent property
54	Eucalyptus	Silver Dollar Gum	6	30	35	G	F	N	G	On adjacent property
55	Agave	California Black Walnut	12, 8	20	25	F	F	Y	F	DB, Mutil from stump sprouts, On adjacent property
56	Eucalyptus	Silver Dollar Gum	6	25	20	G	G	N	G	CI, On adjacent property
57	Eucalyptus	Silver Dollar Gum	12	05	25	F	G	N	G	On adjacent property
58	Agave	California Black Walnut	22, 20	15	P-D	F	F	Y	F	DB?, On property line
59	Prunus	Almond	8.7, 4.1	20	15	F	F	N	F-D	Mutil, On property line to fence
60	Eucalyptus	Silver Dollar Gum	6	25	20	G	G	N	G	On adjacent property
61	Eucalyptus	Silver Dollar Gum	8	20	15	G	F	N	G	Lean, On adjacent property
62	Eucalyptus	Silver Dollar Gum	10.5	00	25	G	G	N	G	On adjacent property
63	Agave	California Black Walnut	18	20	20	P-D	F	Y	F	On adjacent property, CI, Headed
64	Albizia	Tree of Pines	18	35	35	G	F	N	F	CI, Hollow, Large growing vertical, CI
65	Agave	California Black Walnut	6.5	20	20	F	F	Y	F	Mutil from stump sprouts
66	Agave	California Black Walnut	18, 0.5	20	20	F	F	Y	F	PP, Mutil from stump sprouts

Stability for Retention - Based on Tree Condition: G is Good, F is Fair, P is Poor

* TO BE REMOVED ** PROTECTED TREE & TO BE REMOVED

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Civil Engineering
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Environmental Engineering
SEPPV Modeling & Reporting



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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
TREE REMOVAL & DEMOLITION PLAN
A.P.S. 119-821-653

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. DE JON
P.E. No. 81783 Expires 01-01-21
DATE: _____
CHECKED: MEN
DATE: OCTOBER 2019
SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE

C-3
11
08-0275

C:\Users\mdejon\OneDrive\Documents\6450 Marsh Creek Road\6450 Marsh Creek Road - Tree Removal - 2.dwg Date: Tree Removal - C-3 10-01-19 10:53:07 AM



LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- SITE BOUNDARY
- === ZONING BOUNDARY



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 SBPPP Monitoring & Reporting



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 Fax: (925) 674-6279
 Web: www.milaniasociates.com

JOB/AN PROPERTY **THE OLIVIA ON MARSH CREEK** A.P.N. 119-021-005
6450 MARSH CREEK ROAD
 ZONING EXHIBIT
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. SALAS
 REG. NO. 8785 ENGINEER 9-30-81
 DATE: _____
 JOB NO. 740
 DRAWN: KVAIGSAMAL DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
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					11
					OF
					SHEETS

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Professional Architect
Professional Landscape Architect
Professional Planner
Professional Surveyor
Professional Geologist
Professional Geotechnical Engineer
Professional Environmental Engineer
Professional Environmental Scientist
Professional Environmental Planner
Professional Environmental Analyst
Professional Environmental Monitor
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Professional Environmental Auditor
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Professional Environmental Scientist
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Professional Environmental Monitor
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2010
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Fax: (714) 944-4801
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JEREMIAH PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
OVERALL SITE PLAN
COSTA MESA COUNTY

AL.P.L. 110-401-465
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
SPECIAL LICENSE
FOR THE STATE OF CALIFORNIA
ARCHITECT: JAC
PLANNER: JAC
LANDSCAPE ARCHITECT: JAC
ENGINEER: JAC
GEOLOGIST: JAC

DATE: 10/15/10
JOB NO: 740
JOB TITLE: 10/15/10
SCALE: AS SHOWN

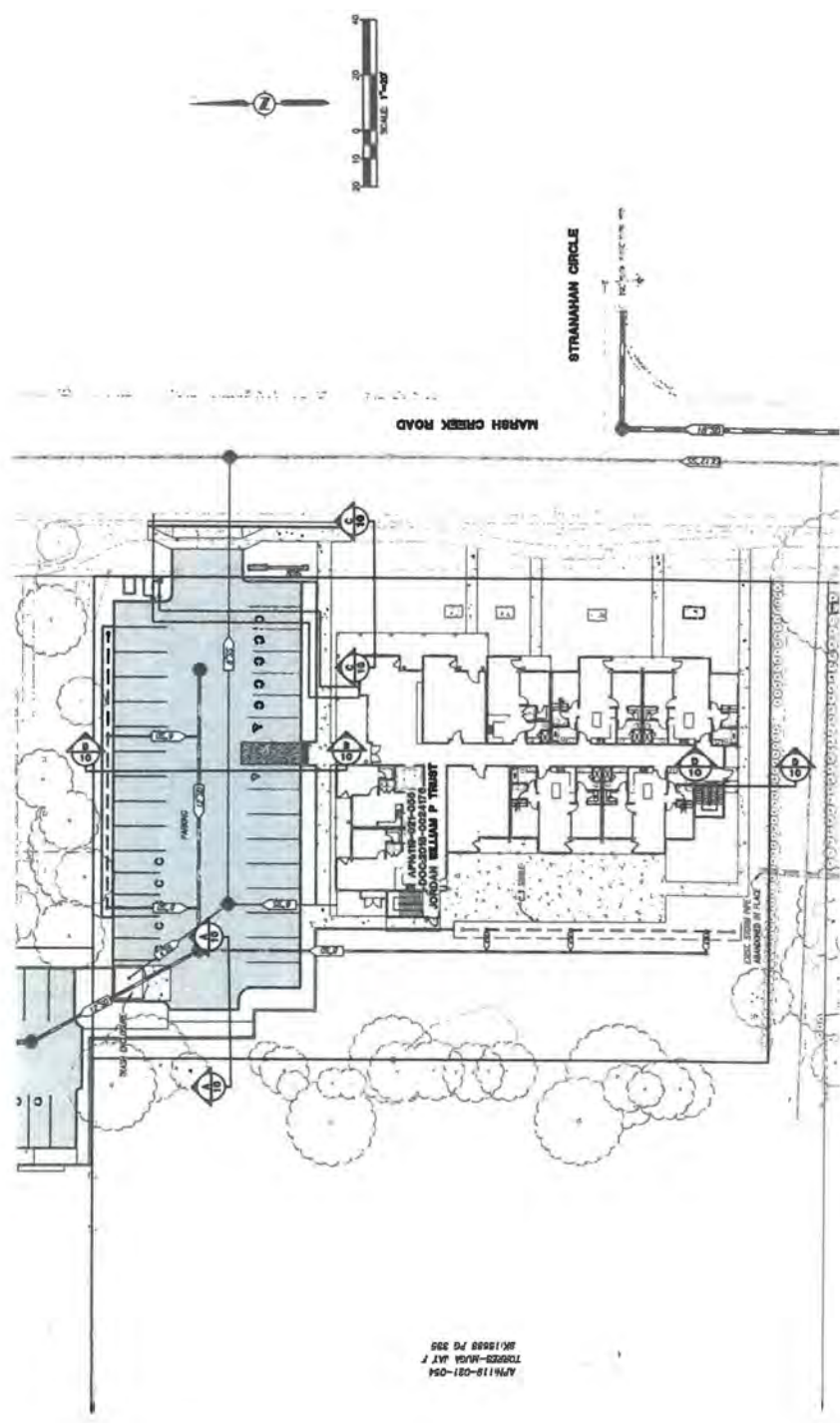


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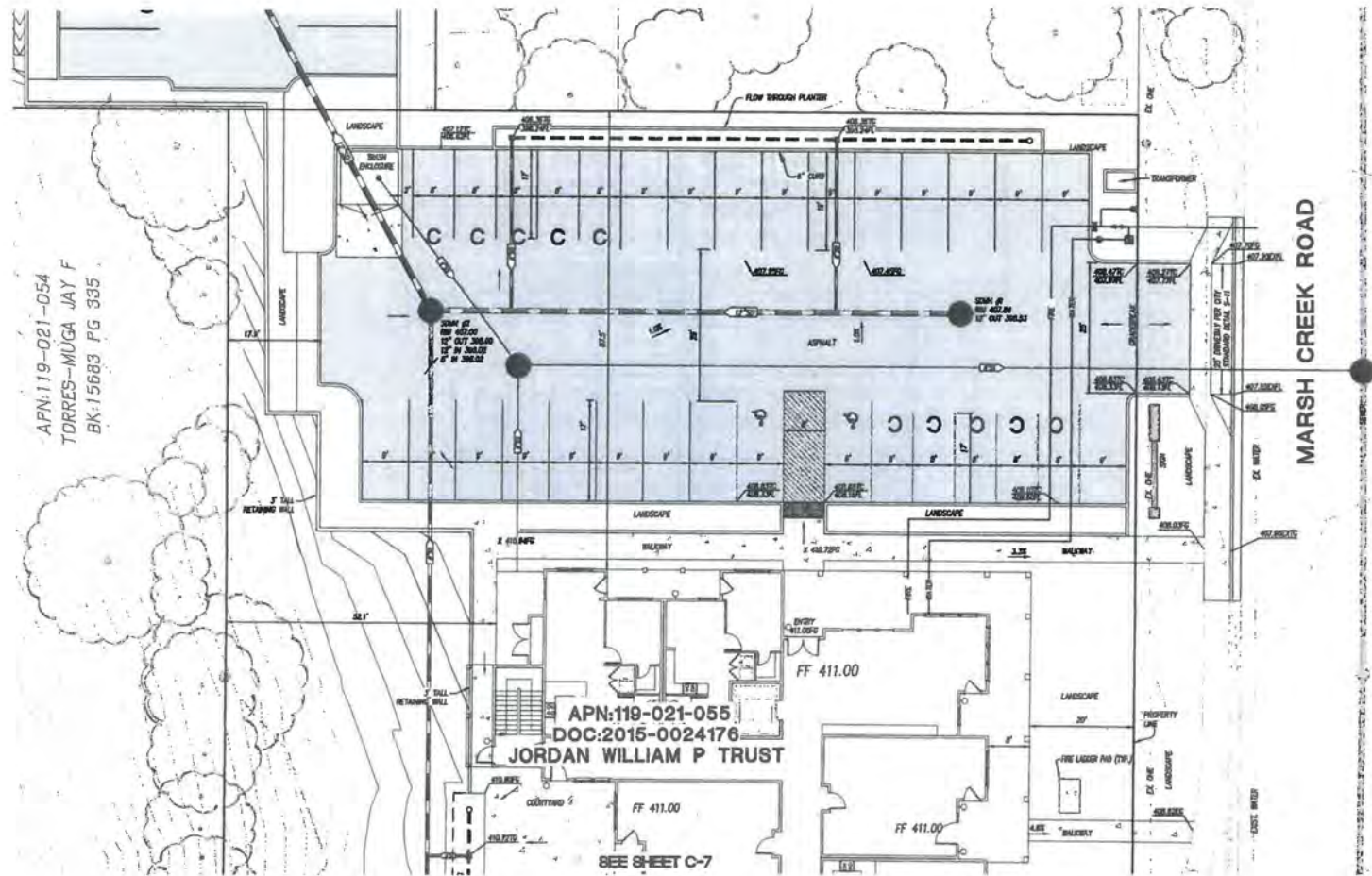
REVISIONS

BY: DATE: SHEET: C-5 OF 11

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TR0203-N004-M17
M118008 PG 208



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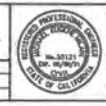


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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SITE PLAN
CITY OF CLAYTON
CONTRA COSTA COUNTY
CALIFORNIA

A.P.N. 119-021-055

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
ALDA No. 20171 - CIVIL ENGINEER
DATE: _____
DESIGN: NPA
JOB NO: 740
DRAWN: KRASHASAM
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN

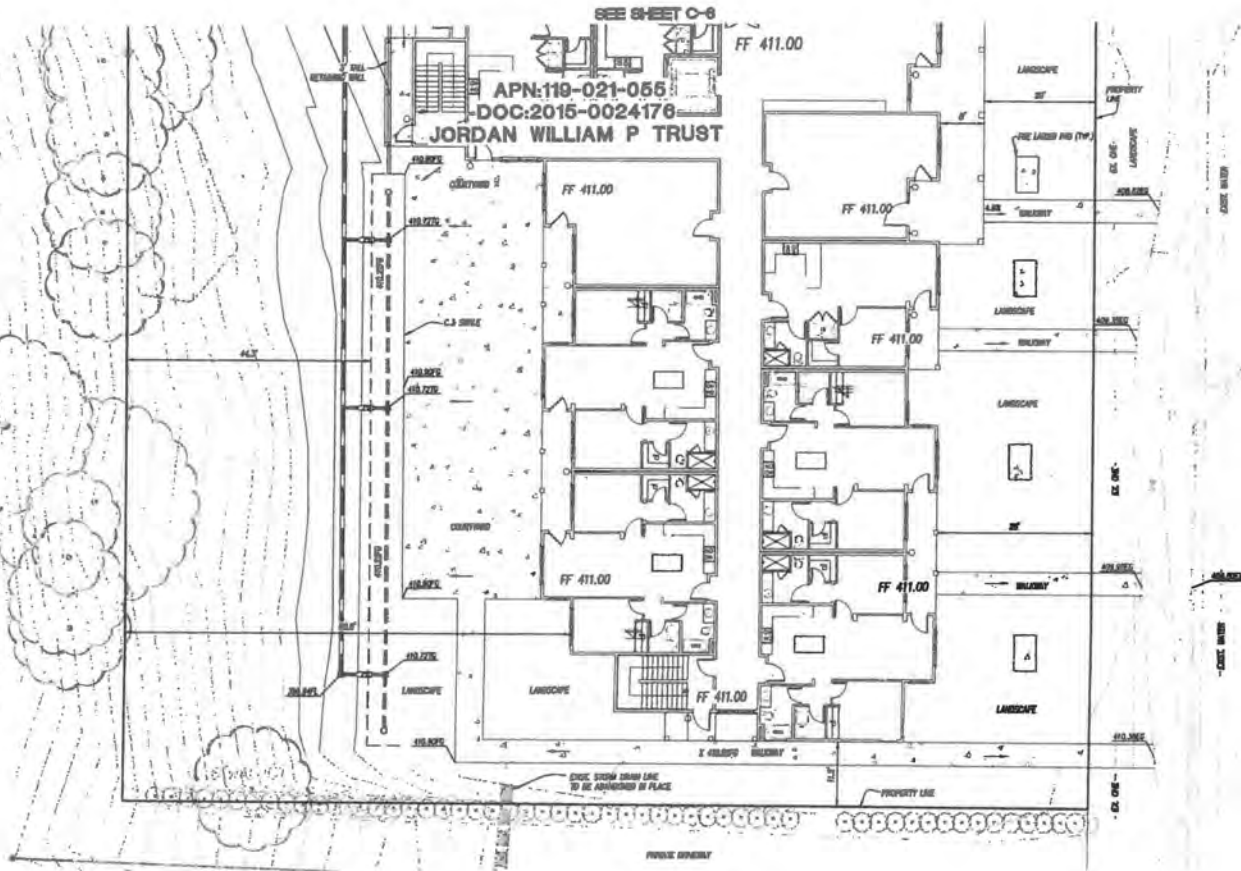


NO.	REVISIONS	BY	APP	DATE	SHEET
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APN:119-021-054
 TORRES-MUGA JAY F
 BK:15683 PG 335

APN:119-021-055
 DOC:2015-002478
 JORDAN WILLIAM P TRUST



MARSH CREEK ROAD



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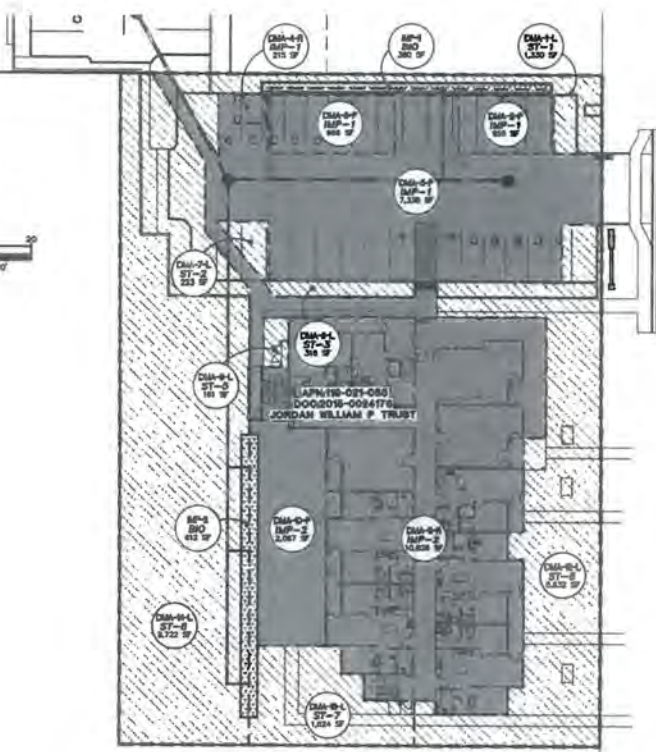
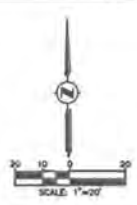
2020 Street Blvd, Suite 115
 Concord, CA 94520
 Phone: (925) 874-9222
 Fax: (925) 874-9279
 Web: www.milaniconsulting.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SITE PLAN
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHELLE K. SALVO CIVIL
 LICENSE No. 28193 60608-0-0001
 CREATOR: EPA JOB NO: 140
 DRAWN: FRASER/AL DATE: OCTOBER 2019
 CHECKED: MRM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-7
					11
					OF SHEETS



Project Name: Clayton Senior Housing North Site 2
 Project Type: Treatment Only
 A.P.N.: 119-021-055
 Drainage Area: 42.361
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	1,350.0
DMA2	215.0
DMA3	112.0
DMA4	95.0
DMA5	215.0
DMA6	450.0
DMA7	1,350.0
DMA8	450.0
DMA9	450.0

IV. Areas Draining to IMPs

BMP Name: BMP1
 BMP Type: Flow-Through Pterlar
 Soil Group: BMP1

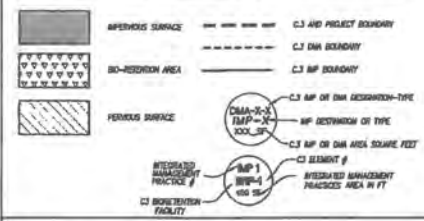
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	BMP Sizing BMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA3	95.0	Concrete or Asphalt	1.00	95.0	0.045	1.000	378	380
DMA5	95.0	Concrete or Asphalt	1.00	95.0				
DMA4	215.0	Conventional Roof	1.00	215.0				
DMA6	7,350.0	Concrete or Asphalt	1.00	7,350.0				
Total				8,210.0				
Area					0.045	1.000	378	380

BMP Name: BMP2
 BMP Type: Retention Facility
 Soil Group: BMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	BMP Sizing BMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA10	2,587.0	Concrete or Asphalt	1.00	2,587.0	0.045	1.000	950	975
DMA11	10,303.0	Conventional Roof	1.00	10,303.0				
Total				12,890.0				
Area					0.045	1.000	950	975

Report generated on 10/20/19 12:00:00 AM by the Contra Costa Clean Water Program BMP Sizing Tool software (version 1.3.1.0).

LEGEND



NOTES:

1. SEE HYDROLOGIC SOIL TYPE #
2. DIMENSIONS INDICATED AT A GAP OF 11 to 24 FEET.
3. CONTRACTOR SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM THE ADDRESS.

ABBREVIATIONS:

- BMP BEST MANAGEMENT PRACTICE
- CAV CAPACITY
- EL. ELEVATION
- DMA DRAINAGE MANAGEMENT AREA
- F/C FACE OF CURB
- IMP INTEGRATED MANAGEMENT PRACTICE
- IMP INTEGRATED MANAGEMENT PRACTICES AREA
- L LANDSCAPE
- IMP IMPERVIOUS
- P PAVED
- R ROOF
- RB ROOF BENT
- R/W RIGHT OF WAY
- SF SQUARE FEET
- ST SELF-TREATING
- ST SELF-TREATING
- S/W SIDEWALK
- U UNPAVED

IMPERVIOUS AREAS:

- IMP 1 EXISTING IMPERVIOUS AREA 1,350 SQ FT
- EXISTING IMPERVIOUS AREA 4,430 SQ FT
- PROPOSED IMPERVIOUS AREA 2,570 SQ FT
- NET INCREASE OF IMPERVIOUS AREA 1,240 SQ FT

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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
C.3 COMPLIANCE EXHIBIT

A.P.N. 119-021-055
 DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 DESIGN: ISA
 DRAWING: KRASIMIRALIA
 CHECKED: MEM

CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

NO. _____

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BY _____

APP _____

DATE _____

SHEET

C-8

11

SHEETS



10-04-19 09:46:43 AM ScanSystem

Clean Bay Blue Print

Make sure your crews and subs do the job right!
 Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

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Concrete, grout, and mortar storage & waste disposal

- Place concrete, grout, and mortar in clean, sealed containers and store them in a clean, covered area.
- Do not store concrete, grout, or mortar in the same container as other materials.
- Do not mix concrete, grout, or mortar in the same container as other materials.
- Do not mix concrete, grout, or mortar in the same container as other materials.



Painting

- Use paint cans that have airtight caps.
- Do not mix paint in the same container as other materials.
- Do not mix paint in the same container as other materials.
- Do not mix paint in the same container as other materials.



Landscape Materials

- Store landscape materials in a clean, covered area.
- Do not mix landscape materials in the same container as other materials.
- Do not mix landscape materials in the same container as other materials.
- Do not mix landscape materials in the same container as other materials.

Dewatering operations

- Use dewatering equipment that meets the requirements of the City of Fremont.
- Do not discharge dewatering water into the Bay or any other water body.
- Do not discharge dewatering water into the Bay or any other water body.
- Do not discharge dewatering water into the Bay or any other water body.



Saw cutting

- Use saw cutting equipment that meets the requirements of the City of Fremont.
- Do not discharge saw cutting water into the Bay or any other water body.
- Do not discharge saw cutting water into the Bay or any other water body.
- Do not discharge saw cutting water into the Bay or any other water body.

Paving/asphalt work

- Use paving/asphalt equipment that meets the requirements of the City of Fremont.
- Do not discharge paving/asphalt material into the Bay or any other water body.
- Do not discharge paving/asphalt material into the Bay or any other water body.
- Do not discharge paving/asphalt material into the Bay or any other water body.



Vehicle and equipment maintenance & cleaning

- Use vehicle and equipment maintenance equipment that meets the requirements of the City of Fremont.
- Do not discharge vehicle and equipment maintenance material into the Bay or any other water body.
- Do not discharge vehicle and equipment maintenance material into the Bay or any other water body.
- Do not discharge vehicle and equipment maintenance material into the Bay or any other water body.



Earthwork & contaminated soils

- Use earthwork equipment that meets the requirements of the City of Fremont.
- Do not discharge earthwork material into the Bay or any other water body.
- Do not discharge earthwork material into the Bay or any other water body.
- Do not discharge earthwork material into the Bay or any other water body.



Materials storage & spill cleanup

- Store materials in a clean, covered area.
- Do not mix materials in the same container as other materials.
- Do not mix materials in the same container as other materials.
- Do not mix materials in the same container as other materials.



Housekeeping

- Use housekeeping equipment that meets the requirements of the City of Fremont.
- Do not discharge housekeeping material into the Bay or any other water body.
- Do not discharge housekeeping material into the Bay or any other water body.
- Do not discharge housekeeping material into the Bay or any other water body.



Construction Debris and Debris

- Use construction debris and debris equipment that meets the requirements of the City of Fremont.
- Do not discharge construction debris and debris material into the Bay or any other water body.
- Do not discharge construction debris and debris material into the Bay or any other water body.
- Do not discharge construction debris and debris material into the Bay or any other water body.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

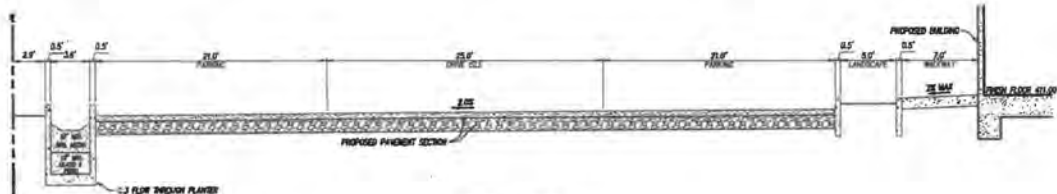
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
CLEAN BAY BLUE PRINT
 CENTRA COSTA COUNTY
 CITY OF CLAYTON
 CALIFORNIA
 SCALE: AS SHOWN
 DATE: JULY 11, 2011
 DRAWN: J. MILANI
 CHECKED: J. MILANI
 PROJECT NO.: 11-0001
 SHEET NO.: 11



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 Environmental Science
 3800 Central Expressway
 Suite 200
 Fremont, CA 94538
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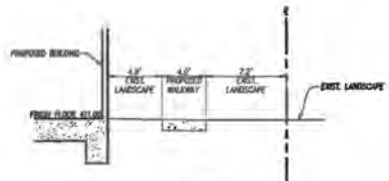
SECTION A
 HORIZ. 1"=10'
 VERT. 1"=2.5'



SECTION B
 HORIZ. 1"=10'
 VERT. 1"=2.5'



SECTION C
 HORIZ. 1"=10'
 VERT. 1"=2.5'



SECTION D
 HORIZ. 1"=10'
 VERT. 1"=2.5'

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JORDAN PROPERTY
 CITY OF CLAYTON

**THE OLIVIA ON MARSH CREEK
 6450 MARSH CREEK ROAD
 SECTIONS**

CORONA COSTA COUNTY

A.P.N. 110-021-055
 CALIFORNIA

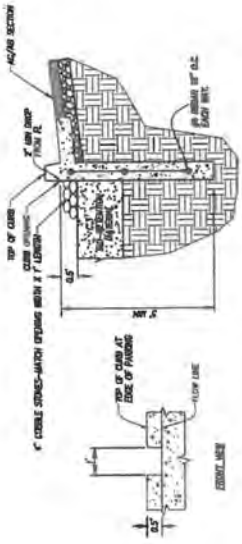
DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
 R.C.S. No. 10121 - 006698 (04/01/21) DATE
 DESIGN: NVA JOB NO: 740
 DRAWN: KWASHADZAH DATE: OCTOBER 2019
 CHECKED: MSZ SCALE: AS SHOWN

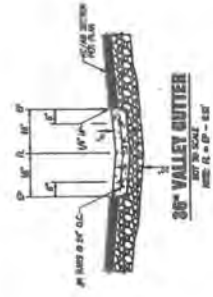


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					11
					OF SHEETS

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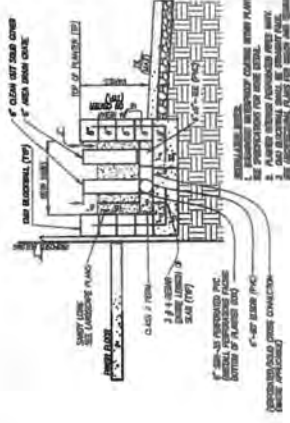
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NOT TO SCALE



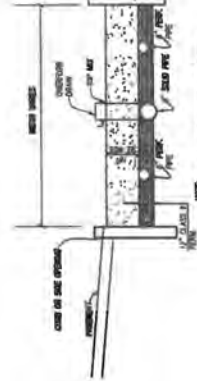
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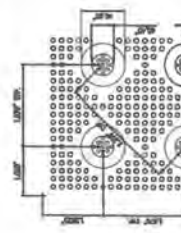
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<p>PROJECT: THE OLIVIA ON MARSH CREEK 6450 MARSH CREEK ROAD DETAILS COSTA MESA, CALIFORNIA</p>												
<p>DATE: 10/20/19 JOB NO.: 1908 DATE: OCTOBER 2019 SCALE: AS SHOWN</p>												
<p>DESIGNED UNDER THE SUPERVISION OF: A.P.S. 118-001-006</p>												
<p>DESIGNED BY: COSTA MESA</p>												
<p>DATE: 10/20/19 JOB NO.: 1908 DATE: OCTOBER 2019 SCALE: AS SHOWN</p>												
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<p>BY: JWP DATE:</p>												
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<p>DATE:</p>												



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SANTA ANITA, CALIFORNIA 95050
TEL: 408.251.1111
WWW.MILANIFIRM.COM

CITY OF CLAYTON
COSTA MESA COUNTY

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
DETAILS
COSTA MESA, CALIFORNIA

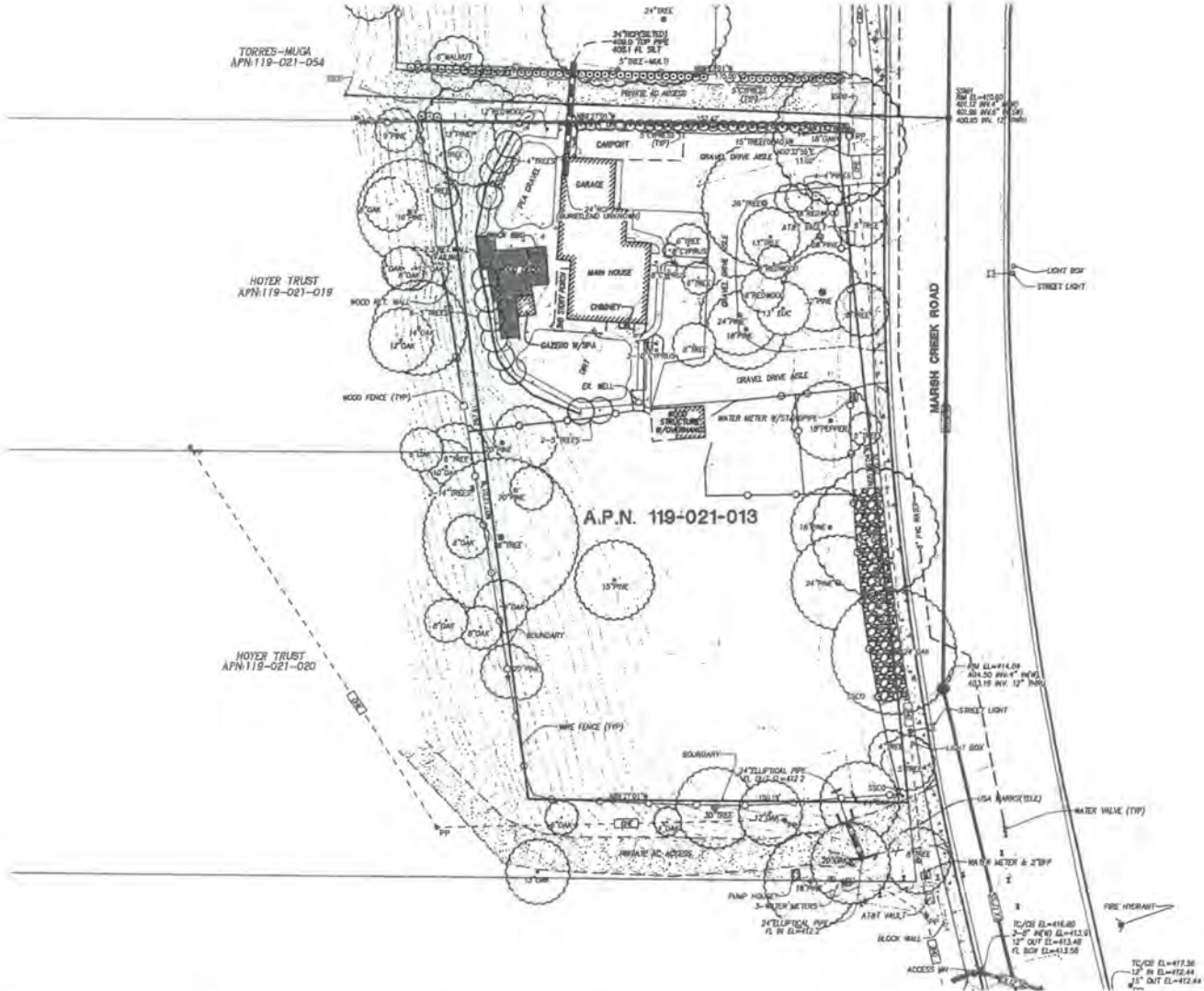
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JOB NO.: 1908
DATE: OCTOBER 2019
SCALE: AS SHOWN



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2605 Stevens Drive, Suite 100
 Concord, CA 94520
 Phone: (925) 674-6000
 Fax: (925) 674-6279
 Web: www.milaniassociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
EXISTING SITE CONDITIONS

A.P.N. 119-021-013
 CONTRA COSTA COUNTY
 CALIFORNIA

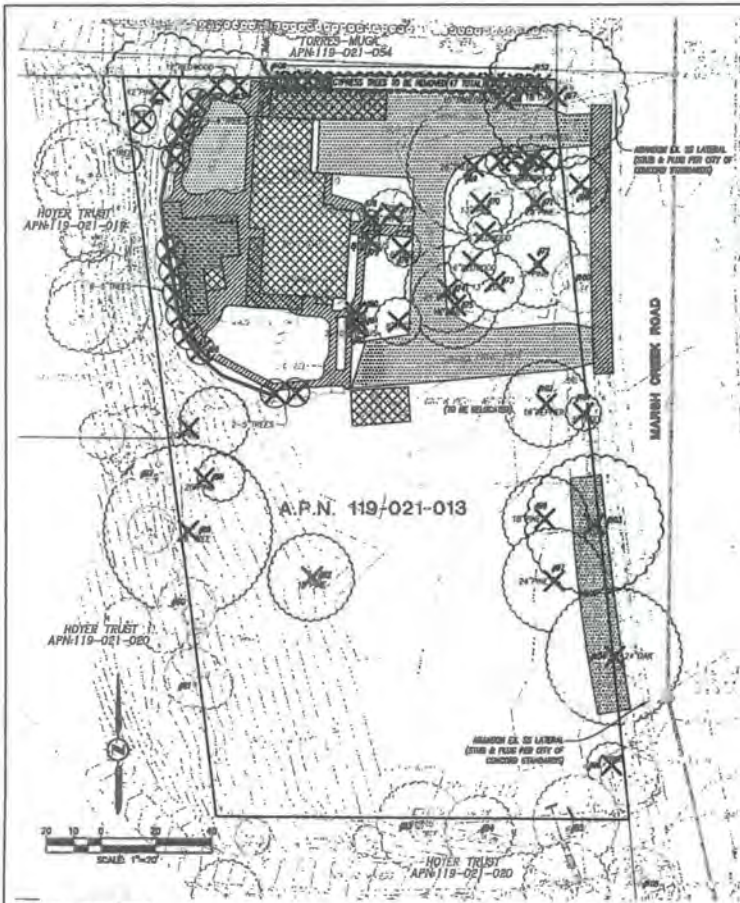
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL & MILES
 1524 N. BERRY STREET, BERKELEY, CALIF. 94709
 DESIGNER: ANNA
 DRAWN BY: KRASIMIR
 CHECKED: MEM

DATE: OCTOBER 2019
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET

C-2
 OF 11 SHEETS



TREE REMOVAL NOTES:

ID	Species	DBH	Height	Health	Value	Notes
67	Summit Alder	1.8	20	4	Y	OK, High voltage power lines
68	Alpine Birch	1.0	20	2	Y	Good, Moderate
69	Indian Juniper	3.0	20	3	F	OK, x
70	Western Juniper	2.0	20	3	F	OK, x
71	White Pine	2.0	20	3	F	Low, OK
72	Redwood	3.0	20	3	F	OK
73	Western Juniper	2.0	20	3	F	OK
74	White Pine	2.0	20	3	F	OK
75	White Pine	2.0	20	3	F	Low, High voltage lines
76	White Pine	2.0	20	3	F	OK, x
77	White Pine	2.0	20	3	F	OK
78	Western Juniper	2.0	20	3	F	OK
79	Western Juniper	2.0	20	3	F	OK
80	Western Juniper	2.0	20	3	F	OK
81	Western Juniper	2.0	20	3	F	OK
82	Western Juniper	2.0	20	3	F	OK
83	White Pine	2.0	20	3	F	OK, not suitable for water treatment
84	White Pine	2.0	20	3	F	OK, not suitable for water treatment
85	White Pine	2.0	20	3	F	OK
86	White Pine	2.0	20	3	F	OK
87	White Pine	2.0	20	3	F	OK, close to power lines
88	White Pine	2.0	20	3	F	OK, close to power lines
89	White Pine	2.0	20	3	F	OK, close to power lines
90	White Pine	2.0	20	3	F	OK, close to power lines
91	White Pine	2.0	20	3	F	OK, close to power lines
92	White Pine	2.0	20	3	F	OK, close to power lines
93	White Pine	2.0	20	3	F	OK, close to power lines
94	White Pine	2.0	20	3	F	OK, close to power lines
95	White Pine	2.0	20	3	F	OK, close to power lines
96	White Pine	2.0	20	3	F	OK, close to power lines
97	White Pine	2.0	20	3	F	OK, close to power lines
98	White Pine	2.0	20	3	F	OK, close to power lines
99	White Pine	2.0	20	3	F	OK, close to power lines
100	White Pine	2.0	20	3	F	OK, close to power lines
101	White Pine	2.0	20	3	F	OK, close to power lines
102	White Pine	2.0	20	3	F	OK, close to power lines
103	White Pine	2.0	20	3	F	OK, close to power lines
104	White Pine	2.0	20	3	F	OK, close to power lines
105	White Pine	2.0	20	3	F	OK, close to power lines

* TO BE REMOVED
 ** PROTECTED TREE TO BE REMOVED

106	Western Juniper	1.5	20	2	Y	OK	North property, low tree
107	Western Juniper	1.5	20	2	Y	OK	North property, low tree
108	Western Juniper	1.5	20	2	Y	OK	North property, low tree
109	Western Juniper	1.5	20	2	Y	OK	North property, low tree
110	Western Juniper	1.5	20	2	Y	OK	North property, low tree
111	Western Juniper	1.5	20	2	Y	OK	North property, low tree
112	Western Juniper	1.5	20	2	Y	OK	North property, low tree
113	Western Juniper	1.5	20	2	Y	OK	North property, low tree
114	Western Juniper	1.5	20	2	Y	OK	North property, low tree
115	Western Juniper	1.5	20	2	Y	OK	North property, low tree
116	Western Juniper	1.5	20	2	Y	OK	North property, low tree
117	Western Juniper	1.5	20	2	Y	OK	North property, low tree
118	Western Juniper	1.5	20	2	Y	OK	North property, low tree
119	Western Juniper	1.5	20	2	Y	OK	North property, low tree
120	Western Juniper	1.5	20	2	Y	OK	North property, low tree
121	Western Juniper	1.5	20	2	Y	OK	North property, low tree
122	Western Juniper	1.5	20	2	Y	OK	North property, low tree
123	Western Juniper	1.5	20	2	Y	OK	North property, low tree
124	Western Juniper	1.5	20	2	Y	OK	North property, low tree
125	Western Juniper	1.5	20	2	Y	OK	North property, low tree
126	Western Juniper	1.5	20	2	Y	OK	North property, low tree
127	Western Juniper	1.5	20	2	Y	OK	North property, low tree
128	Western Juniper	1.5	20	2	Y	OK	North property, low tree
129	Western Juniper	1.5	20	2	Y	OK	North property, low tree
130	Western Juniper	1.5	20	2	Y	OK	North property, low tree
131	Western Juniper	1.5	20	2	Y	OK	North property, low tree
132	Western Juniper	1.5	20	2	Y	OK	North property, low tree
133	Western Juniper	1.5	20	2	Y	OK	North property, low tree
134	Western Juniper	1.5	20	2	Y	OK	North property, low tree
135	Western Juniper	1.5	20	2	Y	OK	North property, low tree
136	Western Juniper	1.5	20	2	Y	OK	North property, low tree
137	Western Juniper	1.5	20	2	Y	OK	North property, low tree
138	Western Juniper	1.5	20	2	Y	OK	North property, low tree
139	Western Juniper	1.5	20	2	Y	OK	North property, low tree
140	Western Juniper	1.5	20	2	Y	OK	North property, low tree
141	Western Juniper	1.5	20	2	Y	OK	North property, low tree
142	Western Juniper	1.5	20	2	Y	OK	North property, low tree
143	Western Juniper	1.5	20	2	Y	OK	North property, low tree
144	Western Juniper	1.5	20	2	Y	OK	North property, low tree
145	Western Juniper	1.5	20	2	Y	OK	North property, low tree
146	Western Juniper	1.5	20	2	Y	OK	North property, low tree
147	Western Juniper	1.5	20	2	Y	OK	North property, low tree
148	Western Juniper	1.5	20	2	Y	OK	North property, low tree
149	Western Juniper	1.5	20	2	Y	OK	North property, low tree
150	Western Juniper	1.5	20	2	Y	OK	North property, low tree
151	Western Juniper	1.5	20	2	Y	OK	North property, low tree
152	Western Juniper	1.5	20	2	Y	OK	North property, low tree

DEMOLITION LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING CURB, UTILITY AND SEWERAGE TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING REBAR AND WALL TO BE REMOVED

DEMOLITION QUANTITIES

- STRUCTURE REMOVAL: 3,000 SF
- CONCRETE REMOVAL: 1,700 SF
- CONCRETE/ROOF REMOVAL: 5,400 SF
- CONCRETE CURB, UTILITY & SEWERAGE REMOVAL: 800 SF
- REBAR REMOVAL: 210 SF
- REBAR REINFORCEMENT WALL REMOVAL: 400 SF
- WALL REMOVAL: 77 TOTAL

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 Sanitary Engineering
 Civil Engineering
 Environmental Engineering
 Surveying & Reporting



2000 Stinson Drive, Suite 100
 Concord, CA 94520
 Phone: (925) 674-0292
 Fax: (925) 674-0279
 Web: www.milaniassociates.com

JORDAN PROPERTY **THE OLIVIA ON MARSH CREEK** A.P.N. 119-021-013
3490 MARSH CREEK ROAD
 DEMOLITION & TREE REMOVAL PLAN
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE SUPERVISION OF:
 MICHAEL S. MOYER
 M.S.E., P.E., S.E.C., License # 65611
 DESIGN: RMA JOB NO: 740
 DRAWING: RWAS/MSJAL DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
1	ISSUE REPORT ASSEMBLY	MA/AM		10/3/2019	C-3
					11



LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD **PLANNED DEVELOPMENT**
- PF **PUBLIC FACILITY**
- R-15 **15,000 SF MIN. LOT SIZE**
- R-40-H **40,000 SF MIN. LOT SIZE, HORSES ALLOWED**
- L-C **LIMITED COMMERCIAL**

- **SITE BOUNDARY**
- **ZONING BOUNDARY**



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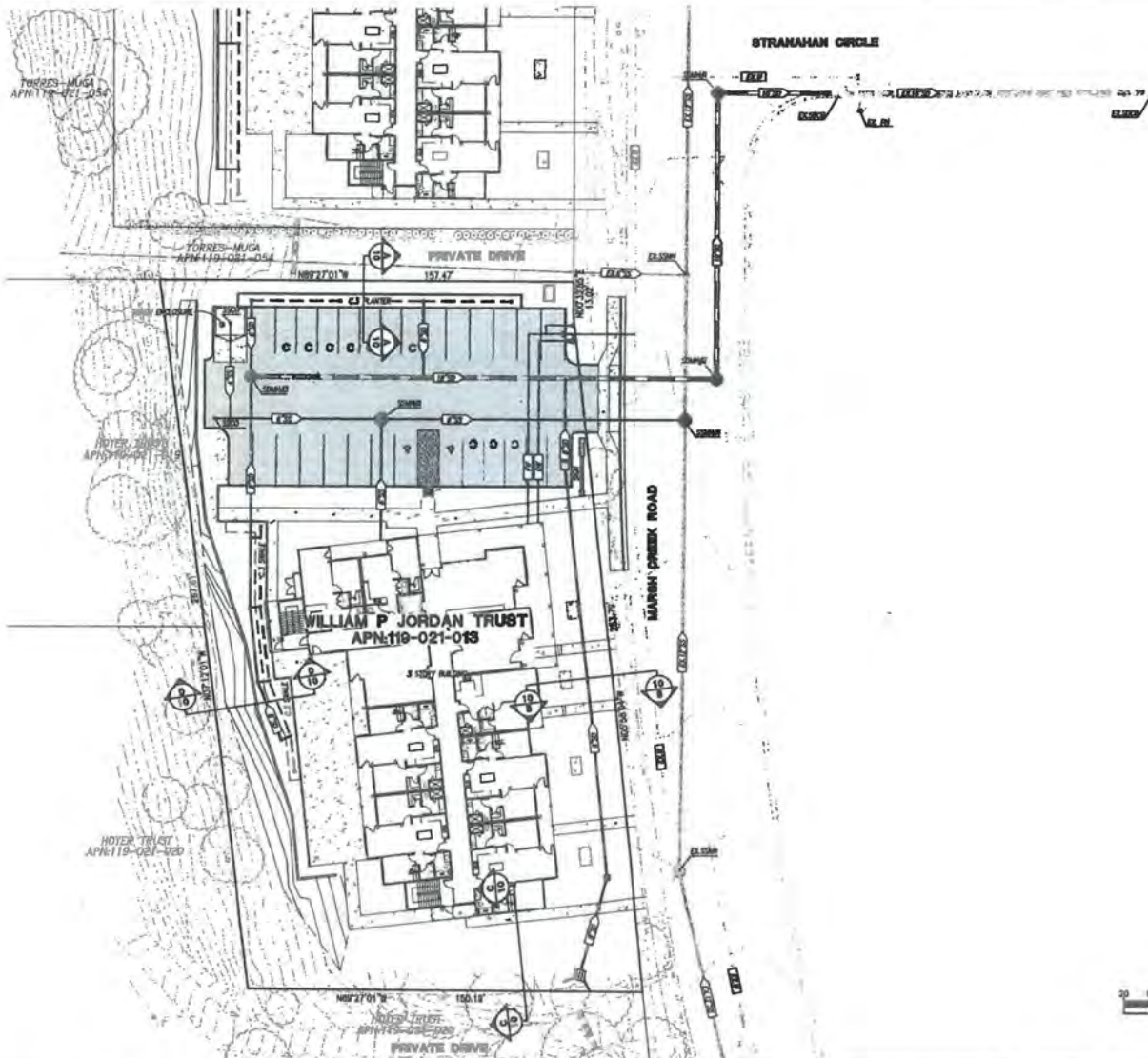
2555 Stinson Drive, Suite 103
 Concord, CA 94520
 Phone: (925) 674-8023
 Fax: (925) 674-8279
 Web: www.milaniassociates.com

JORDAN PROPERTY **THE OLIVIA ON MARSH CREEK** A.P.N. 119-021-013
6490 MARSH CREEK ROAD
 ZONING EXHIBIT
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI DATE: _____
 REG. NO. 58781 DESIGNER'S SIGNATURE
 DESIGNER: ISA JOB NO: 740
 DRAWN: KPARAKKAL DATE: OCTOBER 2018
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-4
					11
					OF 11 SHEETS



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 DRAWINGS OR SPECIFICATIONS OF THIS

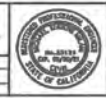
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 Land Development Engineering
 Electrical Engineering
 Civil Engineering
 Environmental Engineering
 Surveying & Mapping



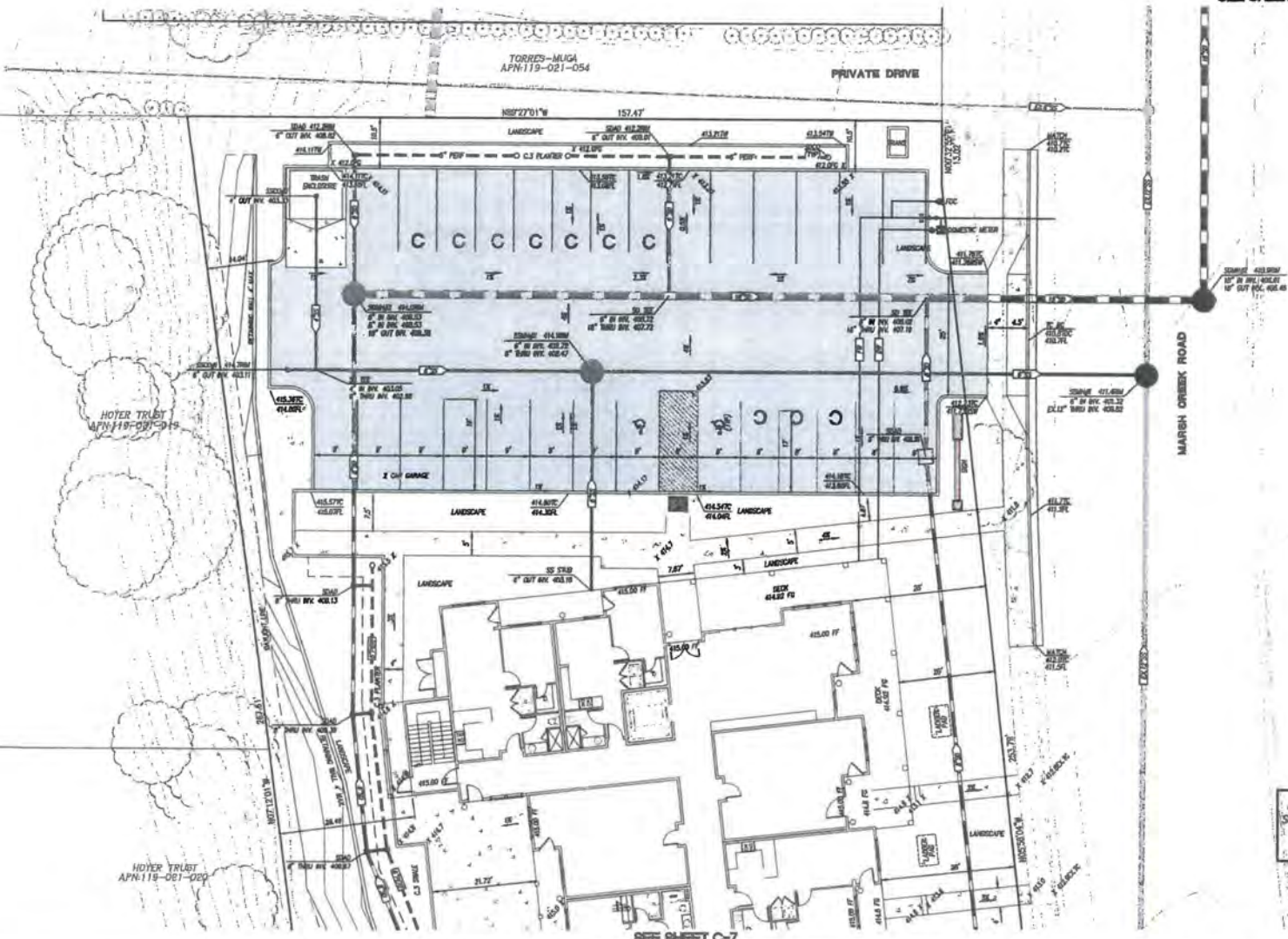
2000 Shattuck Blvd., Suite 100
 Concord, CA 94520
 Phone: (925) 674-8232
 Fax: (925) 674-8279
 Web: www.milaniassociates.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
OVERALL SITE PLAN
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA
 A.P.S. 119-021-018

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL S. MILANI
 REG. No. 20023
 DATE: _____
 CHECKED BY: MEM
 DATE: _____
 SCALE: AS SHOWN



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					11
					OF 11 SHEETS



SEE SHEET C-7



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 This notice to be shown upon completion of this site plan application process, if any.

SEE SHEET C-7

Planning
 Surveying & Mapping
 Land Development Engineering
 Municipal Engineering
 Construction Staking
 Environmental Engineering
 Survey Monitoring & Reporting



2855 Starned Blvd, Suite 105
 Concord, CA 94530
 Phone: (925) 674-9992
 Fax: (925) 674-9278
 Web: www.milaniconsultants.com

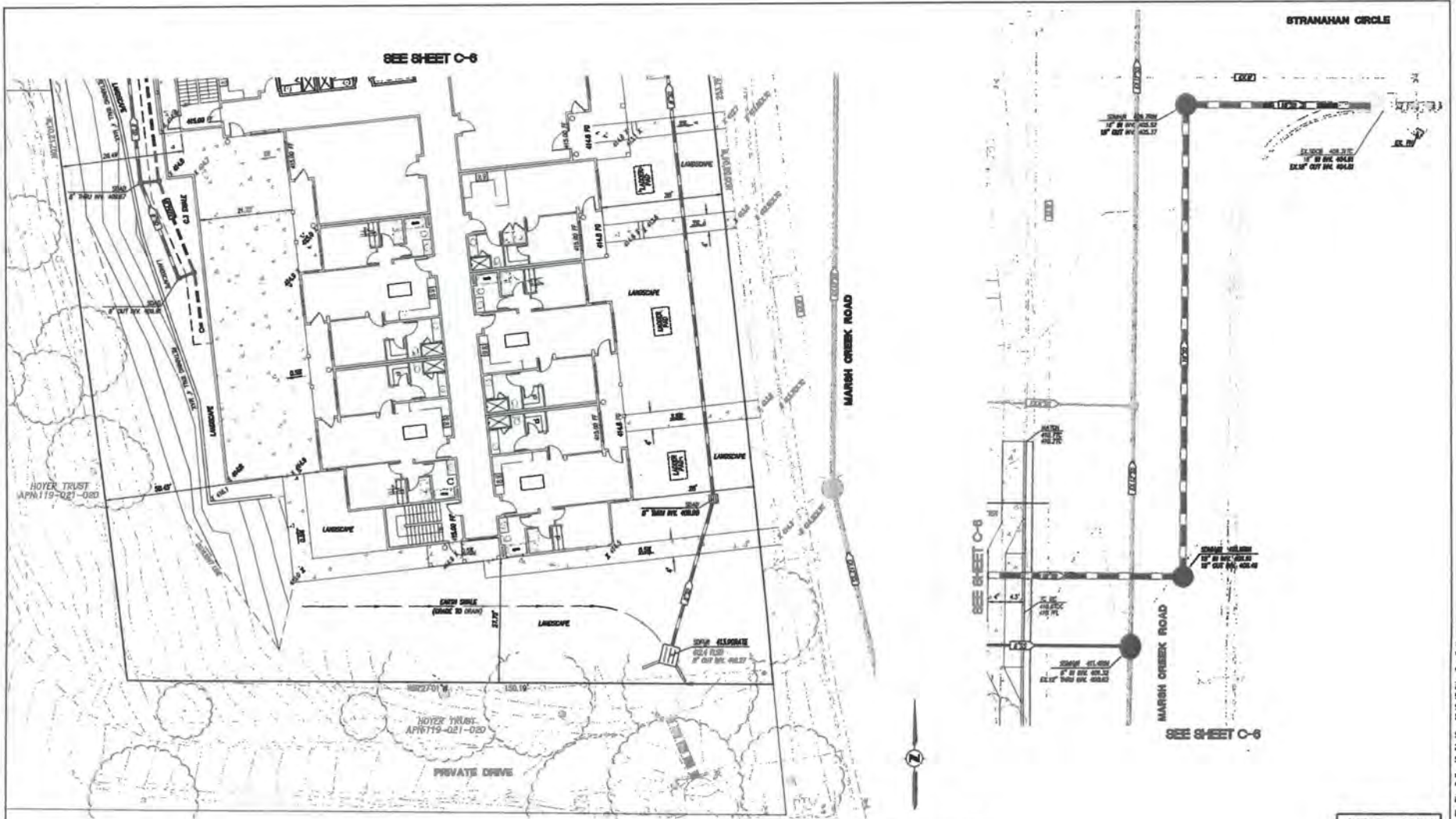
JOB/AN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SITE PLAN-NORTH
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

A.P.N. 119-021-013

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.L.C.E. No. 50747 - 0000004-00-001
 DATE: _____
 JOB NO. 740
 DATE: OCTOBER 2018
 SCALE: AS SHOWN

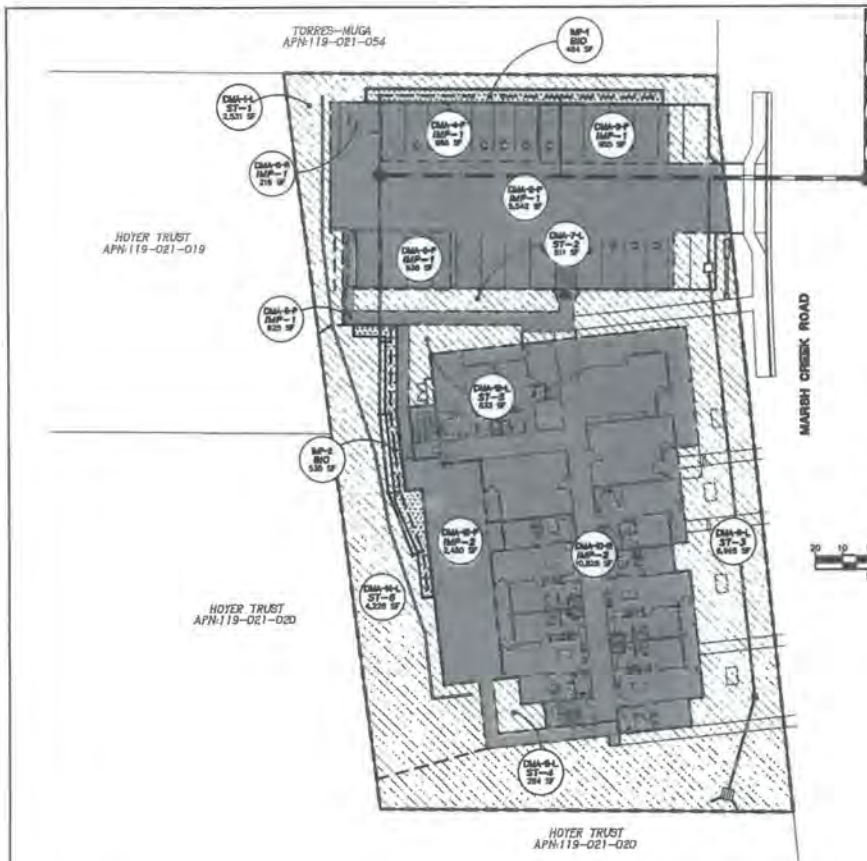


NO.	REVISIONS	BY	APP	DATE	SHEET
					C-6
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Planning Surveying & Mapping Land Development Engineering Structural Engineering Construction Staking Environmental Engineering SVPV Modeling & Reporting	 MILANI & Associates	2655 Stewart Rd., Suite 102 Concord, CA 94520 Phone: (925) 674-8882 Fax: (925) 674-8279 Web: www.milaniandassociates.com	JORDAN PROPERTY	THE OLIVIA ON MARSH CREEK 6490 MARSH CREEK ROAD SITE PLAN-SOUTH	A.P.#. 119-021-013	DESIGNED UNDER THE DIRECTION OF: MICHAEL E. LUCINI PLS.#. 041370 - Expires 3-30-21	DATE: _____		NO. _____	REVISIONS _____	BY _____	APP. _____	DATE _____	SHEET C-7
			CITY OF CLAYTON	CONTRA COSTA COUNTY	CALIFORNIA	CHECKED: MEM	JOB NO: 740 DATE: OCTOBER 2019 SCALE: AS SHOWN		11 SHEETS					

C:\Users\jordan\OneDrive\Documents\6490 Marsh Creek\6490 Marsh Creek - South\6490 Marsh Creek - South.dwg 10/24/19 10:44:18 AM 01/15/17 14 10/24/19 10:44:18 AM 01/15/17 14



Project Name: Clayton Senior Housing North Bldg 3
 Project Type: Treatment Only
 APN: 119-021-019
 Drainage Area: 45,001
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	1,317
DMA2	1,114
DMA3	1,388
DMA11	2,113
DMA13	851
DMA14	4,257

IV. Areas Draining to IMPs

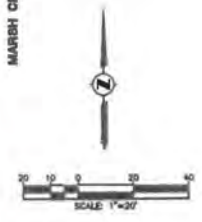
IMP Name: IMP1
 IMP Type: Flow-Through Planter
 Sub-Object: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Rating Factor	Run Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA2	8,540	Asphalt	1.00	8,540					
DMA3	905	Concrete or Asphalt	1.00	905					
DMA4	860	Concrete or Asphalt	1.00	860					
DMA5	508	Concrete or Asphalt	1.00	508					
DMA6	218	Concrete or Asphalt	1.00	218					
DMA8	435	Concrete or Asphalt	1.00	435					
Total				13,326					
					Area	1.000	1.000	370	484

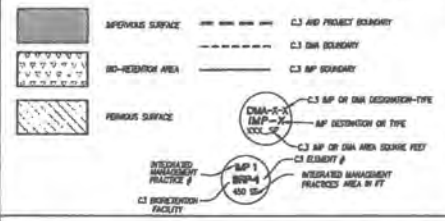
IMP Name: IMP2
 IMP Type: Detention Facility
 Sub-Object: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Rating Factor	Run Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume	
DMA10	16,834	Commercial Roof	1.00	16,834					
DMA11	2,480	Concrete or Asphalt	1.00	2,480					
Total				19,314					
					Area	1.000	1.000	251	335

Report generated on 8/22/2018 12:00:00 AM by the Contra Costa Clean Water Program IMP Rating Tool software (version 1.5.1.0).



LEGEND



NOTES:

1. SEE HYDROLOGIC SOIL TYPE: B
2. GROUNDWATER ENCOUNTERED AT A DEPTH OF 11 to 24 FEET.
3. CONSTRUCTION SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM 700 SECTION.

ABBREVIATIONS:

- IMP INTERRELATED FACILITY
- CAP CAPACITY
- EDWG EXISTING
- DMA DRAINAGE MANAGEMENT AREA
- F/C FACE OF CURB
- NO NO RETENTION
- IMP INTERRELATED MANAGEMENT PRACTICES
- L LANDSCAPE
- IMP IMP
- P PAVEMENT
- FL FLASHER
- A ROOF
- RP RP IMP
- S/W SLOPE OF SLY
- SF SQUARE FEET
- ST SELF TREATING
- ST SELF TREATING
- S/W SLOPE
- UNTR UNTRATED

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 Environmental Engineering
 SWPPP Monitoring & Reporting

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 Concord, CA 94520
 Phone: (925) 674-6022
 Fax: (925) 674-6279
 Web: www.milaniconsulting.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
C.3 COMPLIANCE EXHIBIT
 A.P.N. 119-021-013
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.L.C.E. No. 91517 - CONSTRUCTION 8-0-01-01
 DATE: _____
 JOB NO: 743
 DATE: OCTOBER 2018
 SCALE: AS SHOWN

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					11

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Clean Bay Blue Print

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the Bay within Contra Costa County. Construction activities can directly affect the health of creeks and the Bay unless construction crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

Dewatering operations

- Effectively manage all storm, all runoff with the site, and all runoff that discharges from the site. Runoff from all the shall be directed away from all disturbed areas or shall not discharge to the environment.
- Stormwater for dirt washed, sediment, or other pollutants.
- Be sure to verify and adjust against the highest known discharge rates to a storm, gutter, or storm drain. (Think of discharges through a hole, tank, or container any way they are required.)
- In some instances, construction using its equipment to cause or discharge of pollutants. Consult with the Engineer to determine what testing is required and how to interpret results. Construction procedures must be modified or limited to the paper design.



Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar in sealed, covered, and clearly labeled containers. These materials must never be placed in storm drains.
- Wash out concrete equipment into a concrete washout pad or other containment structure that will not allow discharge of wash water into the surrounding soil or into the stormwater system.
- Collect any wash water, washout pads, and equipment maintenance and repair materials in appropriate containers for appropriate disposal off-site.



Saw cutting

- Always completely cover or barricade storm drains while saw cutting. The Storm Drain, which leads into the storm, or manhole flaps to keep things out of the storm drain system.
- Block, shield, or restrict stormwater runoff and prevent it from entering the storm drain system.
- Prevent any debris from entering the storm drain, clean it up immediately.



Paving

- Store extra paving materials in a secure and clearly labeled container. These materials must never be placed in storm drains.
- Block and secure all paved areas before allowing heavy machinery to drive on them.
- They shall follow and adhere to any stormwater guidelines, Department of Public Works, and applicable laws and regulations.

Landscape Materials

- Cracks, crevices, and other openings shall be sealed with appropriate landscape materials (such as mulch, weed mat, or other) to prevent any debris from entering the storm drain system.
- Discontinue the application of any landscape materials which is a sign of imminent rain and during wet weather.

Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks and replace any worn, aged, or leaking parts.
- Fuel and materials vehicles on site only in a designated area or at least a drip pan for fuel.
- Use appropriate cleaning techniques and equipment to clean up any spills, leaks, or drips.
- Use clean water to wash any equipment or materials.
- Use clean water to wash any equipment, materials, or debris.
- Use clean water to wash any equipment, materials, or debris.
- Use clean water to wash any equipment, materials, or debris.



Earthwork & contaminated soils

- Keep materials and soils on site when it will not be used for the project.
- Transfer to dump trucks should this occur on the site, and the materials.
- Use clean water, all hoses, or other control measures to minimize the flow of dirt.



Materials storage & spill cleanup

- Store materials in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.
- Store, site, and other materials must be stored in a secure and clearly labeled container.



- Each working activities by project and approved by the City Engineer to the site.
- Transfer to dump trucks should this occur on the site, and the materials.
- Use clean water, all hoses, or other control measures to minimize the flow of dirt.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

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DATE: _____ **BY:** _____ **DATE:** _____
PROJECT: _____ **NO.:** _____ **DATE:** _____
SCALE: AS SHOWN

DESIGNED UNDER THE SUPERVISION OF:
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
CLEAN BAY BLUE PRINT
COSTA COSTA COUNTY

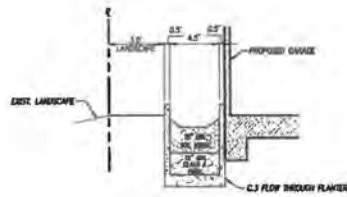
JOB NO.: _____ **DATE:** _____
ISSUED: _____ **BY:** _____
REVISION: _____ **DATE:** _____
SCALE: AS SHOWN

MILANI
ARCHITECTS & ENGINEERS
1000 BAY STREET, SUITE 100
OAKLAND, CA 94612
PHONE: (916) 834-4000
FAX: (916) 834-4000
WWW.MILANIARCHITECTS.COM

11
OF 11 SHEETS

CLEAN BAY
BLUE PRINT

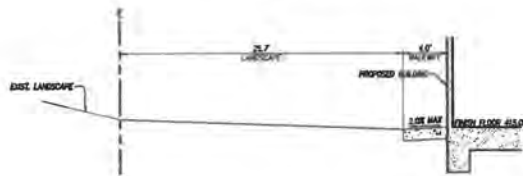
NO.	DATE	DESCRIPTION	BY	DATE



SECTION A
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION B
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION C
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION D
 HORIZ. 1"=3'
 VERT. 1"=2.5'

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 Concord, CA 94530
 Phone: (925) 674-9022
 Fax: (925) 674-9279
 Web: www.milaniasociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SECTIONS

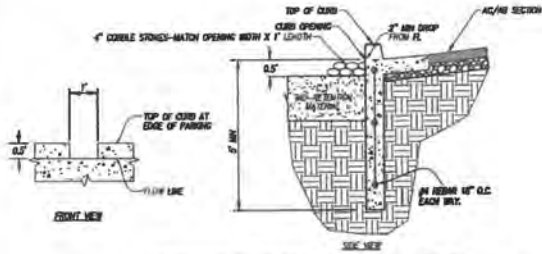
A.P.N. 119-021-013
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 UNDESIGNED: _____ DATE: _____
 DESIGNER: RFL JOB NO: 740
 DRAWN: STRANAGRAM DATE: OCTOBER 2019
 CHECKED: MDM SCALE: AS SHOWN

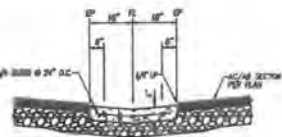


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					11

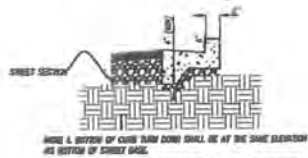
P:\Users\jordan\My Documents\6490 Marsh Creek Road\6490 Marsh Creek Road - 2.dwg Sections C-10 10/24/19 10:18:27 PM AutoCAD



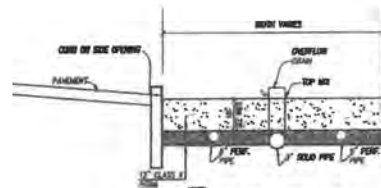
DEEPEMED CURB AT CS BIO-RETENTION BASIN
NOT TO SCALE



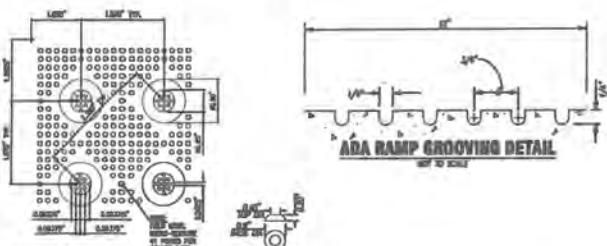
36" VALLEY GUTTER
NOT TO SCALE
CURB FL. = 0" - 0.5"



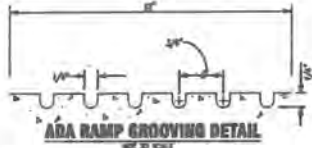
STANDARD 6" CURB & GUTTER
NOT TO SCALE



BIO-RETENTION FACILITY
NOT TO SCALE



RAISED TRUNCATED DOME DETAILS
NOT TO SCALE



ADA RAMP GROOVING DETAIL
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MILANI

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Concord, CA 94520
Phone: (925) 824-8222
Fax: (925) 824-8278
Web: www.milaniinc.com

OWNER PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
DETAILS

ALP.# 118-021-013
CITY OF CLAYTON
CONTRA COSTA COUNTY
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
JOHN R. SALAS
RCE No. 22071 (ISSUED 8-20-01)

DESIGNER: JPP
DRAWING: JPP/MS/MAJ
CHECKED: JSM

SCALE: AS SHOWN



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"THE OLIVIA ON MARSH CREEK" A 55+ COMMUNITY

6170 High St.
Clayton, CA 94517

CONSULTANTS

Structural Engineer:
J&J Schmidt
Peter Schmidt
405 Central Rd
Concord CA 94518
(925) 699-9100

Consultant:
John Houston
3644 Yalaguch Ave. Suite A
Oakland, CA 94609
JHouston@jhs.com
JHouston@jhs.com

Civil Engineer:
Ward and Associates Engineering
2045 Stewart Dr. #202
Concord, CA 94520
Kcolucci@ward-eng.com
Alicia Ken Albrecht

MEP Engineer:
Landscape Architects Inc.
1701 North Broadway, Suite 390
Walnut Creek, CA 94596
Landscape@landscape.com
Alicia Michael, Paul Robinson, Ben Hill

Planning Consultant:
PlanWorks
3025 Shattuck Ave. #300
Berkeley, CA 94709
Cplanning@planworks.com
Alicia, Charles Katz

Interior:
Clawson Environmental, Inc.
Interior Design and Decorating
3700 Crow Canyon Place, Suite 200
San Ramon, CA 94583
JMcWhorter@clawson.com

Soils Engineer:
Pier Associates, Incorporated
(Geotechnical and soils)
3656 Nicholson Street
San Leandro, CA 94577
PierGS@pier.com
Alicia, John Fitch

Notes:
Thompson Associates
20000 Baker Road
Castro Valley, CA 94546
Sp@th-inc.com
Alicia, Roman Thierman

Traffic Engineer:
Kiefer Hines
4637 Chabot Drive Suite 300
Pleasanton, CA 94588
Kiefer@kiefers.com
Alicia, Sam Hahn

Up Light Electrical Engineering:
330 Industrial Mansd rd
West Sacramento, CA 95601
Joey@light.com
Alicia, Jim Lary

Architect:
SICA Time Consulting
1214 Elm St.
Crockett, CA 94523
Stewart@sicatime.com
Alicia, Steve Benschel, Kelly Benschel

Phase I Environmental:
Purton Engineering and Science, Inc.
254 Yonkers Hill, Suite 300
Torrance, CA 90503
Taylor@purton.com
Alicia, Cody Taylor

Architectural:
Pacific Legacy
Bay Area Offices
980 Florio St.
Berkeley, CA 94707
Hollis@pacificlegacy.com
Alicia, Lisa Helen

Air Quality:
Ambient
612 Oak St., Suite 208
Palo Alto, CA 94301
Kurt@ambient.com
Alicia, Kurt Legleiter

Owner and Developer:
William J. Jordan
P.O. Box 547
Clayton, CA 94517
Wjordan@oliviaonmarsh.com
Alicia, Bill Jordan

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines. Architecture was a blend of old and new to evoke the feeling of a downtown. The project architect captured this by using horizontal siding, broken board siding, tall windows, gabled rooflines, porches, heavy timber for columns, brick fireplaces, and colors that are reminiscent of an old Western or Viking town architecture style. The building fits within the downtown with similar features of neighboring commercial development. This development will cater to adults who are young professionals as well as working professionals. The project will have social events and clubs. The units will have luxury features that fit the demographic. It will have up load spaces for the residents' children to rest or to study while remaining close to family and their existing world. The project will enhance and revitalize a downtown that is known for stronging businesses and vendors. A candidates convention will be forthcoming on this project for future sales.

VICINITY MAP



PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6070 High St. Clayton
6450 Marsh Creek Rd., Clayton
6450 Marsh Creek Rd., Clayton
General Plan Designation: Mid-Density High Density (P45)
Zoning: Planned Development (PD)
Specific Plan: Town Center Specific Plan (for 6170 High St. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element 200-202
Applicable County Code
Clayton Municipal Code
California Density Bonus Law
Housing Assembly Act

General Info:
6070 High St. Lot Size: 41,378 SF
6450 Marsh Creek Rd. Lot Size: 42,218 SF
6450 Marsh Creek Rd. Lot Size: 42,218 SF
Base number of units: 57 units
Density Bonus Law for 20% increase for 7 very low income units
Total Number of units: 64
Number of units per lot:
6070 High St.: 30 units
6450 Marsh Creek Rd.: 26 units
6450 Marsh Creek Rd.: 26 units
Units are:
6070 High St.:
2 bedrooms 1 bath units: 9
1 bedroom 1 bath units: 21
See W-11.4

Class room: 1
Fitness room: 1
Reception entry: 1
6450 Marsh Creek Rd.
2 bedrooms 2 bath units: 13
1 bedroom 1 bath units: 13
See W-11.4

Class room: 1
Fitness room: 1
Reception entry: 1
6450 Marsh Creek Rd.
2 bedrooms 2 bath units: 16
1 bedroom 1 bath units: 16
See W-11.4

Basin Point of Building:
6070 High St.: 28,750 SF
6450 Marsh Creek Rd.: 27,700 SF
6450 Marsh Creek Rd.: 27,700 SF
Building Height: Maximum:
40 feet
Building Height via Density Bonus Law Waiver:
6070 High St.: 39'-0"
6450 Marsh Creek Rd.: 37'-0"
6450 Marsh Creek Rd.: 39'-0"

Intentional via Density Bonus Law Waiver:
See Civil plans and Landscape plans
Parking Required:
See Civil plans and Landscape plans
Lot Coverages Max: 62%
See Civil plans and Landscape plans

SHEET INDEX

- 000 COVER SHEET, PROJECT INFO, & RENDERING
- 010 BASE FLOOR PLAN
- 020 2nd FLOOR PLAN
- 030 3rd FLOOR PLAN
- 040 ROOF PLAN
- 050 LIFT AND RISE MECHANISMS
- 060 FRONT AND REAR ELEVATIONS
- 070 FINISH FLOOR & ELEVATIONS
- 080 COLOR RENDERINGS
- 090 MATERIALS
- 100 INTERIM/PROGRESS CONCEPT

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6170 High St.
Clayton, CA 94517
APN: 19-028-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**COVER SHEET,
PROJECT INFO,
& RENDERING**

REVISION

No.	Description	Date
1	DESIGN REV	1/27/19

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

PROJECT No.:
DRAWN BY: JJJ
CHECKED BY: JJJ
DATE: 10/11/19

A1.0



VIEW FROM HIGH ST RENDERING



WINDOW SCHEDULE				
SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
◇	2'-0" x 4'	6'-0"	SHIELD GLASS	8 WINDOWS
◇	2'-0" x 6'	6'-0"	SHIELD GLASS	3 WINDOWS
◇	2'-0" x 4'	6'-0"	TURBLE CASHEMENT	1 WINDOW
◇	4'-0" x 0"	6'-0"	JAMB	3 WINDOWS
◇	2'-0" x 6'	6'-0"	SHIELD GLASS	1 WINDOW
◇	2'-0" x 4'	6'-0"	FIXED	4 WINDOWS, OUTDOOR SIDE ELEVATION

William Jordan
Design & Development
PO Box 547
Clayton, CA 94537
(925) 872-7249

"The Olvia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6170 High St.
Clayton, CA 94517
APN: 179-022-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

1st FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	1/22/11

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 1/22/11

A2.0

ELECTRICAL PLAN LEGEND
NOTE: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER (LADDER) OR BY HIS AGENT FOR CIP PROJECT
*all electrical signs, symbols, letters, etc., shall conform to the National Electrical Code, 2008 Edition, unless otherwise indicated.

1st FLOOR PLAN
AS2 1/22/11 11:22 AM
TOTAL PAGES 9

William Jordan
Design & Development
PO Box 507
Cupertino, CA 94027
(925) 872-7499

"The Olive on Marsh
Crest"
A 55+ Community

PROJECT ADDRESS:
670 High St.
Cupertino, CA 94027
A/E: 19-05-053

OWNER:
William Jordan
PO Box 507
Cupertino, CA 94027
(925) 872-7499

2nd FLOOR PLAN

REVISION

No.	Description	Date
1	DISCOVERY	1/2/99

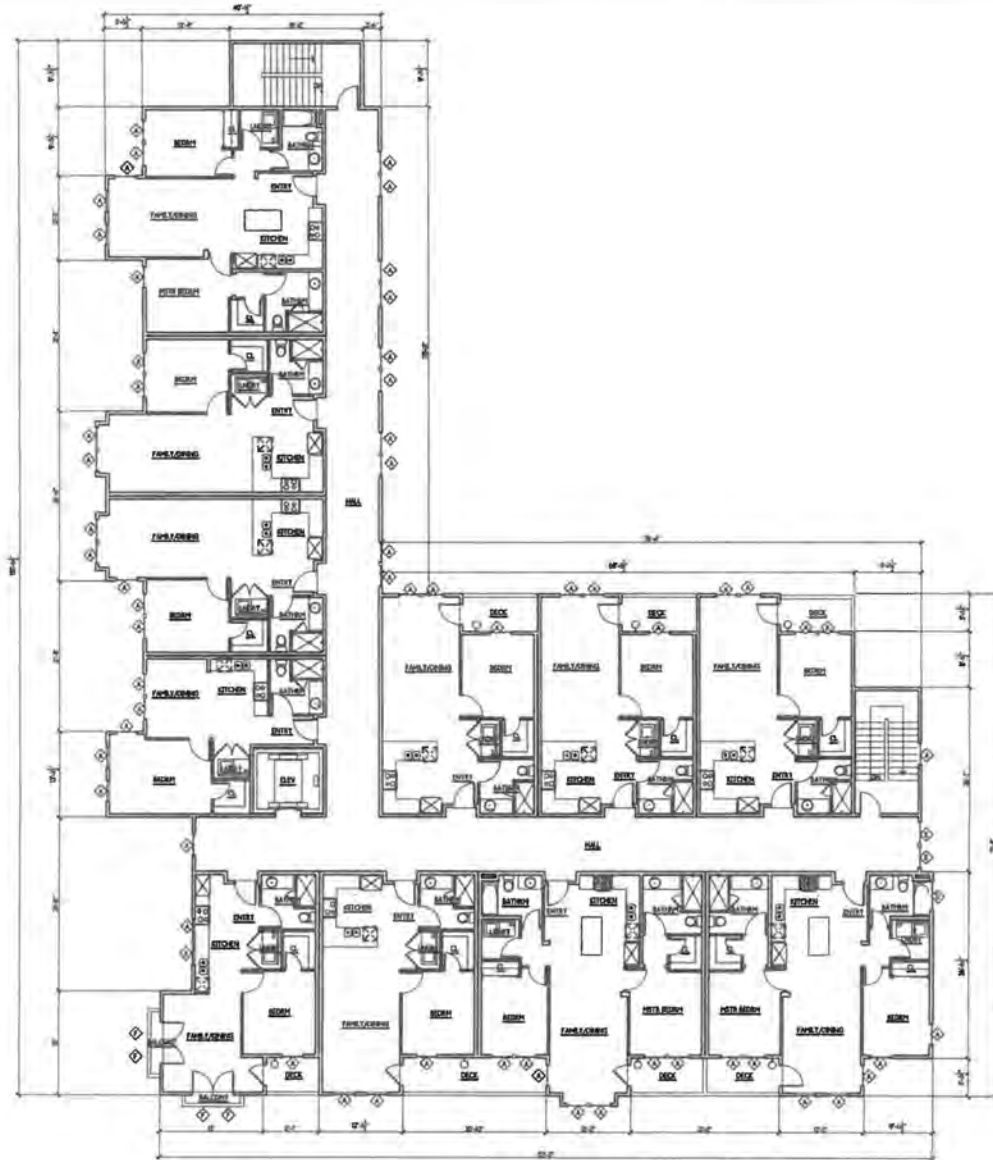
PROJECT No.:
DRAWING No.:
CHECKED BY:
DATE:

A2.1



ELECTRICAL PLAN LEGEND
 [Symbol] 120V 15A
 [Symbol] 208V 15A
 [Symbol] 208V 30A
 [Symbol] 208V 60A
 [Symbol] 208V 100A
 [Symbol] 208V 150A
 [Symbol] 208V 200A
 [Symbol] 208V 250A
 [Symbol] 208V 300A
 [Symbol] 208V 350A
 [Symbol] 208V 400A
 [Symbol] 208V 450A
 [Symbol] 208V 500A
 [Symbol] 208V 550A
 [Symbol] 208V 600A
 [Symbol] 208V 650A
 [Symbol] 208V 700A
 [Symbol] 208V 750A
 [Symbol] 208V 800A
 [Symbol] 208V 850A
 [Symbol] 208V 900A
 [Symbol] 208V 950A
 [Symbol] 208V 1000A

1 2nd FLOOR PLAN
 19-05-053



ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER TO BEST FIT OVERLAP NOTED
 SEE ALSO FOR COT SYMBOL
 * wall mounted light fixture unless noted
 * TV measurement of area unless
 * "Capacity noted, "TV" symbol is not to be used"

3rd FLOOR PLAN
 1/2" = 1'-0" SCALE
 11/11/11

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia on Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6170 High St.
 Clayton, CA 94517
 APN: 199-023-063

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

3rd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	1/21/11

PROJECT No.:
 DRAWN BY: WJF
 CHECKED BY: WJF
 DATE: 11/11/11

A2.2

William Jordan
Design & Development
PO Box 597
Clayton, CA 94527
(925) 873-7149

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS
4070 Hwy 26
Clayton, CA 94527
APN: TP-09-003

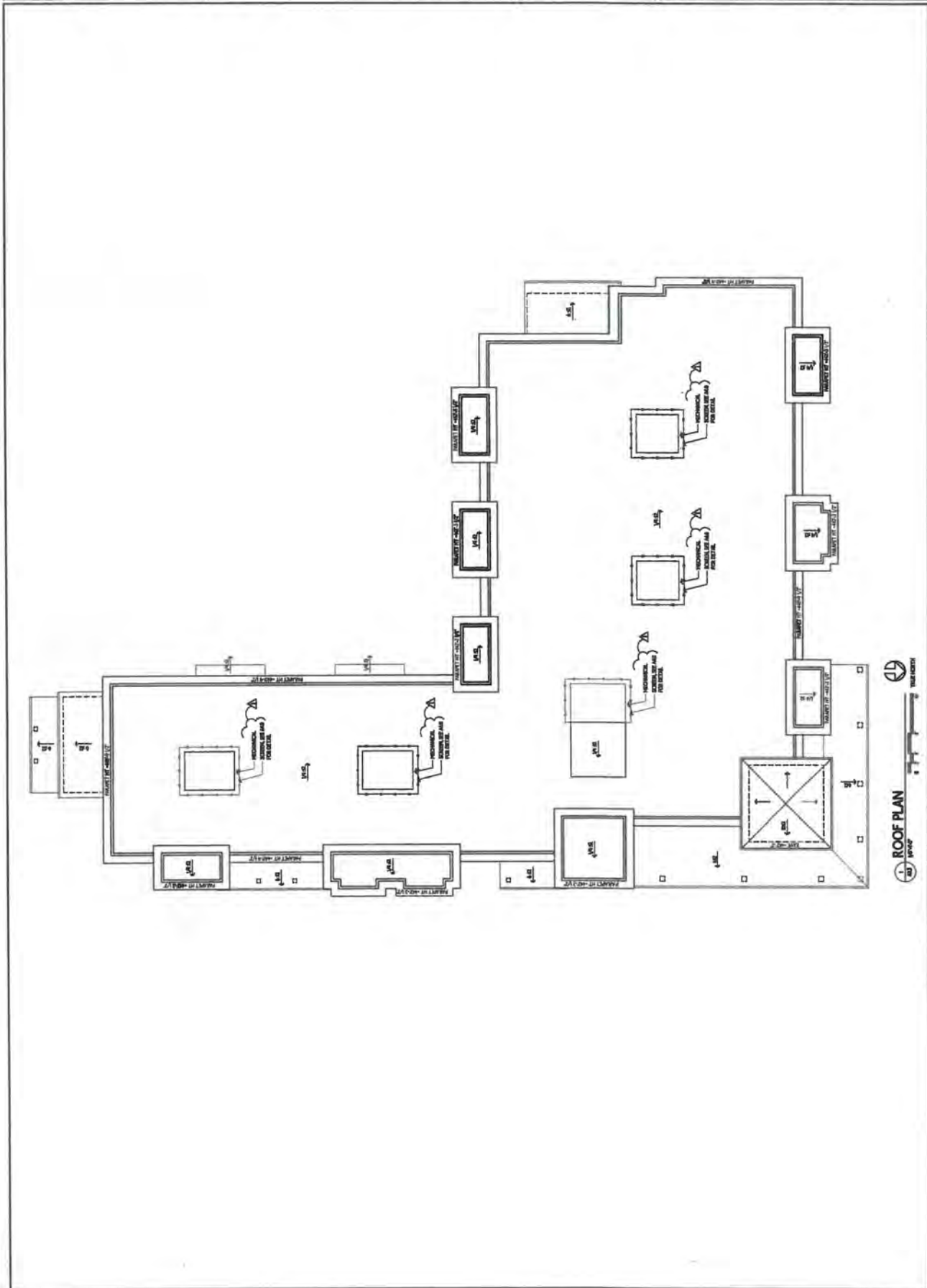
OWNER:
William Jordan
PO Box 597
Clayton, CA 94527
(925) 873-7149

ROOF PLAN

REVISION

No.	Description	Date
1	ISSUED FOR PERMIT	1/24/19

PROJECT No.:
DRAWN BY: WJZ
CHECKED BY: WJZ
DATE: 1/24/19





William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6370 High St.
Clayton, CA 94517
APN: 119-021-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

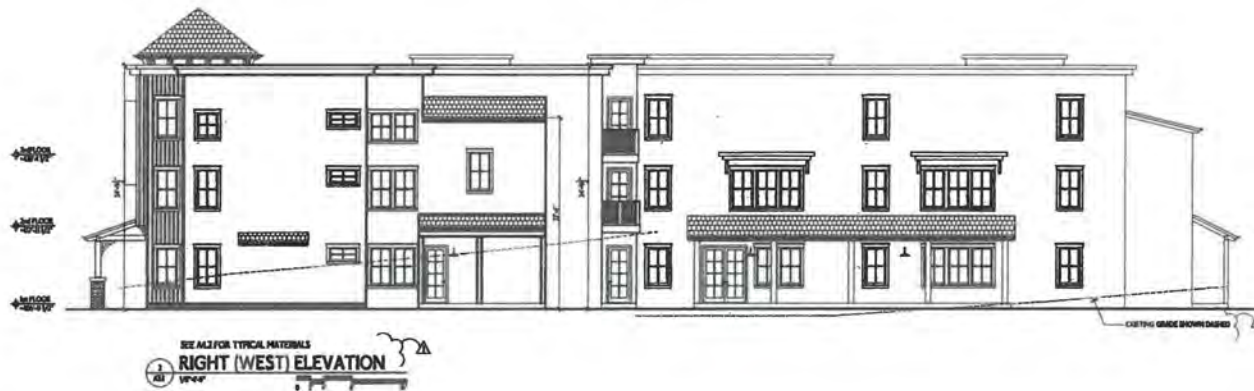
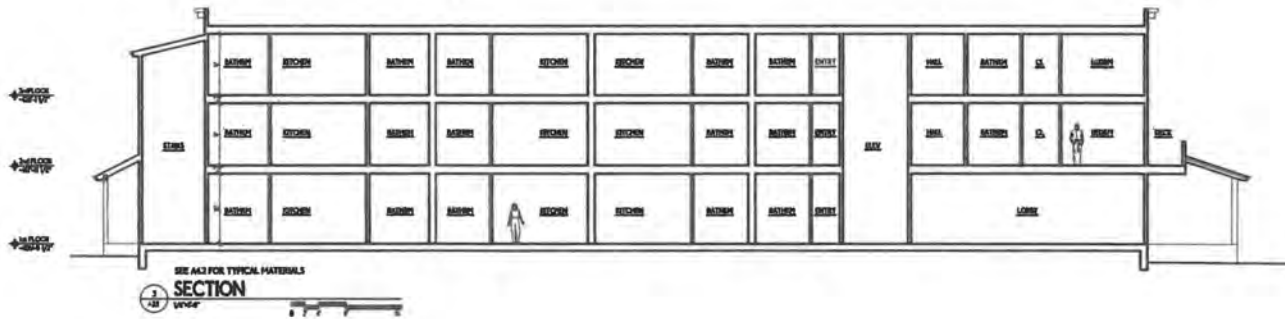
LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.:
DRAWN BY: WJL
CHECKED BY: WJL
DATE: 1/22/19

A3.0



William Jordan
Design & Development
PO Box 547
Clayton, CA 94527
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS
6170 High St.
Clayton, CA 94527
APN: 191-031-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94527
(925) 872-7249

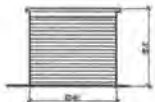
FRONT (NORTH),
RIGHT (WEST)
ELEVATIONS &
SECTION

REVISION

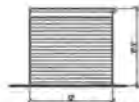
No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No. 2
DRAWN BY: WJT
CHECKED BY: WJT
DATE: 1/22/19

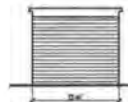
A3.1



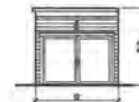
3 BIN TRASH ENCLOSURE
LEFT ELEVATION
1
ALL 1/22/19



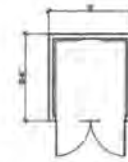
3 BIN TRASH ENCLOSURE
REAR ELEVATION
1
ALL 1/22/19



3 BIN TRASH ENCLOSURE
RIGHT ELEVATION
1
ALL 1/22/19



3 BIN TRASH ENCLOSURE
FRONT ELEVATION
1
ALL 1/22/19



3 BIN TRASH ENCLOSURE
FLOOR PLAN
1
ALL 1/22/19 TRASHING/BJP

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olive on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6170 High St.
Clayton, CA 94517
AP# 119-021-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

TRASH BIN ENC.
FLOOR PLANS &
ELEVATIONS

REVISION		
No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 1/22/19

A3.2

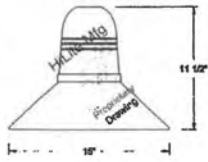


**HI-LITE MFG.
CO., INC.**

13480 Mendocino Avenue
Orono, California 95710
Telephone: (925) 462-1000
Toll Free: (800) 445-6211
Fax: (925) 462-0207
Web: www.hilite.com
E-mail: sales@hilite.com

**H-13115
Pacific Collection**

Job Name: _____
Type: _____
Quantity: _____



FRESH - Offered in anastigmatic finishes, comprised of poly-crystalized powder coat, baking enamel Baked, zinc enamel, or galvanized finishes.
Standard Finishes are: 9100 (Black), 9200 (White), 9300 (Dark Green), 9400 (Silver/Chrome), 9500 (Powder Coat Pearl), 9600 (Black Textured), 9700 (Powder Coat Pearl).

Upgraded Finishes are: 20, 65, 62, 63, 62, 64, 67, 69, 105, 103, 104, 905, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 132, 134, 135, 136, 138, 139, 140, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200.

For further details of finishes refer to color chart on pages 344-345.

MOUNTING - Cast, Stem, Arm, and Flush mounting available.

ACCESSORIES - Collar/Cast Guard and Glass, LGSS (Large Cast Guard and Glass), WGU (Wide Guard and Glass), LWGU (Large Wide Guard and Glass), ARU (Acorn Glass), LAP (Large Acorn Glass), BUSH (Bushing) and FIP (Flexible tubing for cord suspended fixture only) available.

REFLECTOR - Heavy duty, spun shade, stainless 8081-C anodized 1100-0, galvanized 22 gauge, steel 2022 gauge, copper 02040 and brass 02040 construction. Dependent on Baked.

ROCKERS/LAMPS - Available in: **Standard**

- rated 200 watt max/120 volt, medium base.
Compact Fluorescent (CFL)
- rated 13W/20W/29W watt max/120V/277 volt, G23/G24 base.

Mini Halogen
- rated 30W/70W/100W/175 watt max/120V/277 volt, medium base, 40V socket.

High Pressure Sodium (HPS)
- rated 100W/100W watt max/120V/277 volt, medium base.

Light Emitting Diode (LED)
- See LED specification sheet.

ON BOARD BALLAST OPTION (OBS) - CFL 10 - 57 watt.

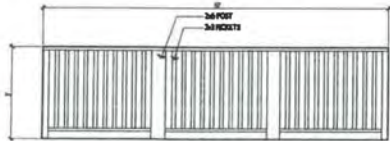


MADE IN THE U.S.A.

Substitutable for use locations.
(Except when cord protected)



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



VIEW PARKING LOT RENDERING



REAR VIEW RENDERING

**William Jordan
Design & Development**
PO Box 547
Clayton, CA 94537
(925) 872-7249

**"The Olivia on Marsh
Creek"
A 55+ Community**

PROJECT ADDRESS:
670 High St.
Clayton, CA 94537
APH: 19-021-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94537
(925) 872-7249

**RENDERINGS &
EXTERIOR LIGHTING
CUT SHEET**

REVISION

No.	Description	Date
1	DESIGN BY	1/2/19

PROJECT No.: _____
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/7/19

A4.0

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia on Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6170 High St.
 Clayton, CA 94517
 APR 19-02-063

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

MATERIAL &
 COLOR BOARD

REVISION

No.	Description	Date
1	DESIGN REV	1/22/99

PROJECT No.:
 DRAWN BY: WJZ
 CHECKED BY: WJZ
 DATE: 10/11/99

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF



RETAINING WALL

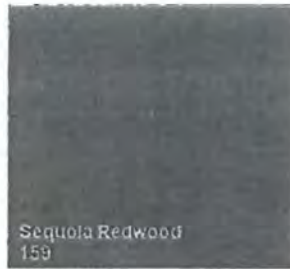
COLORS
 (KELLY MOORE PAINTS)



TRIM COLOR



TOWER WALL COLOR



WALL COLOR



WALL COLOR



ROOF COLOR



1381 SHELL LN = 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



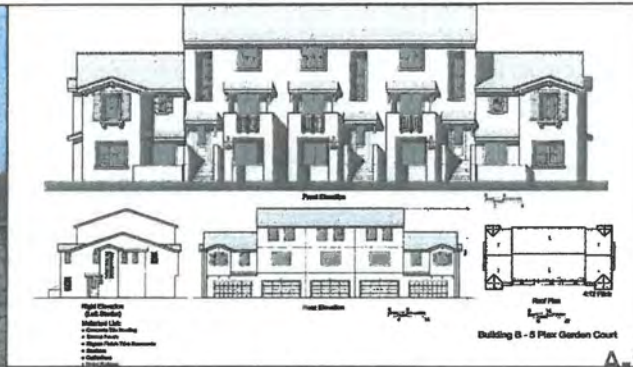
1784-1786 INDIAN WELLS WAY=32' TALL



4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94537
(925) 872-7249

"The Oliva on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
670 High St.
Clayton, CA 94537
APN: 199-021-063

OWNER:
William Jordan
PO Box 547
Clayton, CA 94537
(925) 872-7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No. 1
DRAWN BY: WJZ
CHECKED BY: WJZ
DATE: 10/12/18

A5.0

"THE OLIVIA ON MARSH CREEK" A 55+ COMMUNITY 6450 Marsh Creek Rd. Clayton, CA 94517

CONSULTANTS

Structural Engineer:
AG Schmidt
Peter Schmidt
445 Conant Rd
Concord, CA 94508
(925) 465-9120

Consultants:
John Heston
2656 Telegraph Ave, Suite A
Oakland, CA 94609
2916east91st@comcast.net
JHeston@psd.com

Civil Engineer:
Wheat and Associates Engineering
2555 Stewart Dr, #105
Concord, CA 94520
Kalecon@wheat-eng.com
Attn: Ken Alford

PD Featherlight, Landscape Architects Inc.
1703 Marsh Boulevard, Suite 390
Walnut Creek, CA 94596
NPD@pdfeatherlight.com
Attn: Michael Featherlight/Don Ho

Planning Consultants:
Fluorohelp
302 Shattuck Ave, #300
Berkeley, CA 94709
Chowell@fluorohelp.com
Attn: Corbin Kiser

Biologist:
Oshroff Environmental, Inc.
(Wildlife Regulation and Permitting)
3070 Crow Canyon Place, Suite 260
San Ramon, CA 94583
JLO@oshroff.com

Soils Engineer:
Pier Associates, Incorporated
(Geotechnical and soil) 4
2650 Nicholas Street
San Leandro, CA 94577
Pier-ESD@earthlink.net
Attn: John Pier

Water Treatment Associates
20250 Baker Road
Castro Valley, CA 94546
Sj@wta.com
Attn: Steven Thorburn

Traffic Engineer:
Kinley Hira
4157 Choked Stone Suite 300
Folsom, CA 95658
KinleyH@kinley-hira.com
Attn: Ben Hira

Light Electrical Engineering
1303 Telegraph Island Rd
West Sacramento, CA 95901
Jay@lighteng.com
Attn: Jim Loy

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines. Substantively, we want to keep going back to when we were looking at elevations. The project architect expressed ideas by using horizontal siding, heavy board siding, tall windows, pergola roof styles, gardens, heavy tiles for elevations, brick fireplaces, and colors that are meant to be reminiscent of an old Western or Viking town architecture style. The building fits within the downtown with other features of neighboring commercial development. This development will cater to adults who are ready to downsize as well as working professionals. The project will have social events and clubs. The units will have luxury features that the demographic seeks. It will draw up local buyers for the residents' children to visit or to sell to while remaining close to family and their existing social life. The project will enhance and establish a downtown that is known for struggling businesses and vacancies. A construction schedule will be forthcoming on this project for future dates.

VICINITY MAP



PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6450 Marsh Crk, Clayton
6450 Marsh Creek Rd, Clayton
6450 Marsh Creek Rd, Clayton
General Plan Designation: Middle Family High Density (P4-02)
Zoning: Planned Development (P4)
Specific Plan: Town Center Specific Plan (for 6450 High Crk. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element: 2005-2003
Applicable laws:
Clayton Municipal Code
California Density Bonus Law
Housing Necessity Act

General Info:
6700 High Crk Lot Size: 48,370 SF
6450 Marsh Creek Rd Lot Size: 42,340 SF
6450 Marsh Creek Rd Lot Size: 46,040 SF
Total number of units: 59 units
Density Bonus Law for 20% increase for 7 very low income units
Total number of units: 66
Number of units per lot:
6700 High Crk: 20 units
6450 Marsh Creek Rd: 25 units
6450 Marsh Creek Rd: 20 units
Total units: 65 units
6700 High Crk:
2 bedrooms 3 bath units: 9
1 bedroom 1 bath units: 10
See WD 1 (A)

Class units 1:
Flames rooms 1
Reception entry 1
6450 Marsh Creek Rd:
2 bedrooms 2 bath units: 13
1 bedroom 1 bath units: 13
See WD 1 (A)

Class units 1:
Flames rooms 1
Reception entry 1
6450 Marsh Creek Rd:
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 11
See WD 1 (A)

Class units 1:
Flames rooms 1
Reception entry 1
6450 Marsh Creek Rd:
2 bedrooms 2 bath units: 13
1 bedroom 1 bath units: 13
See WD 1 (A)

System Part of Building:
6700 High Crk: 1,200,000 SF
6450 Marsh Creek Rd: 27,000 SF
6450 Marsh Creek Rd: 27,000 SF
Building Height: 45 feet
Building Height via Density Bonus Law Waiver:
6700 High Crk: 37'-6"
6450 Marsh Creek Rd: 37'-6"
6450 Marsh Creek Rd: 39'-6"

Subtract via Density Bonus Law Waiver:
See Chd plans and landscape plans
Parking Bayfront:
See Chd plans and landscape plans
Lot Coverage Max: 60%
See Chd plans and landscape plans

SHEET INDEX

- A10 COVER SHEET, PROJECT INFO, & RENDERING
- A11 1st FLOOR PLAN
- A12 2nd FLOOR PLAN
- A13 3rd FLOOR PLAN
- A14 4th FLOOR PLAN
- A15 1ST AND 2ND ELEVATIONS
- A16 FRONT AND REAR ELEVATIONS
- A17 THIRD FLOOR PLAN & ELEVATIONS
- A18 COLOR RENDERINGS
- A19 MATERIALS
- A20 NEIGHBORHOOD CONTEXT

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 672-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 019-023-053

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 672-7249

COVER SHEET,
PROJECT INFO,
& RENDERING

REVISION

No.	Description	Date

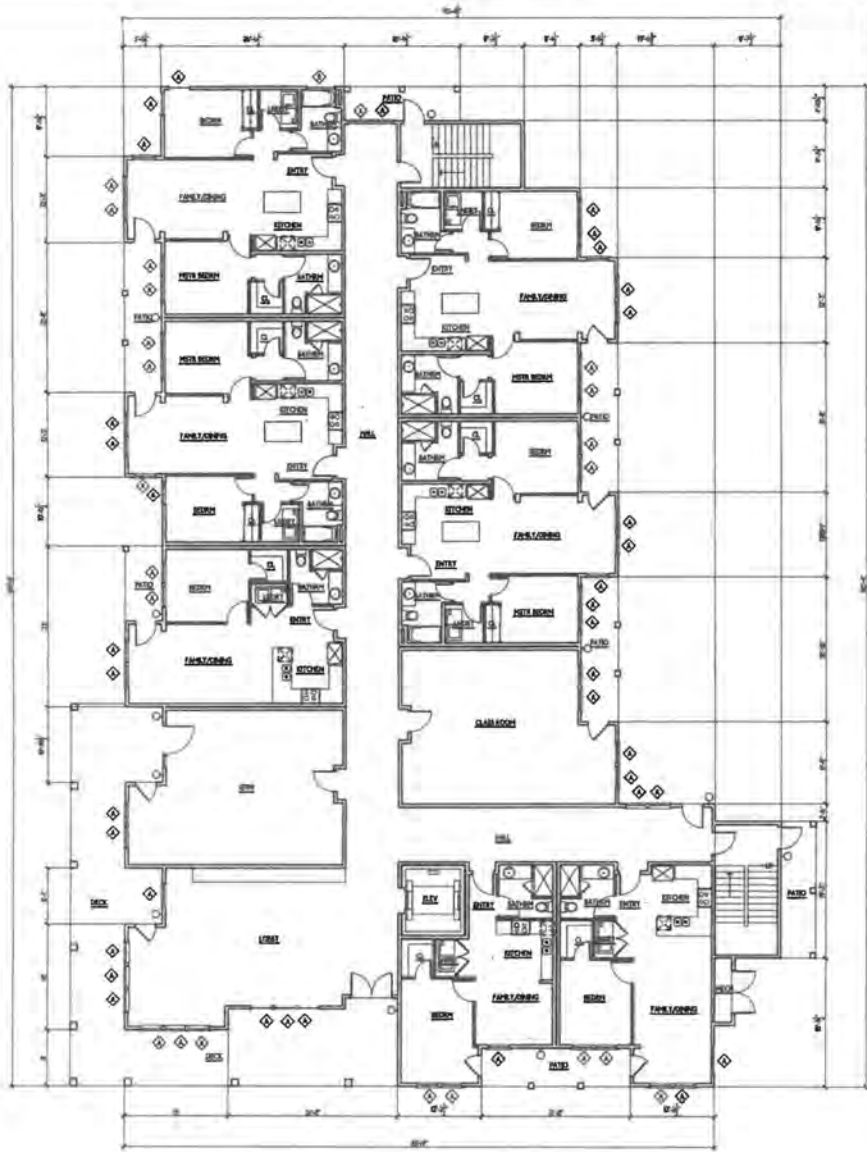
PROJECT No.:
DESIGNED BY: WFL
CHECKED BY: WFL
DATE: 10/2018

A1.0



1
VIEW FROM MARSH CREEK RD TOWER VIEW RENDERING

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.



WINDOW SCHEDULE				
SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
①	7'-0" x 6'-0"	6'-0"	DOUBLE HUNG	ON WINDOW
②	6'-0" x 6'-0"	6'-0"	AWING	2 WINDOWS
③	6'-0" x 6'-0"	6'-0"	PIED	2 WINDOWS

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

1st FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/18

A2.0

ELECTRICAL PLAN LEGEND
 NOTES: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER OR BY OTHERS AS NOTED
 SEE ALSO FOR CUT SHEET
 *and associated field office being updated 10/18/18. *If measurements of site include
 *any items noted "N/A" are not to be included in the final plan.

1st FLOOR PLAN
 1/8" = 1'-0" TOTAL SIZE 11' x 11'
 TOTAL SHEET 11' x 11'
 TRUE NORTH

William Jordan
Design & Development
PO Box 597
Cupertino, CA 94037
(925) 873-7349

"The Olive On Marsh
Creek"
A 55-Community

PROJECT ADDRESS:
10000 MARSH CREEK
CUPERTINO, CA 94037
MAP# 17A-09-055

OWNER:
William Jordan
PO Box 597
Cupertino, CA 94037
(925) 873-7349

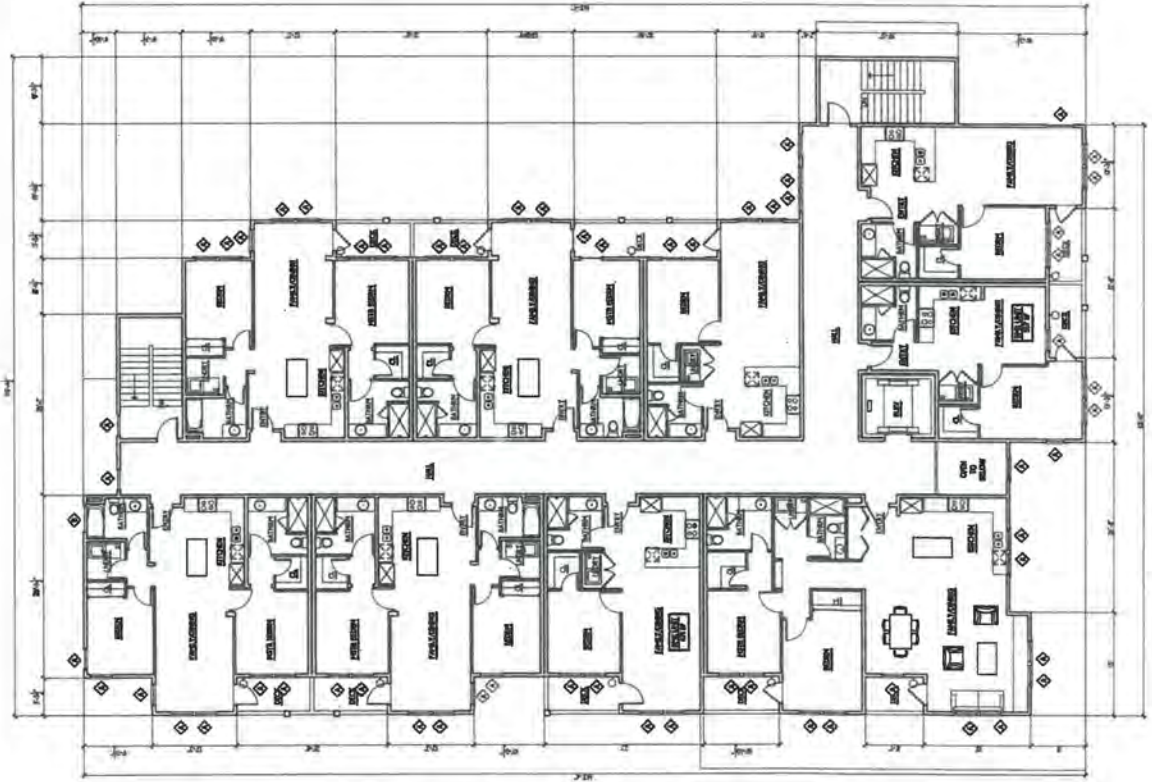
2nd FLOOR PLAN

REVISION

No.	Description	Date

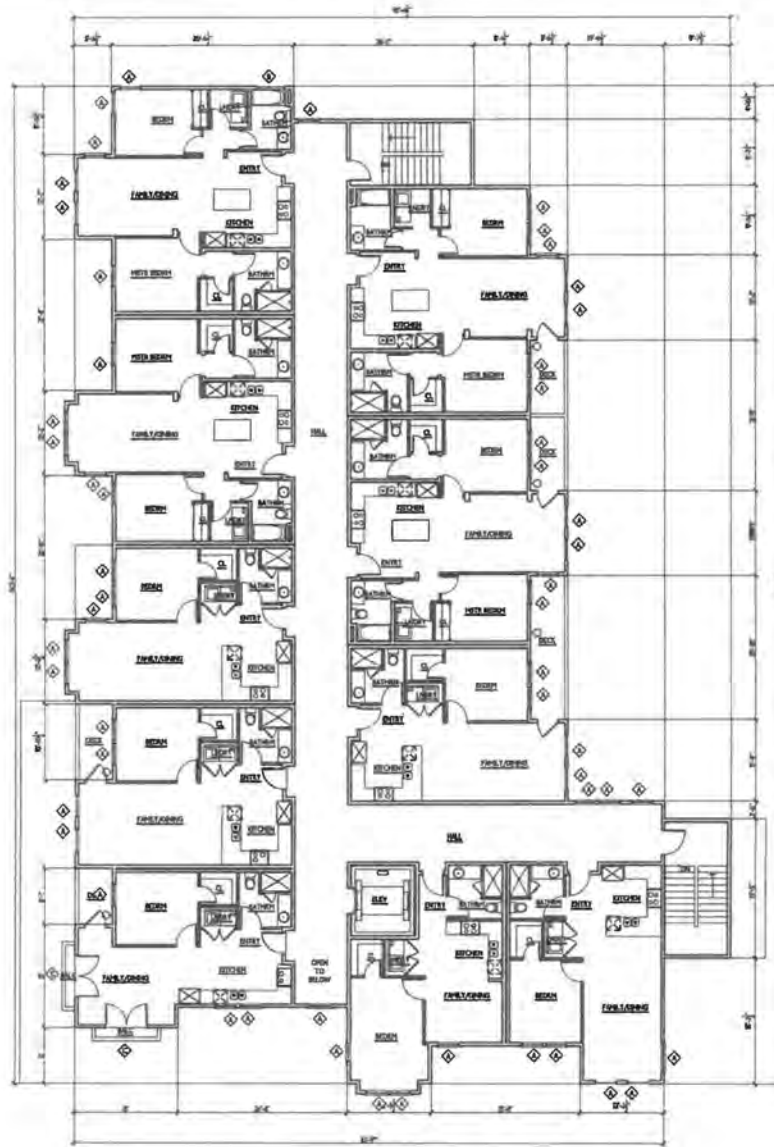
PROJECT NO.: 17A
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/27/16

A2.1



2nd FLOOR PLAN
DATE: 10/27/16
DRAWN BY: WJ

ELECTRICAL PLAN LEGEND
 THIS ELECTRICAL LEGEND IS TO BE USED IN CONJUNCTION WITH THE ELECTRICAL SYMBOLS LISTED ON THE ELECTRICAL SYMBOLS LIST.
 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
 © 2016 William Jordan Design & Development, Inc. All Rights Reserved.



ELECTRICAL PLAN LEGEND
 NOTES: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER (BASED ON THE NEW 2019 NEC AND FOR CDP SHEET)
 1. All dimensions are in feet and inches (e.g., 12'-0").
 2. All dimensions are in feet and inches (e.g., 12'-0").
 3. All dimensions are in feet and inches (e.g., 12'-0").

1 3rd FLOOR PLAN
 WJ/JL 10/14/18

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia On Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 8450 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 110-021-055

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

3rd FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
 DRAWN BY: WJ/JL
 CHECKED BY: WJ/JL
 DATE: 10/18

A2.2

William Jordan
Design & Development
PO Box 57
Clayton, CA 94527
(925) 873-7149

"The Olives On Marsh
Creek"
A 55-Community

PROJECT ADDRESS:
6480 Marsh Creek Rd.
Clayton, CA 94527
APN: 174-021-055

OWNER:
William Jordan
PO Box 57
Clayton, CA 94527
(925) 873-7149

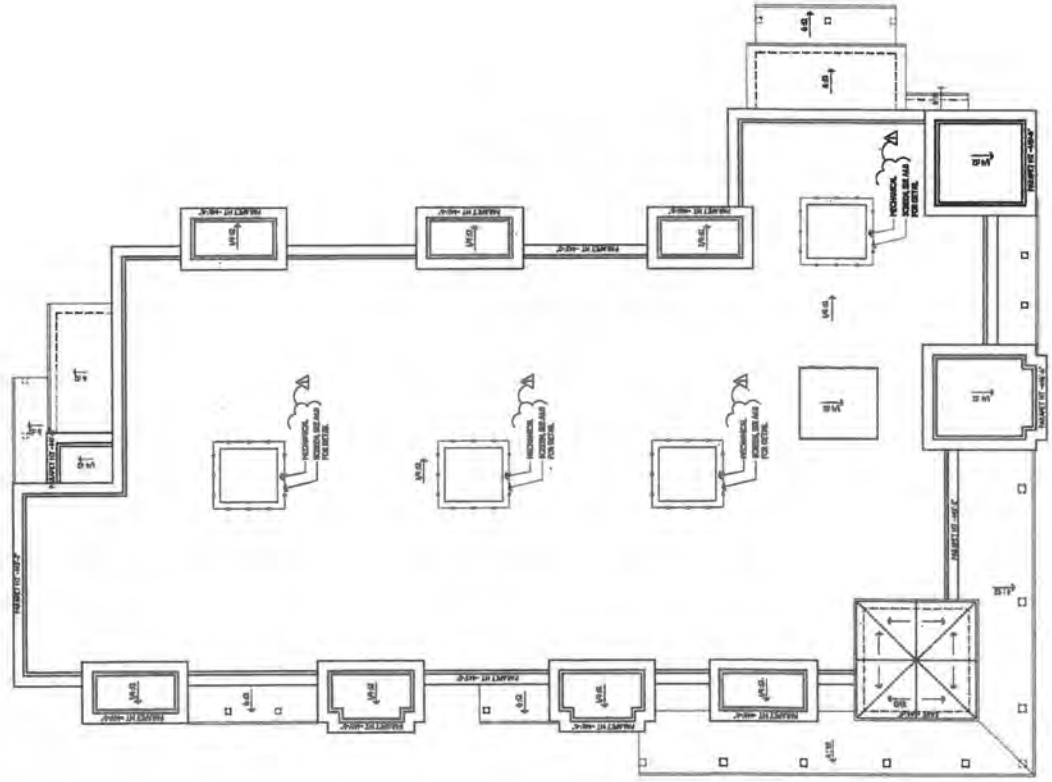
ROOF PLAN

REVISION

No.	Description	Date

PROJECT No.:
DESIGN No.:
CHECKOUT No.:
DATE:

A23



ROOF PLAN
1/8" = 1'-0"



REAR (SOUTH) ELEVATION



LEFT (EAST) ELEVATION

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-053

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/7/18

A3.0

William Jordan
Design & Development
PO Box 347
Clayton, CA 94527
(925) 872-7249

"The Oaks On Marsh
Creek"
A 55-Community

PROJECT ADDRESS:
660 Marsh Creek Rd
Clayton, CA 94527
APN: 19A-02-055

OWNER:
William Jordan
PO Box 347
Clayton, CA 94527
(925) 872-7249

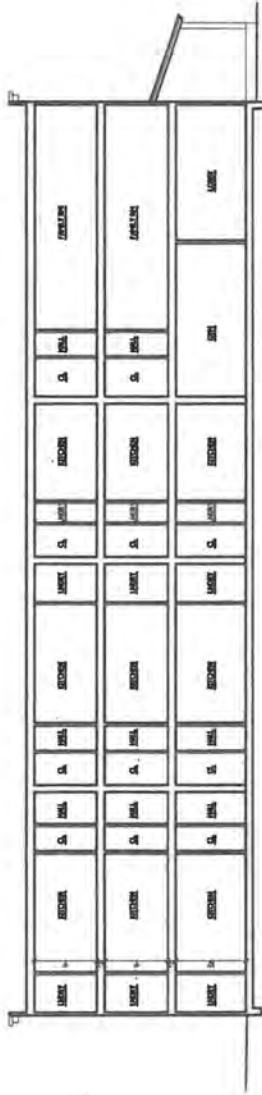
FRONT (SOUTH,
RIGHT (EAST)
ELEVATIONS &
SECTION

REVISION

No.	Description	Date

PROJECT No.: WJ
DRAWING No.: 917
CHECKED BY:
DATE: 10/7/18

A3.1



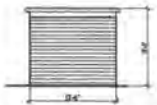
SECTION
1-1



RIGHT (WEST) ELEVATION
1-1

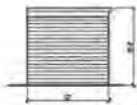


FRONT (NORTH) ELEVATION
1-1



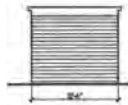
3 BIN TRASH ENCLOSURE
LEFT ELEVATION

1
A33 1/8" x 1/4"



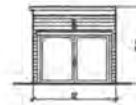
3 BIN TRASH ENCLOSURE
REAR ELEVATION

1
A33 1/8" x 1/4"



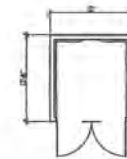
3 BIN TRASH ENCLOSURE
RIGHT ELEVATION

1
A33 1/8" x 1/4"



3 BIN TRASH ENCLOSURE
FRONT ELEVATION

1
A33 1/8" x 1/4"



3 BIN TRASH ENCLOSURE
FLOOR PLAN

1
A33 1/8" x 1/4"

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 199-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

TRASH BIN ENC.
FLOOR PLANS &
ELEVATIONS

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 08/18

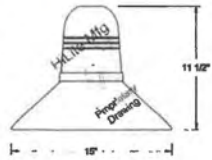
A3.2



H-13115
Pacific Collection

Job Name: _____
 Type: _____
 Quantity: _____

12400 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-8999
 Toll Free: (800) 465-0311
 Fax: (909) 465-0997
 web: www.hilite.com
 e-mail: sales@hilite.com



FINISH - Offered in exceptional finishes, comprised of poly-epoxy/epoxide powder coat, baking essential liquid, raw metal, or galvanized finishes.

Standard Finishes are: 01(Bk), 02(Wht), 03(Grn), 04(Blk), 05(Chk Green), 06(Whk/Green), 07(Chk Blue), 08(Whk/Blue), 09(Chk Red), 10(Whk/Red), 11(Chk Yellow), 12(Whk/Yellow), 13(Chk Orange), 14(Whk/Orange), 15(Chk Purple), 16(Whk/Purple), 17(Chk Silver), 18(Chk Gold), 19(Chk Bronze), 20(Chk Copper), 21(Chk Nickel), 22(Chk Chrome), 23(Chk Aluminum), 24(Chk Steel), 25(Chk Cast Iron), 26(Chk Cast Steel), 27(Chk Cast Aluminum), 28(Chk Cast Brass), 29(Chk Cast Copper), 30(Chk Cast Iron), 31(Chk Cast Steel), 32(Chk Cast Aluminum), 33(Chk Cast Brass), 34(Chk Cast Copper), 35(Chk Cast Iron), 36(Chk Cast Steel), 37(Chk Cast Aluminum), 38(Chk Cast Brass), 39(Chk Cast Copper), 40(Chk Cast Iron), 41(Chk Cast Steel), 42(Chk Cast Aluminum), 43(Chk Cast Brass), 44(Chk Cast Copper), 45(Chk Cast Iron), 46(Chk Cast Steel), 47(Chk Cast Aluminum), 48(Chk Cast Brass), 49(Chk Cast Copper), 50(Chk Cast Iron), 51(Chk Cast Steel), 52(Chk Cast Aluminum), 53(Chk Cast Brass), 54(Chk Cast Copper), 55(Chk Cast Iron), 56(Chk Cast Steel), 57(Chk Cast Aluminum), 58(Chk Cast Brass), 59(Chk Cast Copper), 60(Chk Cast Iron), 61(Chk Cast Steel), 62(Chk Cast Aluminum), 63(Chk Cast Brass), 64(Chk Cast Copper), 65(Chk Cast Iron), 66(Chk Cast Steel), 67(Chk Cast Aluminum), 68(Chk Cast Brass), 69(Chk Cast Copper), 70(Chk Cast Iron), 71(Chk Cast Steel), 72(Chk Cast Aluminum), 73(Chk Cast Brass), 74(Chk Cast Copper), 75(Chk Cast Iron), 76(Chk Cast Steel), 77(Chk Cast Aluminum), 78(Chk Cast Brass), 79(Chk Cast Copper), 80(Chk Cast Iron), 81(Chk Cast Steel), 82(Chk Cast Aluminum), 83(Chk Cast Brass), 84(Chk Cast Copper), 85(Chk Cast Iron), 86(Chk Cast Steel), 87(Chk Cast Aluminum), 88(Chk Cast Brass), 89(Chk Cast Copper), 90(Chk Cast Iron), 91(Chk Cast Steel), 92(Chk Cast Aluminum), 93(Chk Cast Brass), 94(Chk Cast Copper), 95(Chk Cast Iron), 96(Chk Cast Steel), 97(Chk Cast Aluminum), 98(Chk Cast Brass), 99(Chk Cast Copper), 100(Chk Cast Iron).

Updated Finishes are: 20, 46, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

For Interior Finish of fixture refer to color chart on page 244-245.

MOUNTING - Cast, Stem, Arm, and Flush mounting available.

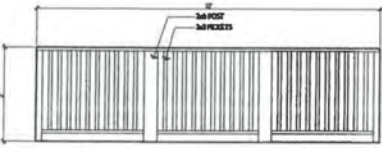
ACCESSORIES - Cast Guard and Glass, Large Cast Guard and Glass, WOOD/White Guard and Glass, LINGO/Large White Guard and Glass, ARN/Arms Globe, LAR/Large Arms Globe, BR/Black Globe and F20/Black tubing for cord (available where only available).

MADE IN THE U.S.A.

Subdue for wet location.
(Except when cast mounted)



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



VIEW FROM MARSH CREEK RENDERING



REAR VIEW RENDERING

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olive On Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6490 Marsh Creek Rd.
 Clayton, CA 94517
 A/E: 119-025-055

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

RENDERINGS &
 EXTERIOR LIGHTING
 CUT SHEET

REVISION

No.	Description	Date

PROJECT No.: _____
 DRAWN BY: WPL
 CHECKED BY: WPL
 DATE: 10/11/18

A4.0

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

COLORS
(KELLY MOORE PAINTS)



Apple Hill
WALL COLOR



Gray Spell
KM4968
WALL COLOR



Sequoia Redwood
153
TOWER WALL COLOR



Sausalito Ridge
KM5800
TRIM COLOR

Whitest White
KMW43
WALL COLOR



TERRA-COTTA
METAL ROOF COLOR



NATIONAL BLUE
SHINGLE ROOF COLOR



RETAINING WALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**MATERIAL &
COLOR BOARD**

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/7/18

A4.1



1381 SHELL LN = 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



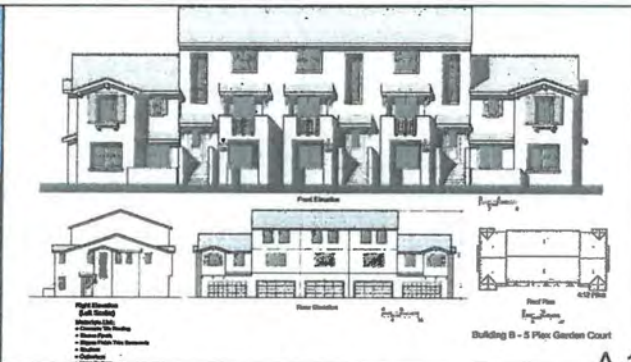
1784-1786 INDIAN WELLS WAY=32' TALL



4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD= 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94537
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94537
APN: 199-021-053

OWNER:
William Jordan
P.O.Box 547
Clayton, CA 94537
(925) 872-7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/7/18

A5.0

"THE OLIVIA ON MARSH CREEK"

A 55+ COMMUNITY

6490 Marsh Creek Rd. Clayton, CA 94517

CONSULTANTS

Structural Engineer:
A22 Schubert
Peter Schubert
495 Cornell Rd
Concord, CA 94520
(925) 884-9320

Consultant:
John Houston
2666 Telegraph Ave, Suite A
Oakland, CA 94609
jhoustan@earthlink.net
JohnHouston@aol.com
Attorn: John Houston/Lisa Plunkford

Civil Engineer:
H&M and Associates Engineering
2565 Stewart Dr. #253
Concord, CA 94520
kalford@h&m-eng.com
Attorn: Ken Alford

MEP/Plumbing, Landscape Architects Inc.:
1701 North Broadway, Suite 300
Walnut Creek, CA 94596
MEP@plumbing.com
Attorn: Michael Folger/houston@h&m

Planning Consultant:
Harclos
1625 Shattuck Ave. #200
Berkeley, CA 94709
Cheryl@harclos.com
Attorn: Charita Knox

Biologist:
Clearing Environmental, Inc.
(Wetland Regulation and Permitting)
370 Cross Canyon Plaza, Suite 260
San Ramon, CA 94583
Jeff@clearingenv.com

Soils Engineer:
Pier Associates, Incorporated
(Soillogist and soil) #
2510 Nicholas Street
San Leandro, CA 94577
PierCSO@gmail.com
Attorn: John Pier

Notes:
Thompson Associates
20200 Baker Road
Castro Valley, CA 94546
3p@thompson.com
Attorn: Steven Thompson

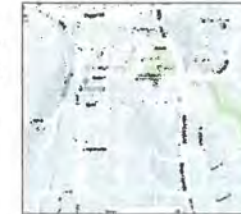
Traffic Engineer:
Kendley Hahn
4637 Chalk Hill Drive Suite 300
Pleasanton, CA 94588
Sam.hahn@kendley.com
Attorn: Sam Hahn

Up Light Electrical Engineering:
3231 Hutchell Blvd #1
West Sacramento, CA 95691
jeff@uplight.com
Attorn: Jeff Leary

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines. Individuality was a word we kept going back to when we were looking at elements. The project architect expressed this by using horizontal siding, heavy board siding, tall windows, parapet roof styles, porches, heavy sills for windows, brick features, and colors that are reminiscent of an old Western or Midway town architecture style. The buildings fit within the downtown with similar features of neighboring commercial development. The development will cater to adults who are ready to downsize to well-appointed professionals. The project will have retail, events and clubs. The units will have luxury features that fit demographic needs. It will focus up local homes for the resident's children to rent or to sell to while remaining close to family and their existing social life. The project will enhance and revitalize a downtown that is known for struggling businesses and vacancies. A construction covenant will be forthcoming on this project for future sales.

VICINITY MAP



PROJECT INFO

Project: "The Olivia on Marsh Creek"

Address:
6490 Marsh Crk, Clayton
6490 Marsh Creek Rd, Clayton
6490 Marsh Creek Rd, Clayton
General Plan Designation: Multi-Family High Density (P45)
Zoning Planned Development (P2)
General Plan Code Specific Plan (for 60' High St. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element 200-2023
Applicable:
Clayton Handbook Code
California Density Bonus Law
Housing Accessibility Act

General Info:
60' High St Lot Size: 43,378 SF
6490 Marsh Creek Rd Lot Size: 43,378 SF
6490 Marsh Creek Rd Lot Size: 43,378 SF
Base number of units: 89 units
Density Bonus Law for 25% increase for 7 very low income units
Total Number of units: 96
Number of units per lot:
60' High St: 20 units
6490 Marsh Creek Rd: 20 units
6490 Marsh Creek Rd: 20 units
6490 High St:
2 bed/rooms 2 bath units: 9
1 bedroom 1 bath units: 3
See V02.1/L
12/2

Class room 1:
Plasma room: 1
Reception entry: 1
6490 Marsh Creek Rd:
1 bedroom 2 bath units: 15
1 bedroom 1 bath units: 13
See V02.1/L
12/2

Class room 1:
Plasma room: 1
Reception entry: 1
6490 Marsh Creek Rd:
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 11
See V02.1/L
12/2

Class room 1:
Plasma room: 1
Reception entry: 1
6490 Marsh Creek Rd:
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 11
See V02.1/L
12/2

Square Feet of Buildings:
60' High St: 27,000 SF
6490 Marsh Creek Rd: 27,000 SF
6490 Marsh Creek Rd: 27,000 SF
Building Height: 40 feet
Building Height: 40 feet
60' High St: 20'-0"
6490 Marsh Creek Rd: 27'-6"
6490 Marsh Creek Rd: 27'-6"

Attach to the Density Bonus Law Waiver:
See Civil, plans and landscape plans

Permitting Required:
See Civil, plans and landscape plans

Let Coverage Plan 605:
Let Coverage
See Civil, plans and landscape plans

Let Coverage:
See Civil, plans and landscape plans

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 199-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**COVER SHEET,
PROJECT INFO,
& RENDERING**

REVISION

No.	Description	Date
1	DESIGN KEY	12/3/18

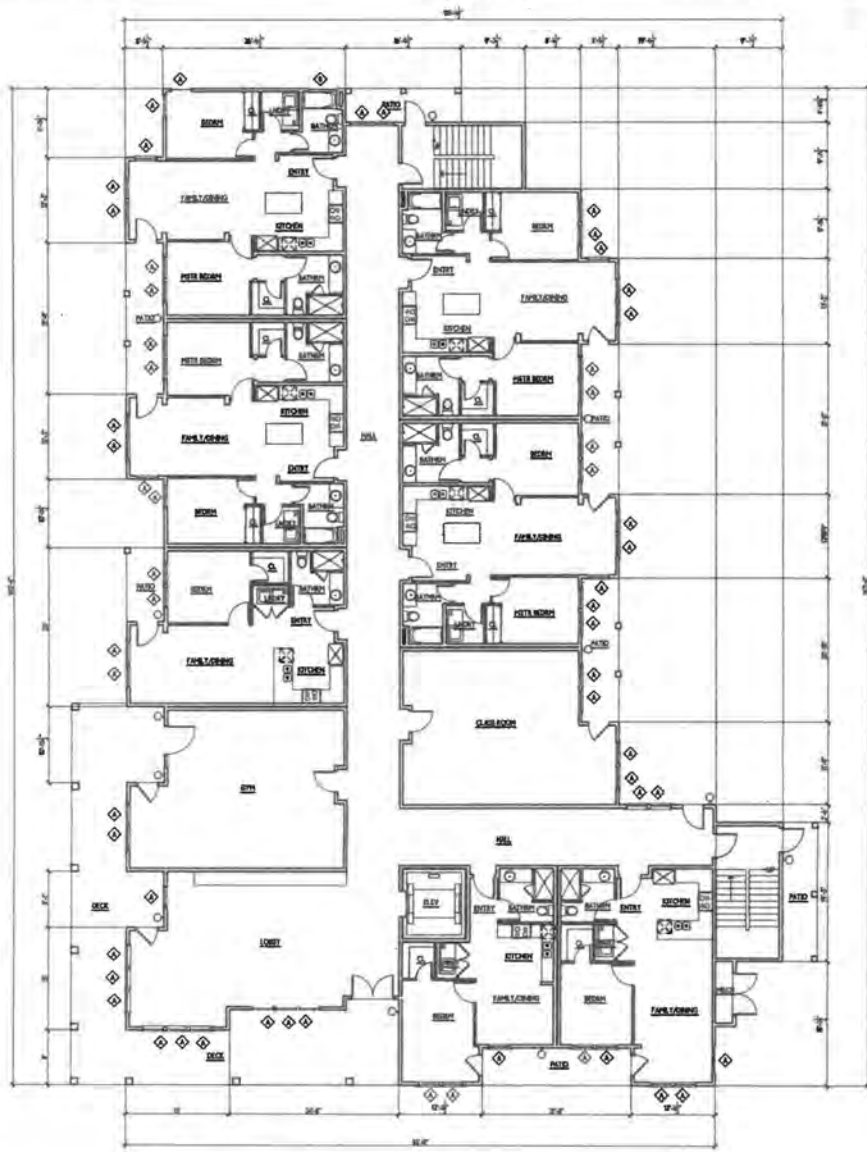
PROJECT No.:
DRAWN BY: WJL
CHECKED BY: WJL
DATE: 12/11/18

A1.0



VIEW FROM MARSH CREEK RD TOWER VIEW RENDERING

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.



WINDOW SCHEDULE			
SEE TRICAL CONSTRUCTION NOTES FOR ASSISTANCE WINDOW INFORMATION			
TAG	SIZE W x H	HD. HT.	REMARKS
◇	3'-0" x 4'-0"	8'-0"	BRICK FRAME 01 WINDOWS
◇	4'-0" x 4'-0"	8'-0"	BRICK FRAME 1 WINDOWS
◇	4'-0" x 4'-0"	8'-0"	WOOD 1 WINDOWS

William Jordan
Design & Development
PO Box 547
Clayton, CA 94537
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94537
APN: 09-021-003

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94537
(925) 872-7249

1st FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No. _____
DRAWN BY: WJF
CHECKED BY: WJF
DATE: 12/1/18

A2.0

ELECTRICAL PLAN LEGEND
NOTE: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER OR LSCS OR AS NOTED
SEE ALSO FOR CDS 91627
1. All work installed by a registered electrical contractor (R.E.C.) in accordance with the National Electrical Code (NEC) and applicable local codes.
2. All work installed by a registered electrical contractor (R.E.C.) in accordance with the National Electrical Code (NEC) and applicable local codes.



William Jordan
Design & Development
PO Box 577
Clayton, CA 94527
(925) 875-2416

"The Olive On
North Creek"
A 55+ Community

PROJECT ADDRESS:
500 Peachland Blvd
Clayton, CA 94527
APN: 19A020-003

OWNER:
William Jordan
PO Box 577
Clayton, CA 94527
(925) 875-2416

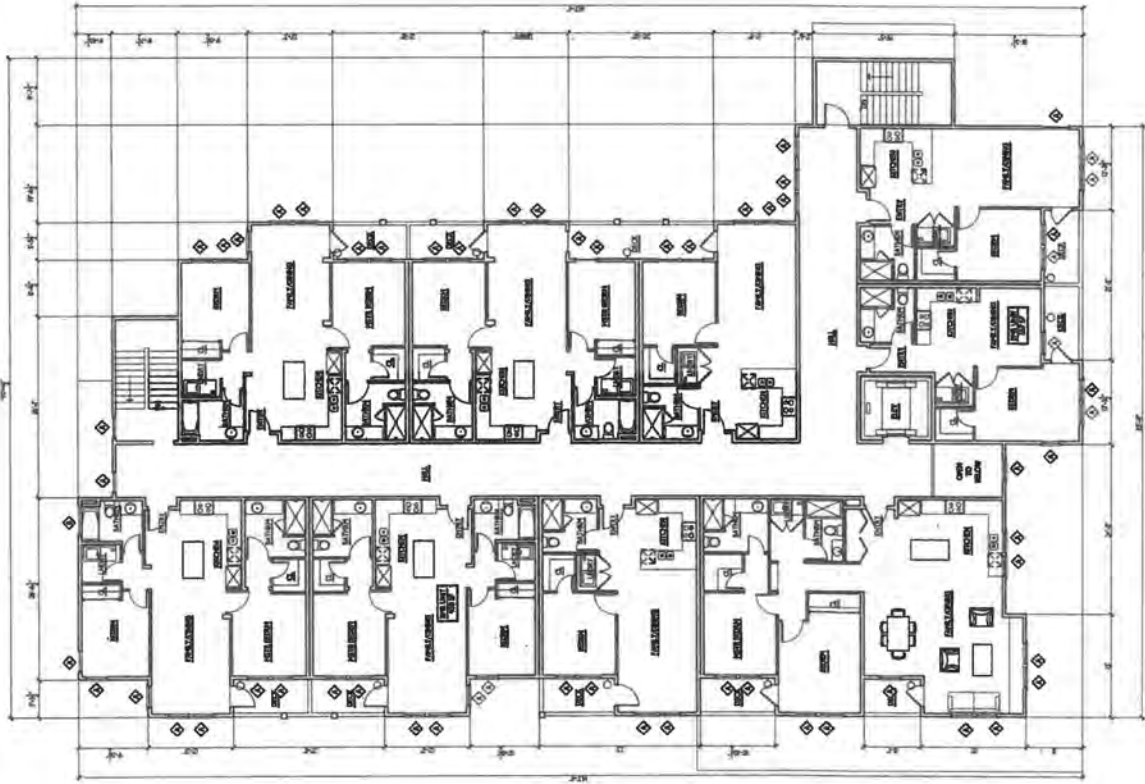
2nd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGNKEY	01/08

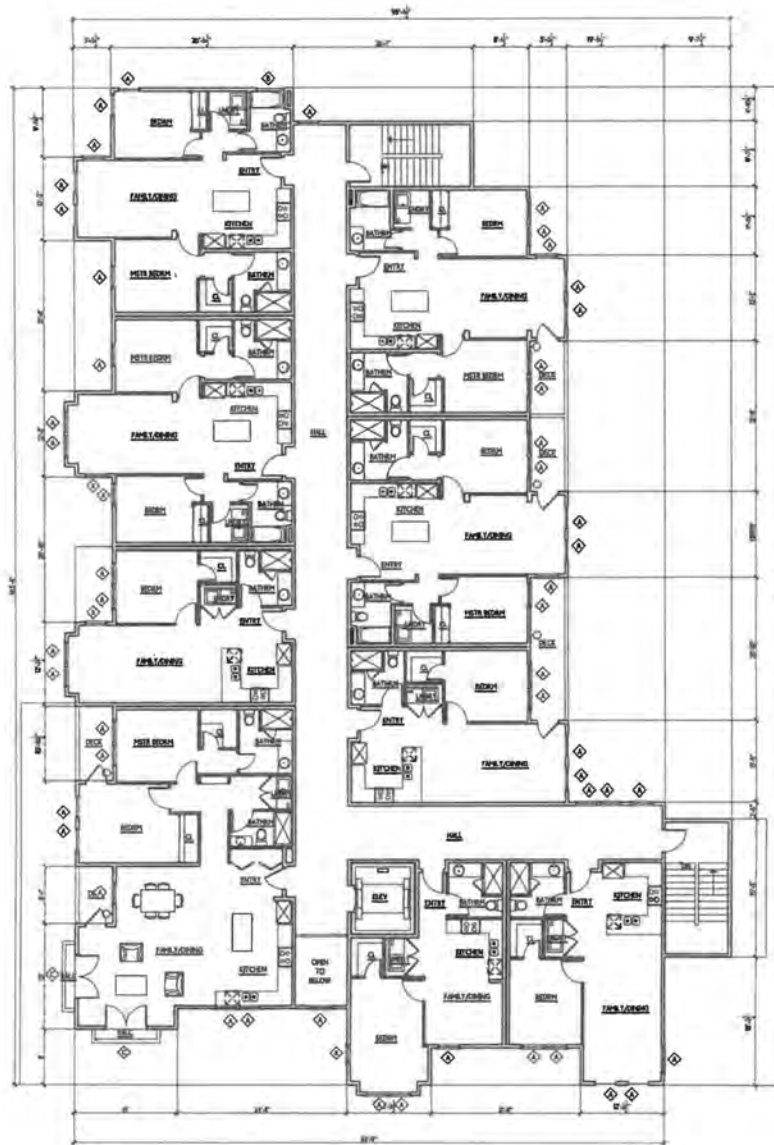
PROJECT No.:
DRAWING No.: 0177
CHECKED BY: WJL
DATE: 01/08

A2.1



2nd FLOOR PLAN
1" = 16'-0"

ELECTRICAL PLAN LEGEND
 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 CALIFORNIA ELECTRICAL CODE AND THE 2008 CALIFORNIA MECHANICAL CODE.
 ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE 2008 CALIFORNIA MECHANICAL CODE.



ELECTRICAL PLAN LEGEND

NOTE: ELECTRICAL SYMBOLS TO BE LOCATED BY OWNER (CHECK OFFSHORE NOTES FOR ALL POWER OUTLETS)
 * and * symbol (light fixture being typical symbol), * is * placement of site cabinet
 * * symbol used, * is * symbol (indicate owner control)



William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia On
 Marsh Creek"
 A 55+ Community

PROJECT ADDRESS:
 6490 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 199-021-013

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872 7249

3rd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/2/08

PROJECT No.:
 DRAWN BY: WJ
 CHECKED BY: WJ
 DATE: 10/7/10

A2.2

William Jordan
Design & Development
PO Box 507
Covina, CA 91737
(951) 873-7249

"The Oaks On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
560 Perry, Chula
Vista, CA 92017
APN: 19-031-033

OWNER:
William Jordan
PO Box 507
Covina, CA 91737
(951) 873-7249

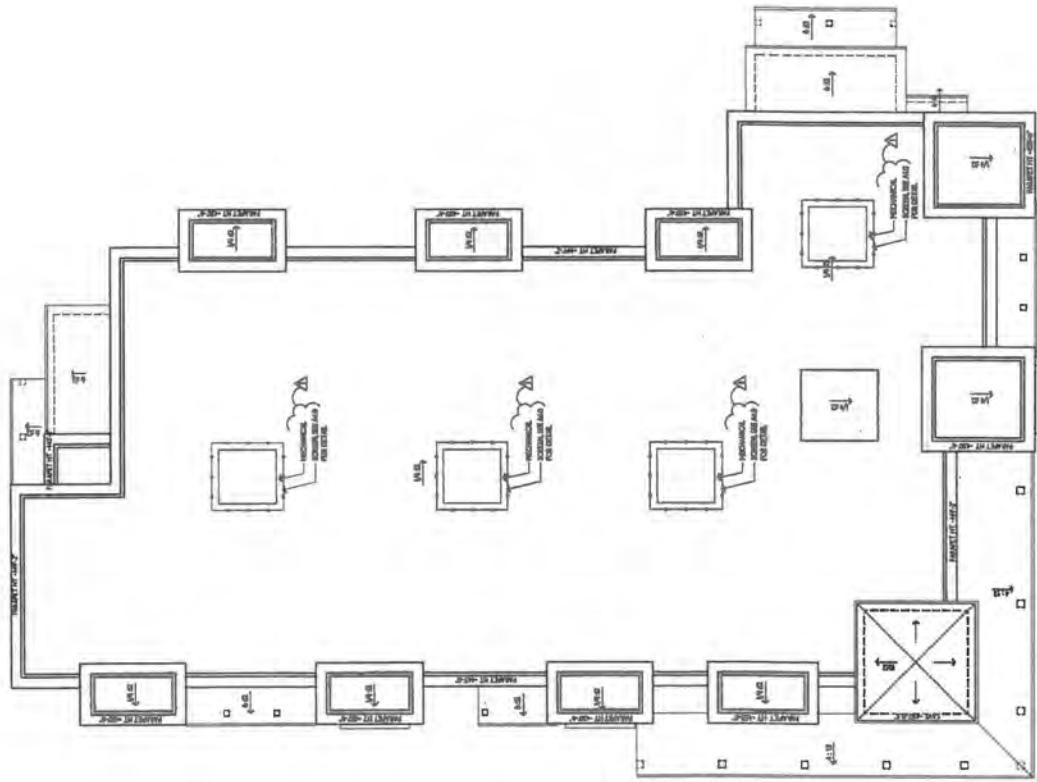
ROOF PLAN

REVISION

No.	Description	Date
1	ISSUED FOR PERMITS	1/1/98

PROJECT No.:
DRAWN BY: WJL
CHECKED BY: WJL
DATE: 1/1/98

A2.3



ROOF PLAN
1/1/98
WILLIAM JORDAN DESIGN & DEVELOPMENT



REAR (SOUTH) ELEVATION
1/2" = 1'-0"



LEFT (EAST) ELEVATION
1/2" = 1'-0"

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date
1	DESIGN REV	10/24/18

PROJECT No.:
DRAWN BY: WJZ
CHECKED BY: WJZ
DATE: 10/18/18

A3.0

William Jordan
Design & Development
PO Box 497
Cajon, CA 94027
(925) 872-7491

"The Oaks On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
600 Perryville Road
Cajon, CA 94027
APN: 19-021-003

OWNER:
William Jordan
P.O. Box 507
Cajon, CA 94027
(925) 872-7491

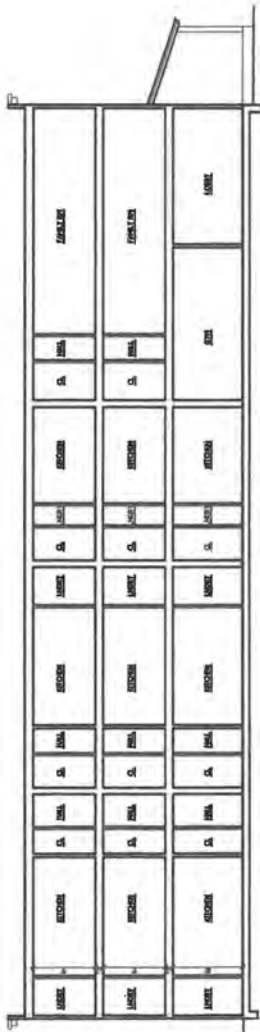
FRONT SOUTH
RIGHT (EAST)
ELEVATIONS &
SECTION

REVISION

No.	Description	Date
1	ISSUED FOR PERMITS	02/08

PROJECT No. 197
DRAWING BY: 197
CHECKED BY: 197
DATE: 02/08

A3.1



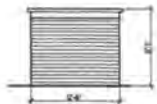
SECTION
1-1



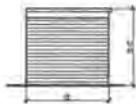
RIGHT (WEST) ELEVATION
1-1



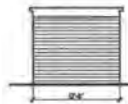
FRONT (NORTH) ELEVATION
1-1



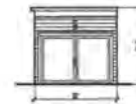
3 BIN TRASH ENCLOSURE
LEFT ELEVATION
A3.2 WFF



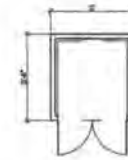
3 BIN TRASH ENCLOSURE
REAR ELEVATION
A3.2 WFF



3 BIN TRASH ENCLOSURE
RIGHT ELEVATION
A3.2 WFF



3 BIN TRASH ENCLOSURE
FRONT ELEVATION
A3.2 WFF



3 BIN TRASH ENCLOSURE
FLOOR PLAN
A3.2 WFF

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APR: 19-02-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

TRASH BIN ENC.
FLOOR PLANS &
ELEVATIONS

REVISION

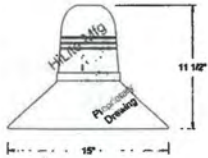
No.	Description	Date
1	DESIGN REV	12/4/18

PROJECT No.:
DRAWN BY: WFF
CHECKED BY: WFF
DATE: 12/7/18

A3.2

H
HI-LITE MFG.
CO., INC.
 13428 Monte Vista Avenue
 Chino, California 91710
 Telephone (909) 488-1000
 Toll Free (800) 488-0211
 Fax (909) 488-0207
 web: www.hilite.com
 e-mail: sales@hilite.com

H-13115
Pacific Collection



Job Name: _____
 Type: _____
 Quantity: _____

FRESH - Offered in exceptional finishes, comprised of polyethylene-dichloro powder coat, baking reserved by Al, zinc metal, or galvanized tubular.

Standard Finishes are: 01(Gloss), 02(White), 03(Dark Green), 04(Chestnut), 05(Powder Coat Blue), 06(Black Tubular), 07(Black Tubular).

Updated Finishes are: 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

For interior finish of tubular refer to color chart on page 344-348.

ACCENTURES - Cord, Glass, Aris, and Flank mounting available.

ACCESSORIES - CCR(Cord Guard and Glass), LGG(Large Cord Guard and Glass), WGG(Mid Cord and Glass), LMG(Large Mid Cord and Glass), AR(Arises Glass), LAR(Large Arise Glass), G(Dichloro Tubular) and F(F) Tubular tubing for cord mounted tubular only available.

REFLECTOR - Heavy duty open shade, aluminum 02E1-0 under 1100-0, galvanized 22 gauge, steel 02E2 gauge, copper 02E3 and brass 02E4 construction. Dependent on tubular.

SOCKET/SLAMPS - Available in: Incandescent

- rated 250 watt max/100 watt, medium base, Compact Fluorescent(CFL)

- rated 150/100/75 watt max/100/75 watt, E26/E27 base.

Incandescent

- rated 200/100/75 watt max/100/75 watt, medium base, CFL

- rated 100/75/50 watt max/75/50 watt, medium base, CFL

High Pressure Sodium(HPS)

- rated 100/75/50 watt max/75/50 watt, medium base, LED

- other LED specifications sheet.

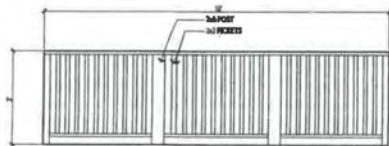
ON BOARD BALLAST OPTION(OM) - CFL 13 - 57 watt.



VIEW FROM MARSH CREEK RD RENDERING



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



REAR VIEW RENDERING

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94507
 (925) 872-7249

"The Olivia On
 Marsh Creek"
 A 55+ Community

PROJECT ADDRESS:
 6490 Marsh Creek Rd.
 Clayton, CA 94507
 APN: 87-014-013

OWNER:
 William Jordan
 P.O.Box 547
 Clayton, CA 94507
 (925) 872-7249

RENDERINGS &
 EXTERIOR LIGHTING
 CUT SHEET

REVISION

No.	Description	Date
1	DESIGN REV	02/08

PROJECT No.: _____
 DRAWN BY: WJ
 CHECKED BY: WJ
 DATE: 02/08

A4.0

William Jordan
Design & Development
PO Box 517
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 199-021-013

OWNER:
William Jordan
P.O. Box 517
Clayton, CA 94517
(925) 872 7249

**MATERIAL &
COLOR BOARD**

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/7/19

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

**COLORS
(KELLY MOORE & BENJAMIN MOORE PAINTS)**



WALL COLOR



WALL COLOR



TOWER WALL COLOR



TRIM COLOR



ZINC GREY
METAL ROOF COLOR



DUAL GREY
SHINGLE ROOF COLOR



RETAINING WALL



1381 SHELL LN= 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



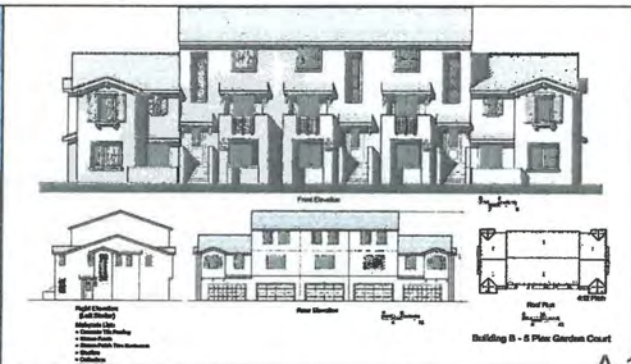
1784-1786 INDIAN WELLS WAY=32' TALL



4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
AP# 19-03-013

OWNER:
William Jordan
P.O.Box 547
Clayton, CA 94517
(925) 872 7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date
1	DESIGN REV	12/5/18

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/1/19

A5.0

SITE 1

The Olivia on Marsh Creek

6170 High Street
Clayton, CA 94517



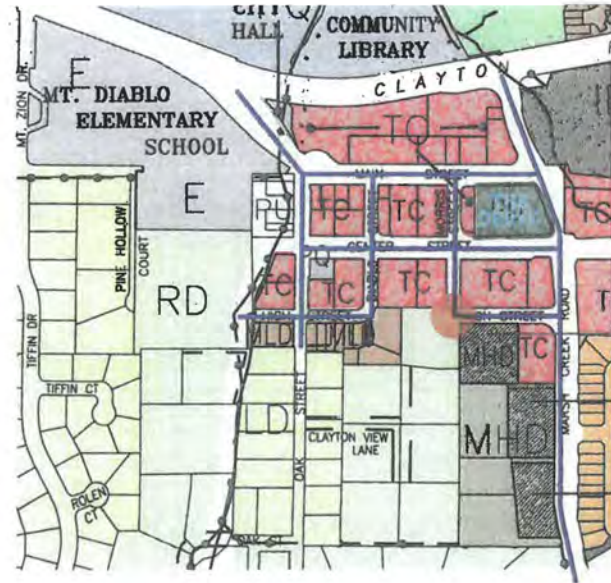
SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek



SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

-  BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
-  PROPOSED PROJECT



CONNECTIVITY DIAGRAM

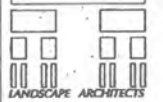
-  PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
-  NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



1750 North Broadway, Suite 200
Folsom, CA 95630
Telephone: 916-997-0200
Fax: 916-997-0204
www.mdfatheringham.com

Landscape Design



Consultant

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 1
6170 High Street
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

**CONTEXT
PLAN**

Preliminary Design Submitted 02

Scale
As Shown on Plan

Designed by

MDP

Drawn by

BUV/MCF

Checked by

MDP

Revised

Sheet Date: JUNE 1, 2018

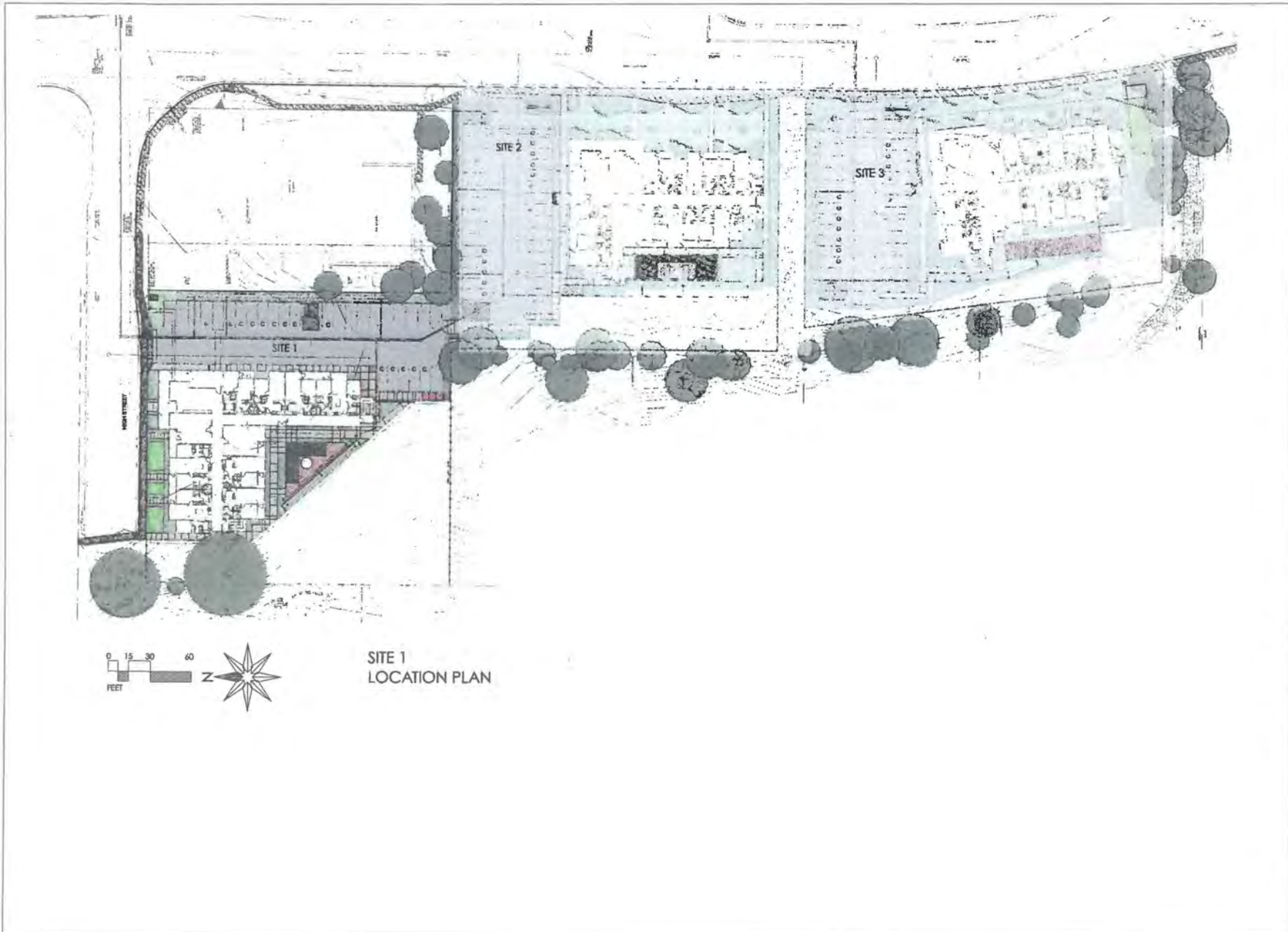
Issue Date: OCTOBER 2, 2019

Project Number

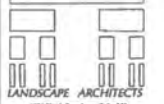
1207

Sheet Number

L-1



M. D. FOTHERINGHAM



1900 North Broadway, Suite 300
 Walnut Creek, CA 94597
 Telephone: 925-939-6392
 Email: mdf@mdfdesign.com



Contractor

Project
THE OLIVIA ON MARSH CREEK

Clayton, CA
SITE 1
 6170 High Street
 Clayton, CA 94517

Client
 William P. Jordan Trust

Sheet Title

**SITE 1
 LOCATION
 PLAN**

Preliminary Design Submittal #2

Scale
 As Shown on Plan

Designed by
 MCF

Drawn by
 MVS/MCF

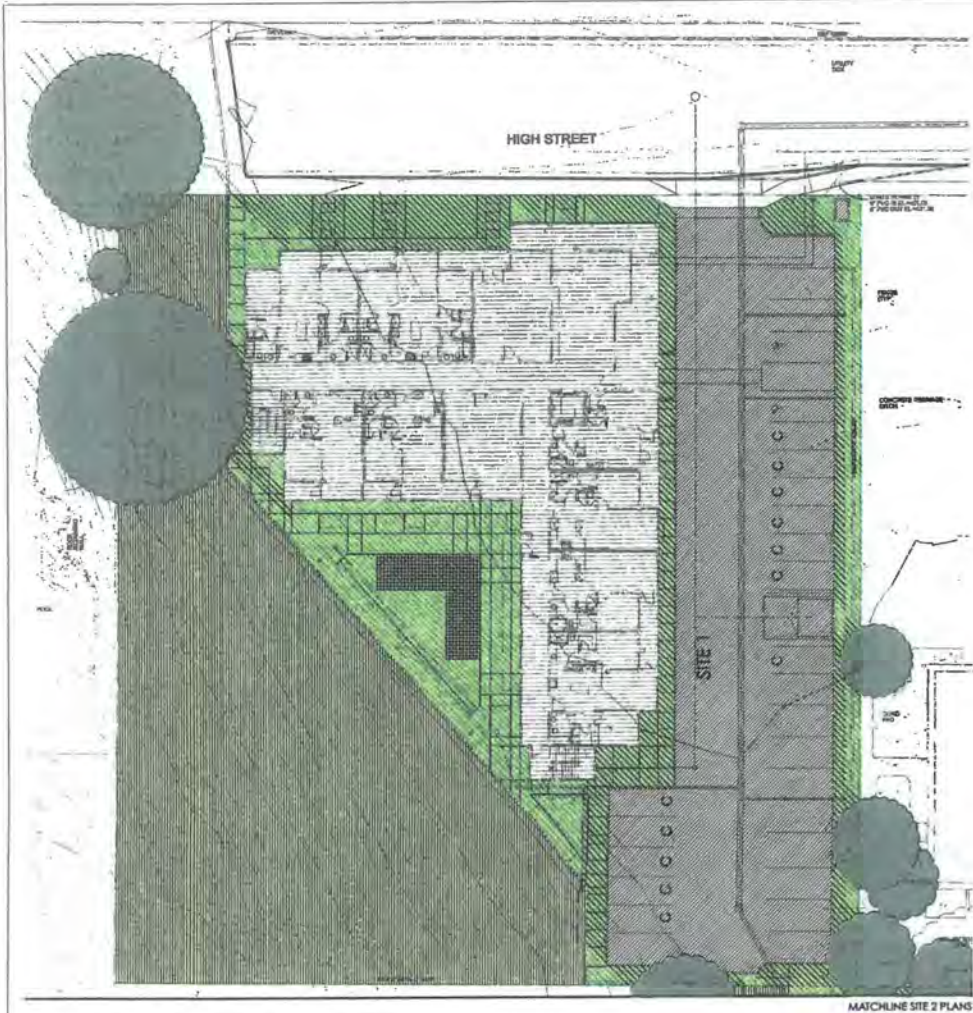
Checked by
 MCF

Revisions

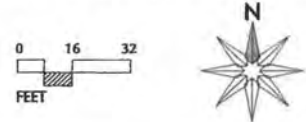
Sheet Date: **JUNE 1, 2015**
 Issue Date: **OCTOBER 7, 2015**

Project Number
1707

Sheet Number



**SITE 1
OPEN SPACES PLAN VIEW**



- SITE 1 LAND ACCOUNT**
-  BUILDING FOOTPRINT: 11,659 SF
 -  PARKING/UTILITY PAVEMENT: 10,721 SF
 -  ACTIVE OPEN SPACE: 9,716 SF
 -  PASSIVE OPEN SPACE/SLOPE AREA: 16,282 SF

TOTAL: 48,378 SF

17.20.150 Item C
 Minimum Landscape Area Required = 20% of 48,378 SF = 9,676 SF
 Landscape Area Provided = 21,447 SF (44.3%)
 Minimum Vegetated Landscape Required = 75% of 9,676 SF = 7,257 SF
 Vegetated Landscape Provided = 21,447 SF

17.28.100
 Minimum Open Space Required = 20% of 48,378 SF = 9,676 SF
 Open Space Provided = 25,998 SF (54%)
 Minimum Active Open Space Required = 51% of 9,676 SF = 4,935 SF
 Active Open Space Provided = 9,716 SF

**OLVIA - Site 1 High Street
LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
SITE 1	
Building Footprint	11,659 SF
Garage Footprint	0 SF
Pathing	10,697 SF
Utility Pavement	24 SF
Entry Sign Wall	32 LF
Seawall	171 LF
CA Planters & Bases	1,136 SF
Striped Planting Area	3,423 SF
Islets	404 SF
Grassed Open Space Revegetation	5,430 SF
Grassed Open Space Reserve	10,947 SF
Pedestrian Circulation	4,454 SF
Actual number of trees	48,378 SF
TOTAL LANDSCAPE AREA	15,061 SF
TOTAL OPEN SPACE AREA	31,428 SF
TOTAL LOT AREA	48,378 SF
OPEN SPACE AREA PERCENTAGE	64.8%
LANDSCAPE AREA PERCENTAGE	31.1%

M. D. FOTHERINGHAM



Project:
**THE OLVIA ON
MARSH CREEK**
 Clayton, CA
SITE 1
 4170 High Street
 Clayton, CA 94517
 Client:
 William P. Jordan Trust

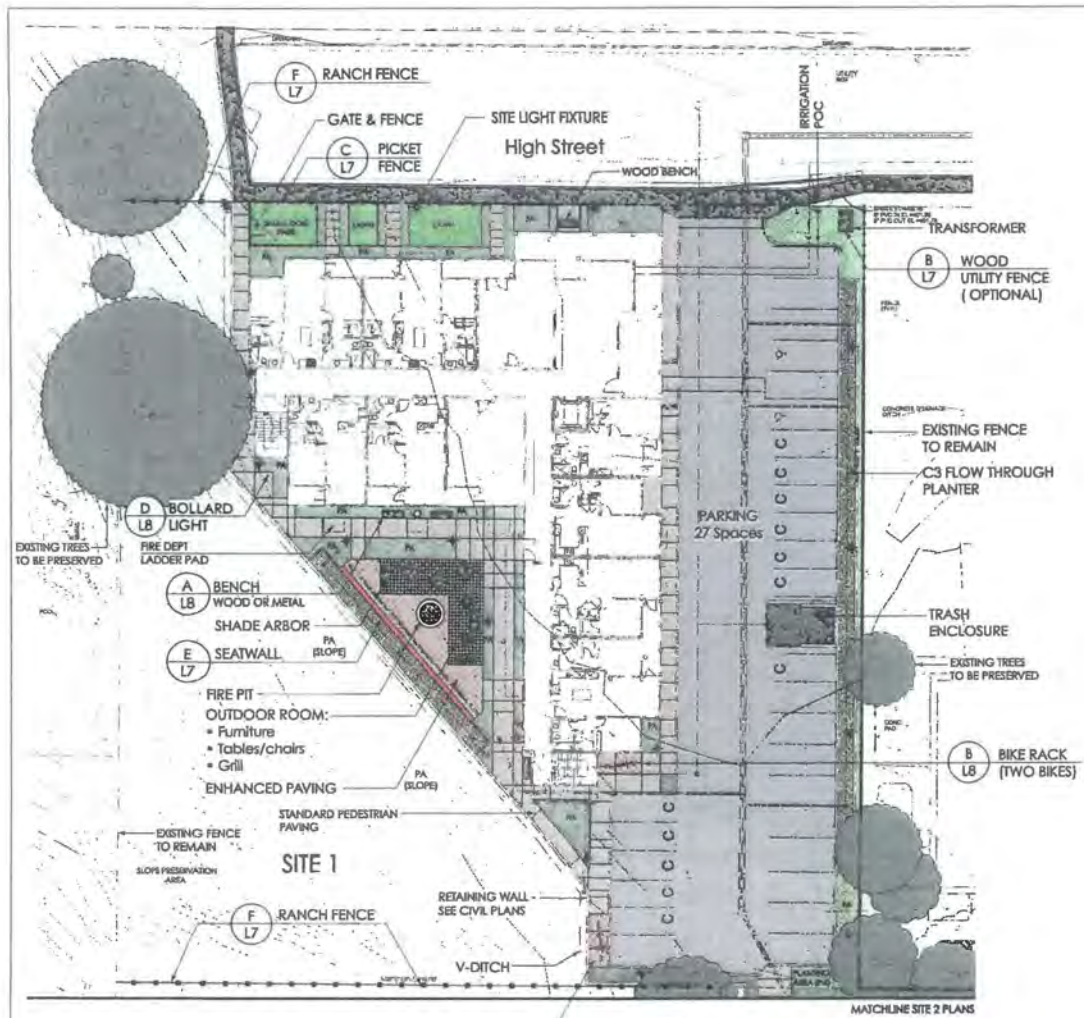
**OPEN SPACE
CALCULATIONS**

Preliminary Design Submittal #2

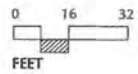
Scale:
 As Shown on Plan
 Designed by:
 MDP
 Drawn by:
 MDP/MDP
 Checked by:
 MDP
 Date:

Sheet Title: **SITE 1, 0000**
 Issue Date: **OCTOBER 7, 2019**

Project Number:
1707
 Sheet Number:

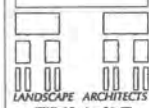


**SITE 1
LAYOUT PLAN**



NOTE:
SEE SHEET L-6 FOR PLANTING DESIGN OF SITE 1

M. D. FOTHERINGHAM



1700 North Broadway, Suite 200
Clayton, CA 94520
Telephone: (925) 452-0202
Fax: (925) 452-0334
www.mdfatheringham.com

Landscape



Clayton

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA
SITE 1
4170 High Street
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

**LAYOUT
PLAN**

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
BVP/JMDF

Checked by
MDF

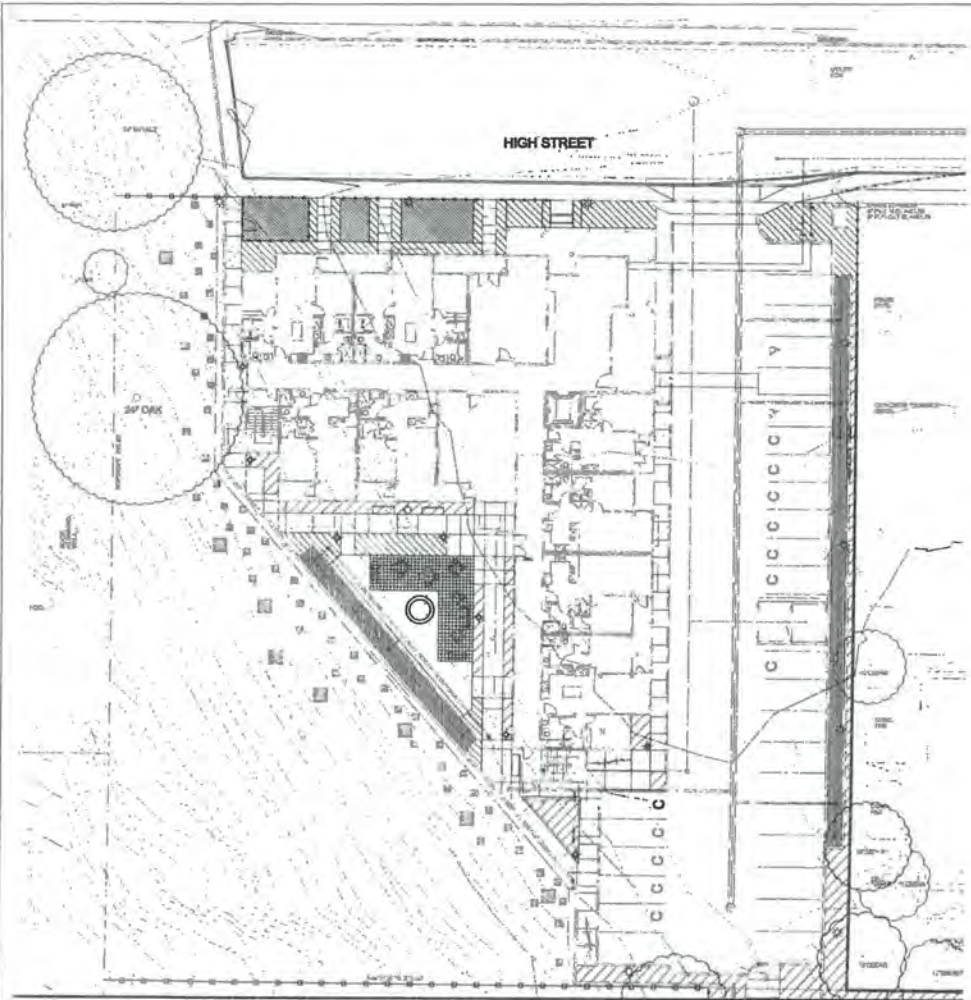
Revised

5. Revised Site & Vegetation Area: 10/11/17

Sheet Date: JUNE 1, 2016
Sheet Date: OCTOBER 7, 2019

Project Number
1707

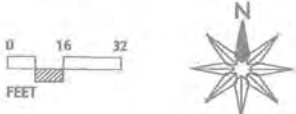
Sheet Number



HYDROZONE LEGEND

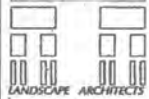
-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

**SITE 1
HYDROZONE PLAN**



MATCHLINE SITE 2 PLANS

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS

Liberty Street



Contract

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA

Client
William P. Jordan Trust

Sheet Title

**HYDROZONE
PLAN**

Preliminary Design, Submittal #12
Scale:
As Shown on Plans

Designed by
ACF

Drawn by
BJD/ACF

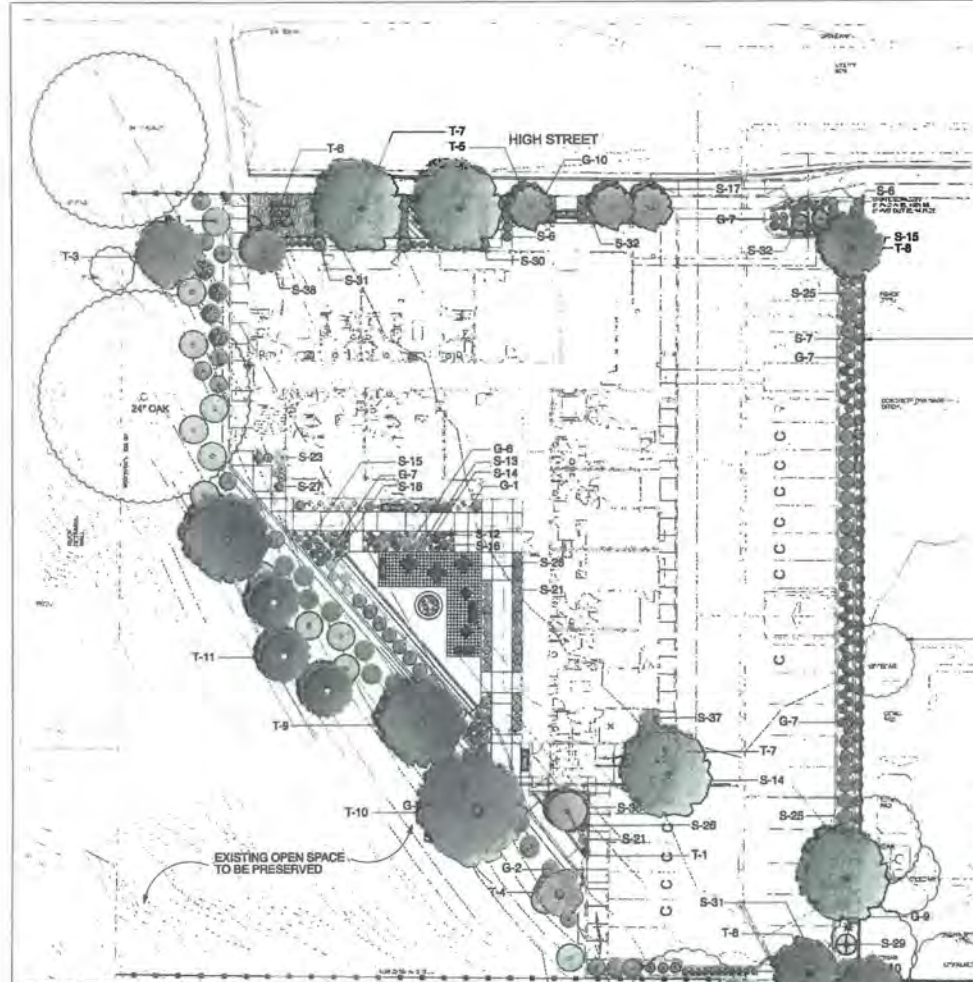
Checked by
ACF

Revisions

Rev. Date: **JUNE 1, 2018**
New Date: **OCTOBER 7, 2019**

Project Number
1707

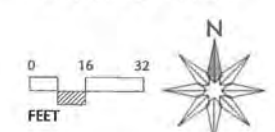
Sheet Number



OLIVIA - Site 1 High Street LANDSCAPE REQUIREMENTS

ITEM	AREA/RATIO
SITE 1	
Parking Lot Area	10,721 SF
Landscape Area of Parking Lot	2,857 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	37%
Total Landscape Area (Inch)	5,449 SF
Required Trees of 1 per 300 SF	18
Provided Trees	18
Perimeter Landscape Area of parking	1,310 SF
Required Trees of 1 per 150 SF	9
Provided Trees	9
Required Trees of 1 per 3 parking spaces (22)	9
Provided Trees	9
Unmet due to C3 facility of perimeter	0

SITE 1 PLANTING PLAN



TREE REPLACEMENT CHART SITE 1

	Existing Trees - Removed Data		New Trees			
	Number	Trunk Inches Removed	Proposed Trees	Required Replacements	Required Replacements	Required Replacements
Protected Trees Removed	7	184.5	18	18	11	7
Tree Top	7	184.5	18	18	11	7
Other Trees Removed	0	0	0	0	0	0
Tree Top	0	0	0	0	0	0
Tree Removal Impacts	7	184.5	18	18	11	7
New Trees	18	0	18	18	11	7
Required Replacement Trunk Inches:			43.20 inches	18.30 inches	22.76 inches	0.00 inches
Mitigation Tree Replacement:			18	11	7	0

TREE REPLACEMENT ANALYSIS

	SITE 1			SITE 2			SITE 3		
	Quantity	Replacement Ratio at 10%	Replacement Ratio at 30%	Quantity	Replacement Ratio at 10%	Replacement Ratio at 30%	Quantity	Replacement Ratio at 10%	Replacement Ratio at 30%
Protected Trees Removed	7			11			28		
Removed Trees	142	34%	82%	202.8	18%	152%	380.7	12%	159%
New Trees	18	1.8%	3.5%	57	5.1%	4.7%	41	1.2%	4.2%
Average New Trees/Removed Tree									

American Standard for Nursery Stock (ANSI Z60.1-2004)

Table 6 - Root ball diameters - field grown trees

Caliper	Type 1 and Type 2 Shade Trees		Type 3 and Type 4 Small Upright and Small Spreading Trees	
	Minimum diameter root ball	Maximum diameter	Minimum diameter	Maximum diameter
1 1/2 in.	12 in.	2 ft.	10 in.	10 in.
1 3/4 in.	14 in.	3 ft.	12 in.	12 in.
2 in.	16 in.	4 ft.	14 in.	14 in.
2 1/4 in.	18 in.	5 ft.	16 in.	16 in.
2 1/2 in.	20 in.	6 ft.	18 in.	18 in.
2 3/4 in.	22 in.	7 ft.	20 in.	20 in.
3 in.	24 in.	8 ft.	22 in.	22 in.
3 1/4 in.	26 in.	9 ft.	24 in.	24 in.
3 1/2 in.	28 in.	10 ft.	26 in.	26 in.
3 3/4 in.	30 in.	11 ft.	28 in.	28 in.
4 in.	32 in.	12 ft.	30 in.	30 in.
4 1/4 in.	34 in.	13 ft.	32 in.	32 in.
4 1/2 in.	36 in.	14 ft.	34 in.	34 in.
4 3/4 in.	38 in.	15 ft.	36 in.	36 in.
5 in.	40 in.	16 ft.	38 in.	38 in.
5 1/4 in.	42 in.	17 ft.	40 in.	40 in.
5 1/2 in.	44 in.	18 ft.	42 in.	42 in.
5 3/4 in.	46 in.	19 ft.	44 in.	44 in.
6 in.	48 in.	20 ft.	46 in.	46 in.
6 1/4 in.	50 in.	21 ft.	48 in.	48 in.
6 1/2 in.	52 in.	22 ft.	50 in.	50 in.
6 3/4 in.	54 in.	23 ft.	52 in.	52 in.
7 in.	56 in.	24 ft.	54 in.	54 in.
7 1/4 in.	58 in.	25 ft.	56 in.	56 in.
7 1/2 in.	60 in.	26 ft.	58 in.	58 in.
7 3/4 in.	62 in.	27 ft.	60 in.	60 in.
8 in.	64 in.	28 ft.	62 in.	62 in.

PRELIMINARY PLANT LIST

Number	Botanical Name	Common Name	Installation Size	Water	Shade	Plant Behavior
TREES						
T-1	<i>Joshua tree</i>	Joshua Tree	See Replacement Chart	Low	See Plan	
T-2	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-3	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-4	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-5	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-6	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-7	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-8	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-9	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-10	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
T-11	<i>Quercus agrifolia</i>	Coastal Live Oak	See Replacement Chart	Low	See Plan	
SHRUBS & PERENNIALS						
S-1	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-2	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-3	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-4	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-5	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-6	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-7	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-8	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-9	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-10	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-11	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-12	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-13	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-14	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-15	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-16	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-17	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-18	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-19	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-20	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-21	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-22	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-23	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-24	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-25	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-26	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-27	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-28	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-29	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-30	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-31	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-32	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-33	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-34	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-35	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-36	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	
S-37	<i>Quercus agrifolia</i>	Coastal Live Oak	1 gallon	Low	See Plan	

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS
1701 Harte Street, Suite 200
Beverly Hills, CA 90210
Tel: 310-459-4272
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Project:
THE OLIVIA ON MARSH CREEK
City: CA
4170 High Street
Clayton, CA 94517

Drawn by:
William P. Jordan Trust

PLANTING PLAN

Preliminary Design Submitted #2

Scale:
As Shown on Plans

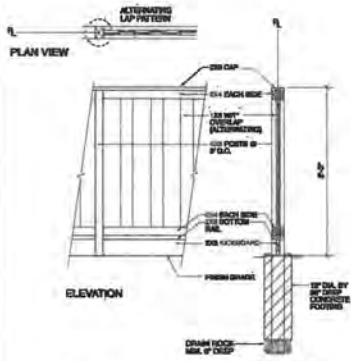
Designed by:
MDF

Drawn by:
MDF

Checked by:
MDF

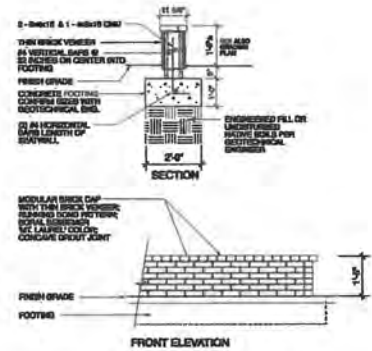
Revised:

Scale Date: JUNE 1, 2011
Scale Date: OCTOBER 7, 2011

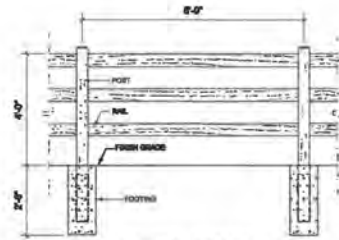


NOTES:
 1. ALL WOOD FENCE POSTS TO BE CEDAR OR APPROVED EQUAL.
 2. ALL FENCE PICKETS TO BE PINE OR APPROVED EQUAL AS PER CURRENT SCHEDULE.
 3. ALL RAIL FENCE PICKETS SHALL BE ROYAL DUTCH.

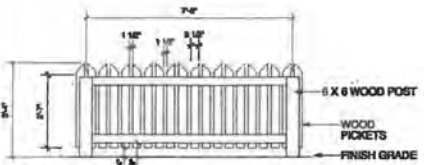
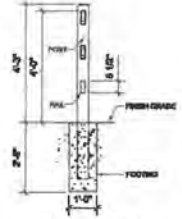
D
L7
GOOD NEIGHBOR FENCE
 12' x 10'



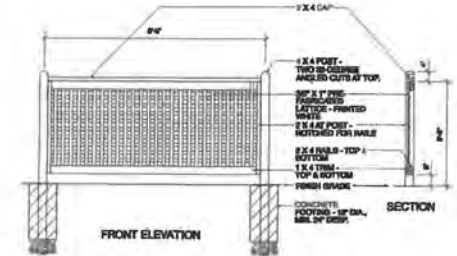
E
L7
BRICK VENEER SEAT WALL
 12' x 10'



F
L7
RANCH FENCE
 12' x 10'



C
L7
40 IN. HIGH PICKET FENCE
 12' x 10'



NOTE:
 1. USE ONE CENTER POST FOR SCREENING (2\"/>

B
L7
WOOD UTILITY SCREEN
 12' x 10'

M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS
 2222 North Broadway, Suite 202
 Walnut Creek, CA 94598
 Telephone: 925-938-4228
 Fax: 925-938-4234
 www.mdfatheringham.com



Project
THE OLIVA ON MARSH CREEK
 Clayton, CA
SITE 1
 4170 High Street
 Clayton, CA 94527

CONSTRUCTION DETAILS 1

Preliminary Design Submittal #2
 Scale: As Shown on Plan
 Designed by: MDF
 Drawn by: MDP/ADF
 Checked by: ADF
 Date: JUNE 1, 2019
 Issue Date: OCTOBER 7, 2019
 Project Number: 170
 Sheet Number: L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDINANCE PROJECT SUMMARY

Prepared by:
M.D. Fotheringham, Landscape Architect, Inc.
1700 North Broadway, Suite 300
Clayton, CA 94516
925-438-4322

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/19/18
CITY OF: Clayton ETS Location: Commercial
SECTION B1: MAXIMUM APPLIED WATER ALLOWANCE
MAMA = ETS x .82 + (.55 x IPI) + (.45 x SLA)

LANDSCAPE ARCHITECT: M.D. FOTHERINGHAM, LANDSCAPE ARCHITECT, INC.

Soil Limitation Code (SLC): 3.211 Total Calculated IPI Area (IPI): 6,231
Annual ETS (Gallons): 443 Soil Based Limitation Factor: 0

INCLUDED IN THIS PROJECT INSTANT PACKAGE:
(Check to indicate completion)

	Professional Fee (included)	Professional Fee (not included)
<input checked="" type="checkbox"/> 1. Irrigation System Allowance	77,000	77,000
<input checked="" type="checkbox"/> 2. Irrigation Total Water Use	36,267	36,267
<input checked="" type="checkbox"/> 3. Equipment Sizing from Efficiency Production		0
<input checked="" type="checkbox"/> 4. Equipment Water Saver	11,332	11,332
<input checked="" type="checkbox"/> 5. Permitting	15,184	15,184
<input checked="" type="checkbox"/> 6. Final Design	13,875	13,875

- State: If the design engineer find a project the ET&M will be provided by production, the Irrigation Production Schedule (IPI) must be provided and calculated.
- A. Irrigation System Allowance
 - B. Irrigation Total Water Use
 - C. Equipment Sizing from Efficiency Production
 - D. Equipment Water Saver
 - E. Permitting
 - F. Final Design
- FROM MANUFACTURER'S INFORMATION:**
- A. Irrigation System Allowance
 - B. Irrigation Total Water Use
 - C. Equipment Sizing from Efficiency Production
 - D. Equipment Water Saver
 - E. Permitting
 - F. Final Design

WELO MAXIMUM APPLIED WATER ALLOWANCE

Prepared by:
M.D. Fotheringham, Landscape Architect, Inc.
1700 North Broadway, Suite 300
Clayton, CA 94516
925-438-4322

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/19/18
CITY OF: Clayton ETS Location: Commercial
SECTION B1: MAXIMUM APPLIED WATER ALLOWANCE
MAMA = ETS x .82 + (.55 x IPI) + (.45 x SLA)

YEARLY ETS: 43.3
CONVERSION FACTOR: 0.82
ET ADJUSTMENT FACTOR: 0.66

TOTAL IRRIGATED LANDSCAPE AREA (IPI in Square Feet): 5,231
SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,000
TOTAL ACRES FEET: 0.24

CALCULATION:
43.3 x 0.82 + 0.55 x 6,231 + 0.45 x 0 = 17,469

Effective Precipitation (EPI)
Use 20% of annual precipitation in the following equation:
MAMA = ETS x .82 + (.55 x IPI) + (.45 x SLA)

YEARLY ETS: 43.3
EFFECTIVE PRECIPITATION (EPI) = 22.32 IPI x .20 = 0
NET ETS: 43.3
CONVERSION FACTOR: 0.82
ET ADJUSTMENT FACTOR: 0.66

TOTAL IRRIGATED LANDSCAPE AREA (IPI in Square Feet): 5,231
SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,000
TOTAL ACRES FEET: 0.24

CALCULATION:
43.3 x 0.82 + 0.55 x 6,231 + 0.45 x 0 = 17,469

RESULTS: Irrigation installation by building production (gallons/year): 0

WELO ESTIMATED TOTAL WATER USE

Prepared by:
M.D. Fotheringham, Landscape Architect, Inc.
1700 North Broadway, Suite 300
Clayton, CA 94516
925-438-4322

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/19/18
CITY OF: Clayton ETS Location: Commercial
SECTION B2: ESTIMATED TOTAL WATER USE (ET&M) (gallons per year)
ET&M = ETS x .82 + (.55 x IPI) + (.45 x SLA)

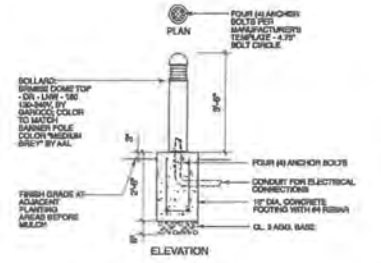
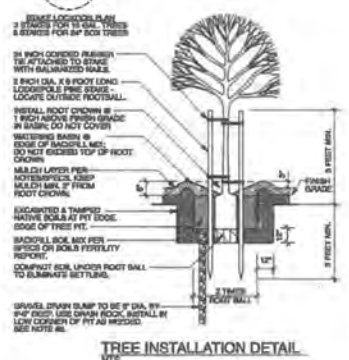
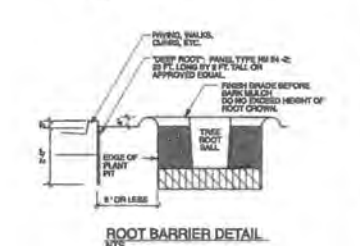
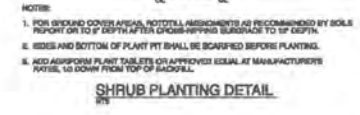
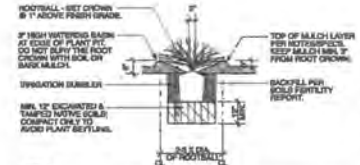
Available for following for each hydrozone (ET&M):
YEARLY ETS (Gallons per year): 43.3
CONVERSION FACTOR: 0.82
ET ADJUSTMENT FACTOR: 0.66

AVG IPI - PLANT SECTION (based on assumed, defined for each hydrozone): 0.34
TOTAL IRRIGATED LANDSCAPE AREA (IPI in Square Feet): 5,231
SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
AVG ETS - IRRIGATION EFFICIENCY FACTOR (assumed .75): 0.36
TOTAL ESTIMATED TOTAL WATER USE (gallons/year): 14,247
TOTAL ACRES FEET: 0.26

CALCULATION:

TOTAL IRRIGATED AREA (IPI)	CONVERSION FACTOR	ET ADJUSTMENT FACTOR	PLANT SECTION	AVG IPI	AVG ETS	ET&M
5,231	0.82	0.66	0.34	0.36	43.3	14,247

RESULTS: Irrigation installation by building production (gallons/year): 0



D LB LIGHT BOLLARD
16" x 14"



C LB TRASH RECEPTACLE
NTS



B LB BICYCLE RACK
NTS



A LB BENCH W/BACK/BACKLESS
NTS
(S&B architectural dwgs for alternate wood bench)

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925-438-4322
www.mdfatheringham.com
License #1046



Project:
THE OLIVA ON MARSH CREEK
Clayton, CA
SITE 1
6170 High Street
Clayton, CA 94517

Client:
William P. Jordan Trust

CONSTRUCTION DETAILS 2 & WELO CALCULATIONS

Preliminary Design Submitted #2

Scale:
As Shown on Plan
Designed by:
JDF
Drawn by:
BSP/WDF

Checked by:
JDF

Scale:
Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2018
Project Number:
170
Sheet Name:
L-8



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

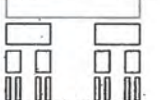


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS
1700 North Broadway, Suite 300
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Landscape



California

Project
THE OLIVIA ON
MARSH CREEK
Clayton, CA
ALL SITES

Client
William P. Jordan Trust

Sheet No.

TREE
IMAGES

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
SOPHIAWANG

Checked by
MDF

Revised

Plot Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number

L-9

SITE 2

The Olivia on Marsh Creek

6450 Marsh Creek Road
Clayton, CA 94517



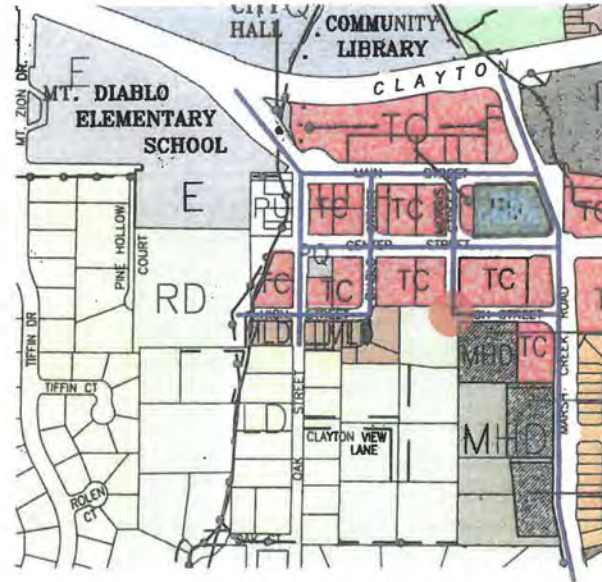
SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek



SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

-  BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
-  PROPOSED PROJECT



CONNECTIVITY DIAGRAM

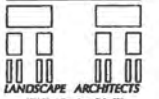
-  PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
-  NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



1550 North Broadway, Suite 100
Clayton, CA 94517
Telephone: 925-299-4799
Fax: 925-299-4799
www.mdfatheringham.com

Landscape Design



Clayton, CA

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

**CONTEXT
PLAN**

Preliminary Design Submittal #2

Scale
As Shown on Plan

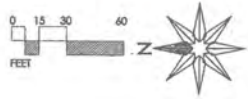
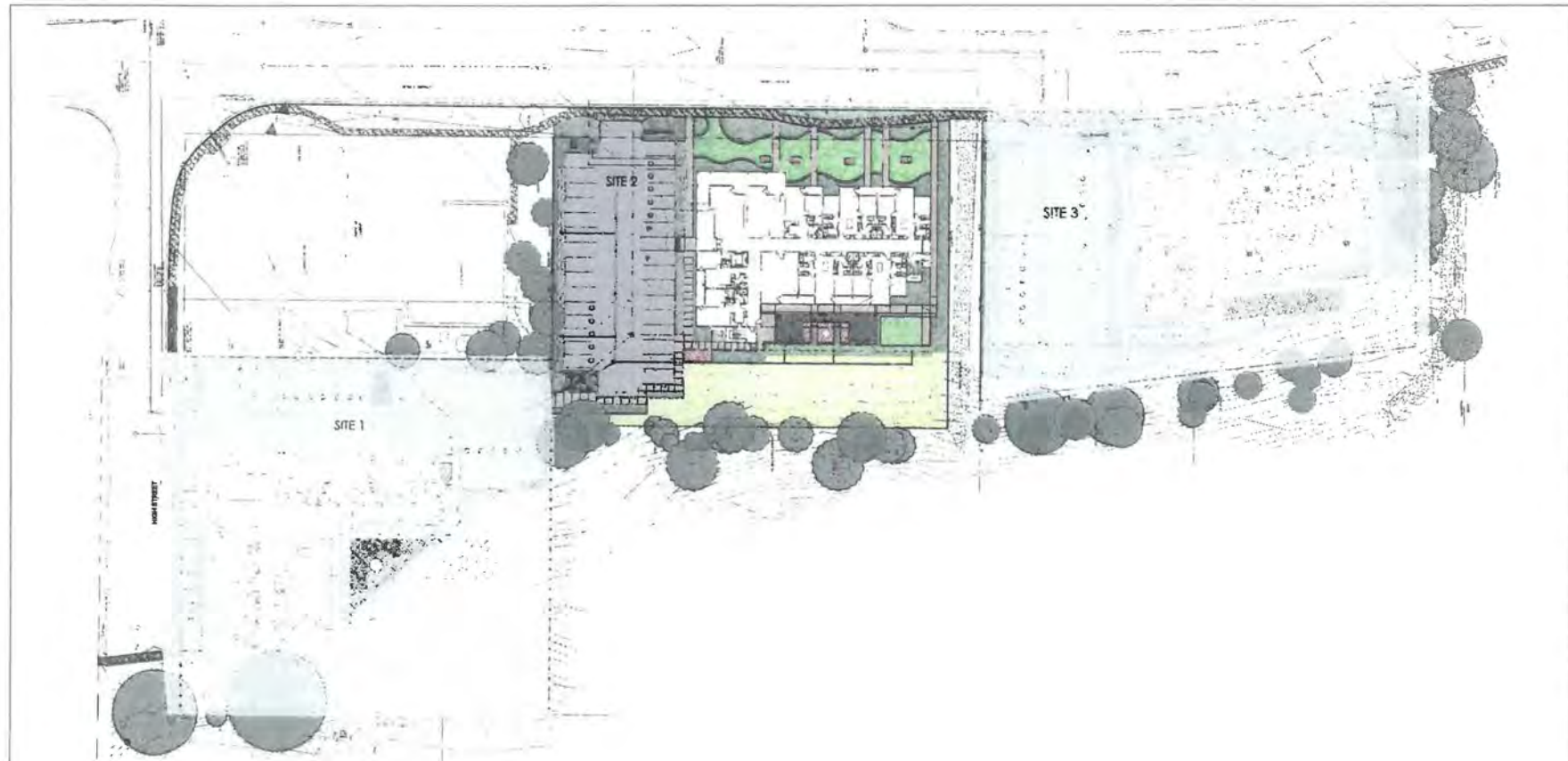
Designed by
MCF

Drawn by
MUSP/MCF

Checked by
MCF

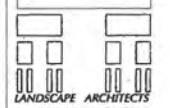
Reviewed

Sheet Number
L-1



SITE 2
LOCATION PLAN

M. D. FOTHERINGHAM



700 North Broadway, Suite 200
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Fax: 925-938-0294
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Consultant

Project
**THE OLIVA ON
MARSH CREEK**
Clayton, CA
SITE 2
4450 Marsh Creek Road
Clayton, CA 94517
Client
William P. Jordan Trust

Sheet Title

**SITE 2
LOCATION
PLAN**

Preliminary Design Submitted #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
MDF/MDF

Checked by
MDF

Revisions

1
 2
 3

Date Draw: JAN 1, 2018
 Issue Date: OCTOBER 7, 2017
 Project Number
1707
 Sheet Number



- SITE 2 LAND ACCOUNT**
-  BUILDING FOOTPRINT: 10,966 SF
 -  PARKING/UTILITY PAVEMENT: 10,336 SF
 -  ACTIVE OPEN SPACE: 12,863 SF
 -  PASSIVE OPEN SPACE/SLOPE AREA: 8,196 SF

TOTAL LOT AREA: 42,361 SF (Does not include offsite)

17.20.150 Item C
 Minimum Landscape Area Required = 20% of 42,361 SF = 8,472 SF
 Landscape Area Provided = 19,336 SF (45.7%)
 Minimum Vegetated Landscape Required = 75% of 8,472 SF = 6,354 SF
 Vegetated Landscape Provided = 14,643 SF

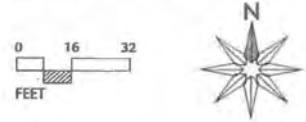
17.28.100
 Minimum Open Space Required = 20% of 42,361 SF = 8,472 SF
 Open Space Provided = 21,059 SF (49.7%)
 Minimum Active Open Space Required = 51% of 8,472 SF = 4,321 SF
 Active Open Space Provided = 12,863 SF

**THE OLIVIA ON MARSH CREEK - SITE 2
 LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
Building Footprint	10,966 SF
Garage Footprint	0 SF
Parking	10,336 SF
Sidewalk	1,363 SF
Utility Pavement	30 SF
CA Planters & Bases	947 SF
Other Planting Areas (includes offsite)	5,381 SF
Lawn	3,451 SF
Grassed Open Space Restoration	2,265 SF
Grassed Open Space Reserve	5,052 SF
Manufacture	331 SF
Pedestrian Circulation	4,772 SF
Actual number labeled (includes offsite)	44,714 SF
TOTAL LANDSCAPE AREA	18,368 SF
TOTAL OPEN SPACE AREA	23,412 SF
TOTAL LOT AREA	42,361 SF
OPEN SPACE AREA PERCENTAGE	57.36%
LANDSCAPE AREA PERCENTAGE	41.06%

NOTE: The landscape improvements listed above include offsite improvements along the Marsh Creek Road frontage.

**SITE 2
 OPEN SPACES PLAN VIEW**



M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS

1700 Markham Parkway, Suite 200
 Walnut Creek, CA 94597
 Telephone: 925-938-4200
 Cell: 925-438-8226
 email: mdf@mdfdesigngroup.com



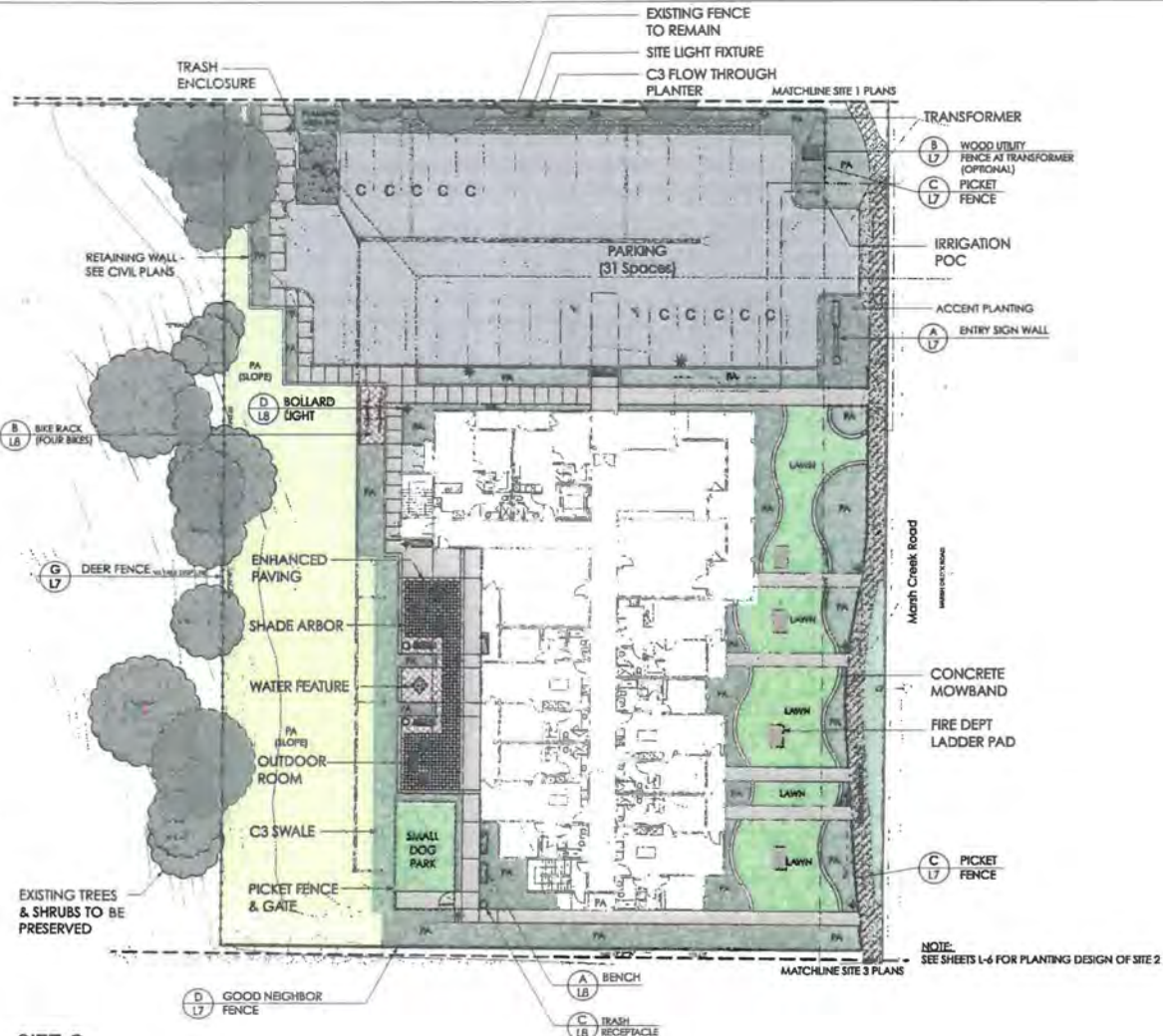
Project:
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 2
 440 Marsh Creek Road
 Clayton, CA 94517
 Owner:
 William P. Jordan Trust

**OPEN SPACE
 CALCULATIONS**

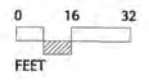
Preliminary Design **Submitted #2**
 Scale:
 As Shown on Plan

Designed by:
MEF
 Drawn by:
DWY/MEF
 Checked by:
MEF
 Revision:

Sheet Date: 2/28/11, 2014
 Issue Date: 02/28/2011, 2019
 Project Number:
 1700
 Sheet Number:



**SITE 2
LAYOUT PLAN**



M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS

1700 North Broadway, Suite 100
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License No. 12488

Professional Seal: LANDSCAPE ARCHITECT, STATE OF CALIFORNIA

Project:
THE OLIVIA ON MARSH CREEK
Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517
Client:
William P. Jordan Trust

Sheet Title:
LAYOUT PLAN

Preliminary Design Submittal #2
Scale:
As Shown on Plan

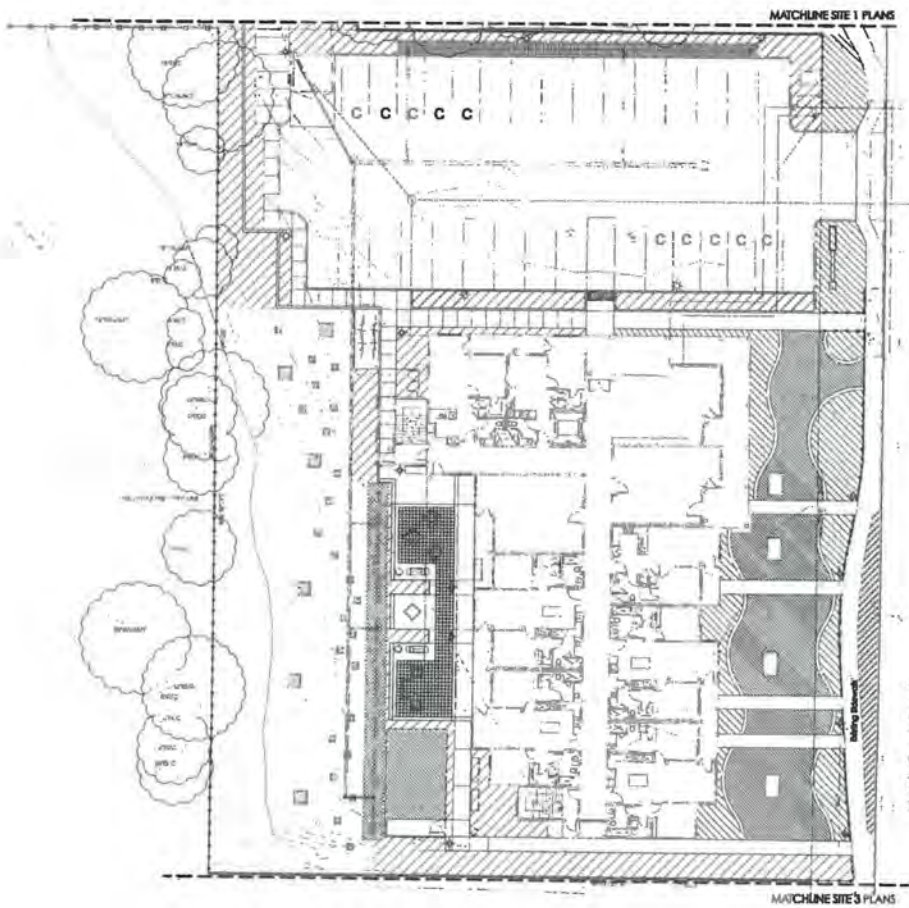
Designed by:
MDF

Drawn by:
BJS/SP/MDF

Checked by:
MDF

Revisions:

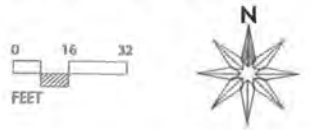
Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019
Project Number:
1707
Sheet Number:
L-4



HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND
-  PARKWAY STRIP PLANTING - LOW WATER DEMAND

**SITE 2
HYDROZONE PLAN**



M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS

4788 South Broadway, Suite 200
Clayton, CA 94005
Telephone: 415-451-4200
Email: info@mdfa.com
www.mdfa.com



Project
THE OLIVA ON MARSH CREEK
Clayton, CA
SITE 2
440 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

HYDROZONE PLAN

Preliminary Design Submittal #2
Scale
As Shown on Plan

Designed by
ACF

Drawn by
BVP/ACF

Checked by
ACF

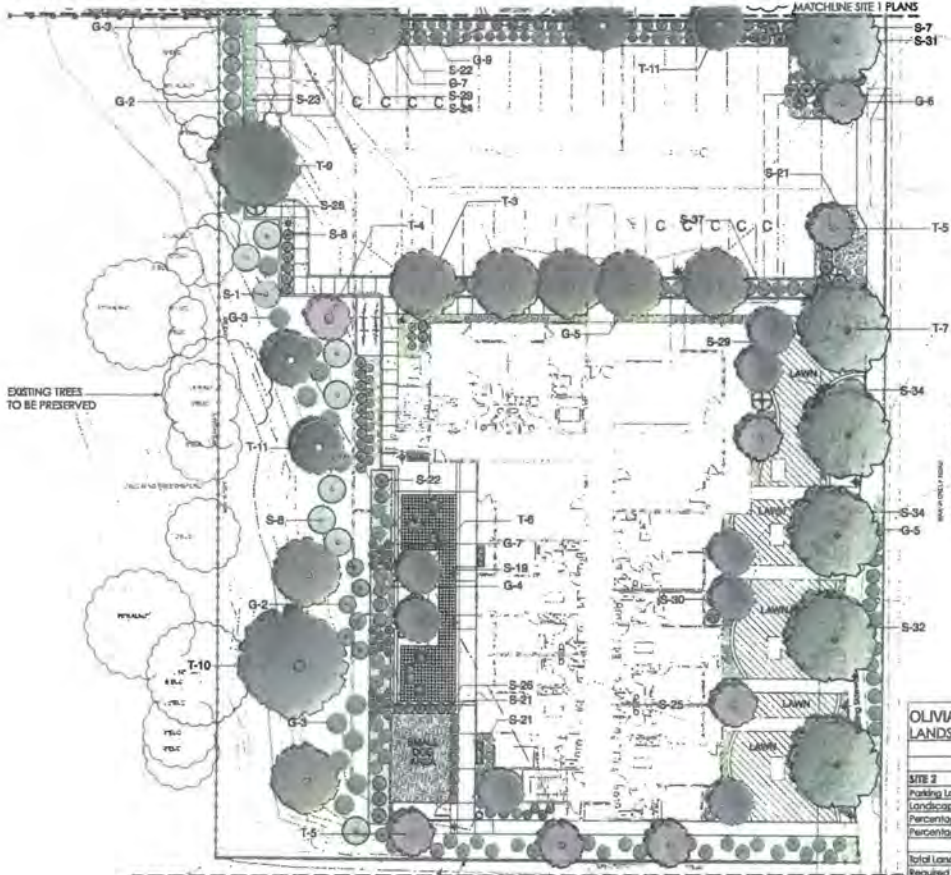
Reviewed by

Best Date: 2/21/13
Best Draw: OC2000 7, 2013

Project Number
1707

Sheet Number

NOTE:
SHRUB & GROUND COVER PLANTING IS INDICATIVE OF SPACING AND MATURE GROWTH EXPECTATIONS. NOT ALL PLANTS IN THE PLANT SCHEDULE ARE LABELED ON THESE PLANS.



OLIVIA - Site 2 Marsh Creek Road LANDSCAPE REQUIREMENTS

ITEM	AREA/RATIO
SITE 2	
Parking Lot Area	10,304 SF
Landscape Area of Parking Lot	2,099 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	20%
Total Landscape Area (Required)	11,058 SF
Required Trees of 1 per 300 SF	37
Provided Trees	37
Existing Existing Trees Preserved	2
Parking Pedestrian Landscape Area*	807 SF
Required Trees of 1 per 150 SF	5
Provided Trees*	4
Required Trees of 1 per 3 parking spaces (D1)	10
Provided Trees*	4

* Limited due to C3 facility & other trees

TREE REPLACEMENT CHART

SITE 2	Existing Trees - Removed Data		New Trees			
	Number	Trunk Inches Removed	Proposed Tree	Required Replacement	Required Replacement	Required Replacement
Protected Trees Removed	5	33	19 Gallon (see 1.2" caliper)	34 1/2" (see 1.75" caliper)	50 1/2" (see 2.25" caliper)	48 1/2" (see 2.25" caliper)
Other Trees Removed	16, 18, 20, 22, 24, 26, 28, 30					
Tree Type	19, 20, 22, 24, 26, 28, 30					
Tree Diameter	19, 20, 22					
Tree Replacement	180	40 inches	30	36	0	4
Required Replacement Trunk Inches:			54 inches	36 inches	0 inches	18 inches
Mitigation Tree Replacement			40	36	0	4

SITE 2 PLANTING PLAN

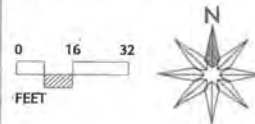
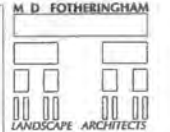


Table 6 - Root ball diameters - field grown trees
American Standard for Nursery Stock (ANSI Z60.1-2004)

Type 1 and Type 2 Shade Trees		Type 3 and Type 4 Small Upright and Small Spreading Trees	
Caliper	Minimum diameter root ball	Height (to 5-6') Caliper (1" and over)	Minimum diameter root ball
1/2 in.	12 in.	2 ft.	10 in.
3/4 in.	14 in.	3 ft.	12 in.
1 in.	16 in.	4 ft.	14 in.
1 1/4 in.	18 in.	5 ft.	16 in.
1 1/2 in.	20 in.	1 1/2 in.	18 in.
1 3/4 in.	22 in.	1 in.	19 in.
2 in.	24 in.	1 1/2 in.	20 in.
2 1/2 in.	26 in.	1 1/2 in.	22 in.
3 in.	28 in.	1 1/2 in.	24 in.
3 1/2 in.	30 in.	2 in.	26 in.
4 in.	32 in.	2 1/2 in.	28 in.
4 1/2 in.	34 in.	3 in.	30 in.
5 in.	36 in.	3 1/2 in.	32 in.
5 1/2 in.	38 in.	4 in.	34 in.
6 in.	40 in.	4 1/2 in.	36 in.
7 in.	46 in.	5 in.	38 in.
8 in.	50 in.	5 1/2 in.	40 in.
		6 in.	42 in.
		7 in.	44 in.
		8 in.	46 in.

PRELIMINARY PLANT LIST

Species / Common Name	Quantity	Minimum Size	Minimum Spacing	Plant Source
10-1. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-2. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-3. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-4. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-5. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-6. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-7. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-8. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-9. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-10. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-11. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-12. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-13. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-14. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-15. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-16. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-17. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-18. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-19. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-20. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-21. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-22. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-23. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-24. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-25. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-26. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-27. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-28. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-29. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-30. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
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10-32. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-33. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-34. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-35. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-36. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-37. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-38. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
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10-45. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-46. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
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10-48. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
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10-50. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-51. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-52. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
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10-99. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local
10-100. <i>Adiantum majus</i> (P)	1	Medium Spreading Tree	See Plant Schedule Chart	Local



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Walton Creek, CA 95757
Telephone: 925-938-2225
Mobile: 415-455-0214
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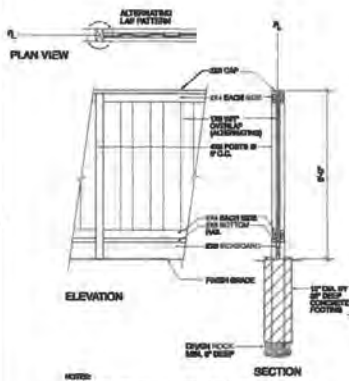


Project:
THE OLIVIA ON MARSH CREEK
Clayton, CA
SITE 2
640 Marsh Creek Road
Clayton, CA 94517
Client:
William P. Jordan Trust

PLANTING PLAN

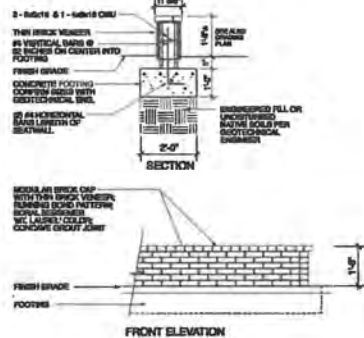
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Revised:
Sheet Date: JUNE 1, 2014
New Date: OCTOBER 7, 2019
Project Number:
1107
Sheet Number:
L-6

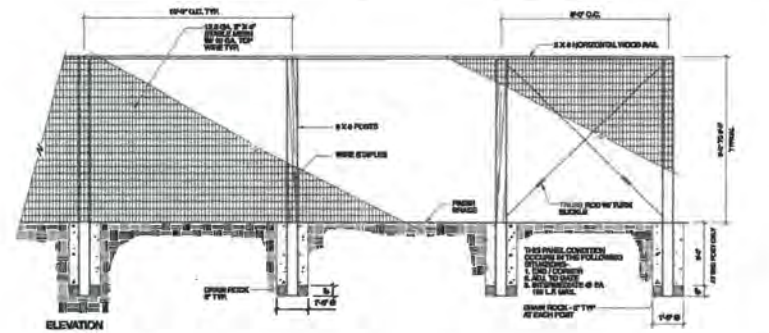


NOTE:
 1. ALL WOOD SHOULD POINT TO BE GRAIN OR APPROVED SEAL.
 2. ALL FENCE POSTS TO BE PROPERLY-TRAINED AND CAPED.
 3. ALL WOOD PICKETS SHALL BE NOT DIPPED BALANCED.

D
L7 **GOOD NEIGHBOR FENCE**
 12' = 1'-0"

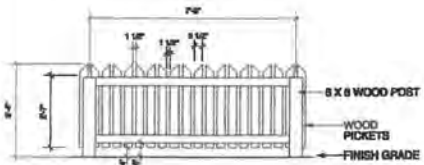


E
L7 **BRICK VENEER SEAT WALL**
 12' = 1'-0"

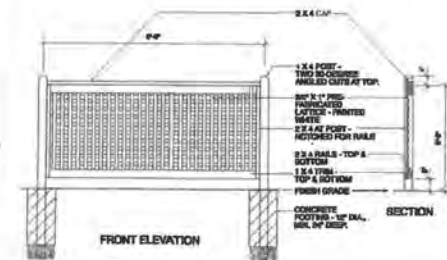


NOTE:
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 2. ALL FENCE POSTS TO BE PROPERLY-TRAINED AND CAPED.
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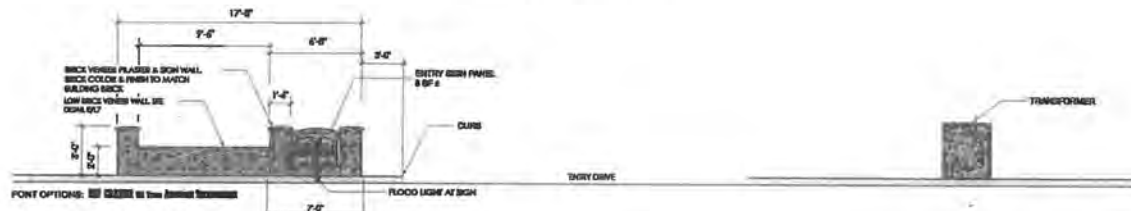
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L7 **DEER FENCE**
 12' = 1'-0"



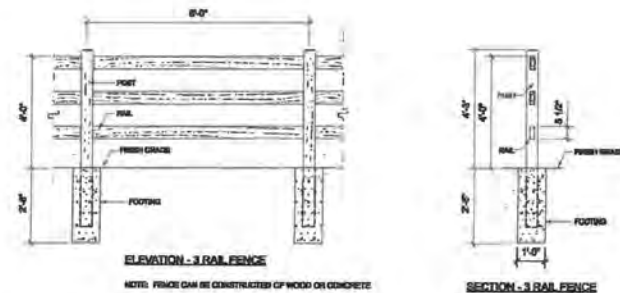
C
L7 **40 IN. HIGH PICKET FENCE**
 12' = 1'-0"



B
L7 **WOOD UTILITY SCREEN**
 12' = 1'-0"



A
L7 **SECTION AT ENTRY SIGN**
 1 1/2' = 1'-0"



F
L7 **RANCH FENCE**
 12' = 1'-0"

M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS
 1700 South Bascom Avenue, Suite 200
 Palo Alto, CA 94308
 Telephone: 650-434-4200
 Email: mdf@mdfa.com



Project:
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 2
 6400 Marsh Creek Road
 Clayton, CA 94517

CONSTRUCTION DETAILS 1

Preliminary Design Submittal #2
 Scale:
 As Shown on Plan
 Designed by:
 MDP
 Drawn by:
 MDP/MDP
 Checked by:
 MDP
 Date:

Sheet No.:
 Date Drawn: JAN 1, 2011
 Issue Date: 02/08/11, 02/11/11
 Project Number:
 1702
 Sheet Number:
L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORIGINATOR PROJECT ESTIMATE

PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19

CITY LOCATION: Clayton ETS Location: Clayton

LANDSCAPE ARCHITECT: M.D. FOTHERINGHAM, LANDSCAPE ARCHITECT, S.A. (201)

SHEET INFORMATION: SHEET NO. 115.01 TOTAL SHEETS: 115.02

DESIGNED BY: M.D. FOTHERINGHAM

DATE: 10/7/19

WELO IN THIS PROJECT CUMULATIVE PROJECTIONS:

Category	Value
1. Maximum Irrigated Area (sq ft)	177,684
2. Estimated New Water Use (gpd)	177,684
3. Total Estimated Annual Irrigation Precipitation (in)	2
4. Equivalent Water Savings (gpd)	177,684
5. Percent Savings	4.9%

Notes: If the design engineer and a peer of his (201) will not be present for verification, the Effective Precipitation Calculation presented shall be considered final estimates.

- 1. Irrigation System
- 2. Soil Profile
- 3. Planting Schedule
- 4. Watering System
- 5. Planting Density
- 6. Irrigation System

WELO (WATER EFFICIENCY LANDSCAPE ORIGINATOR) ESTIMATED TOTAL WATER USE

PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19

CITY OF: Clayton ETS City: Clayton

SECTION NO: ESTIMATED TOTAL WATER USE (GPD) (based on per inch)

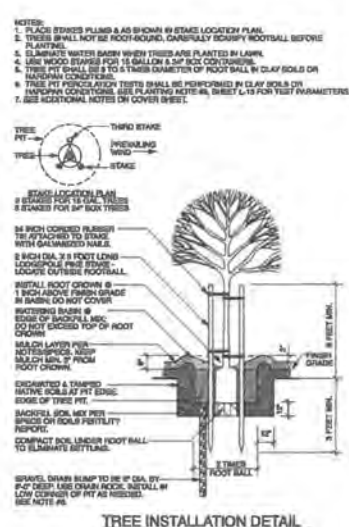
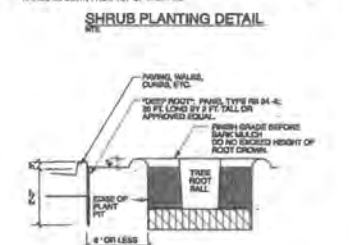
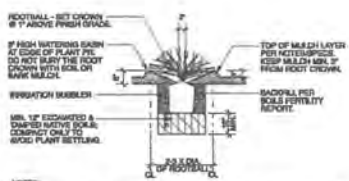
FORMULA: $ETWU = ETS \times SA + (ETP \times 1.487 \times SA) + SLA$

DATE: 10/7/19

Yearly ETS	Value
Yearly ETS	43.3
CONVERSION FACTOR	0.52
ET ADJUSTMENT FACTOR	2.35
TOTAL IRRIGATED LANDSCAPE AREA (sq ft)	177,684
SPECIAL LANDSCAPE AREA (SLA) (sq ft)	0
MAXIMUM APPLIED WATER ALLOWANCE (gpd/sq ft)	177,684
TOTAL ACRE FEET	0.04

Calculations: $43.3 \times 0.52 \times 2.35 + 0.01 + 0 = 0.46 \times 0 = 0 = 177,684$

REMARKS: Irrigation reductions by adding precipitation (substantive)



WELO (WATER EFFICIENCY LANDSCAPE ORIGINATOR) ESTIMATED TOTAL WATER USE

PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19

CITY OF: Clayton ETS City: Clayton

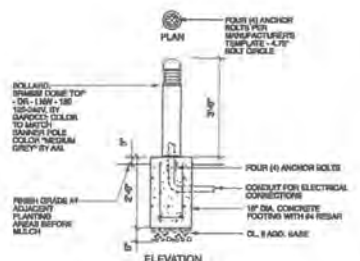
SECTION NO: ESTIMATED TOTAL WATER USE (GPD) (based on per inch)

FORMULA: $ETWU = ETS \times SA + (ETP \times 1.487 \times SA) + SLA$

DATE: 10/7/19

Category	Value
Yearly ETS (based on per inch)	43.3
CONVERSION FACTOR (per gallon per square foot)	0.52
ET ADJUSTMENT FACTOR (based on per inch)	2.35
TOTAL IRRIGATED LANDSCAPE AREA (sq ft)	177,684
SPECIAL LANDSCAPE AREA (SLA) (sq ft)	0
MAXIMUM APPLIED WATER ALLOWANCE (gpd/sq ft)	177,684
TOTAL ESTIMATED TOTAL WATER USE (GPD)	177,684
TOTAL ACRE FEET	0.04

Calculations: $43.3 \times 0.52 \times 2.35 + 0.01 + 0 = 0.46 \times 0 = 0 = 177,684$



(D) LIGHT BOLLARD
16" x 11" O"

(C) TRASH RECEPTACLE
NTS

(B) BICYCLE RACK
NTS

(A) BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS



Project: **THE OLIVIA ON MARSH CREEK**
Clayton, CA

Client: **William P. Jordan Trust**

CONSTRUCTION DETAILS 2

Preliminary Design Submittal #2

Designed by: MCF
Checked by: MCF

Date: 10/7/19
Sheet: 115.01
Project: The Olivia on Marsh Creek
Scale: 1/8" = 1'-0"



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

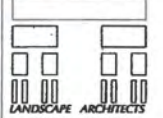


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



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1718 South Broadway, Suite 200
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Telephone: 925-937-0770
Client: 415-450-9574
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License No.



Consultant

Project
**THE OLIVA ON
MARSH CREEK**
Clayton, CA
ALL SITES

Client
William F. Jordan Trust

Sheet Title

**TREE
IMAGES**

Preliminary Design Submittal #2

Scale

As Shown on Plans

Designed by

MEF

Drawn by

BVP/MEF

Checked by

MEF

Revisions

DATE: JUNE 1, 2019
ISSUE DATE: OCTOBER 7, 2019

Project Number

1707

Sheet Number

SITE 3

The Olivia on Marsh Creek

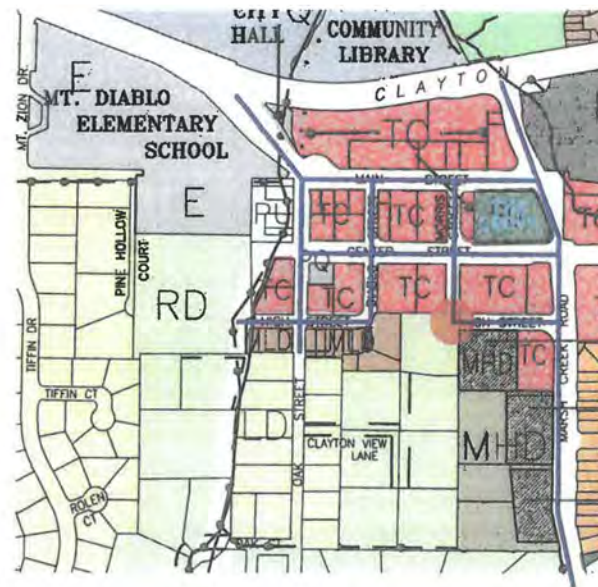
6490 Marsh Creek Road
Clayton, CA 94517



- SITE 1
The Olivia on Marsh Creek
- SITE 2
The Olivia on Marsh Creek
- SITE 3
The Olivia on Marsh Creek

DOWNTOWN DISTRICT

- BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
- PROPOSED PROJECT



CONNECTIVITY DIAGRAM

- PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
- NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

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Contract

Project
THE OLIVIA ON
MARSH CREEK

Clayton, CA

SITE 3

6490 Marsh Creek Road
Clayton, CA 94517

Client

William F. Jordan Trust

Sheet Title

CONTEXT
PLAN

Preliminary Design Submitted #2

Scale

As Shown on Plan

Designed by

MEF

Drawn by

MEF/MSD

Checked by

MEF

Revised

DATE

Issue Date: JUNE 1, 2019

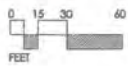
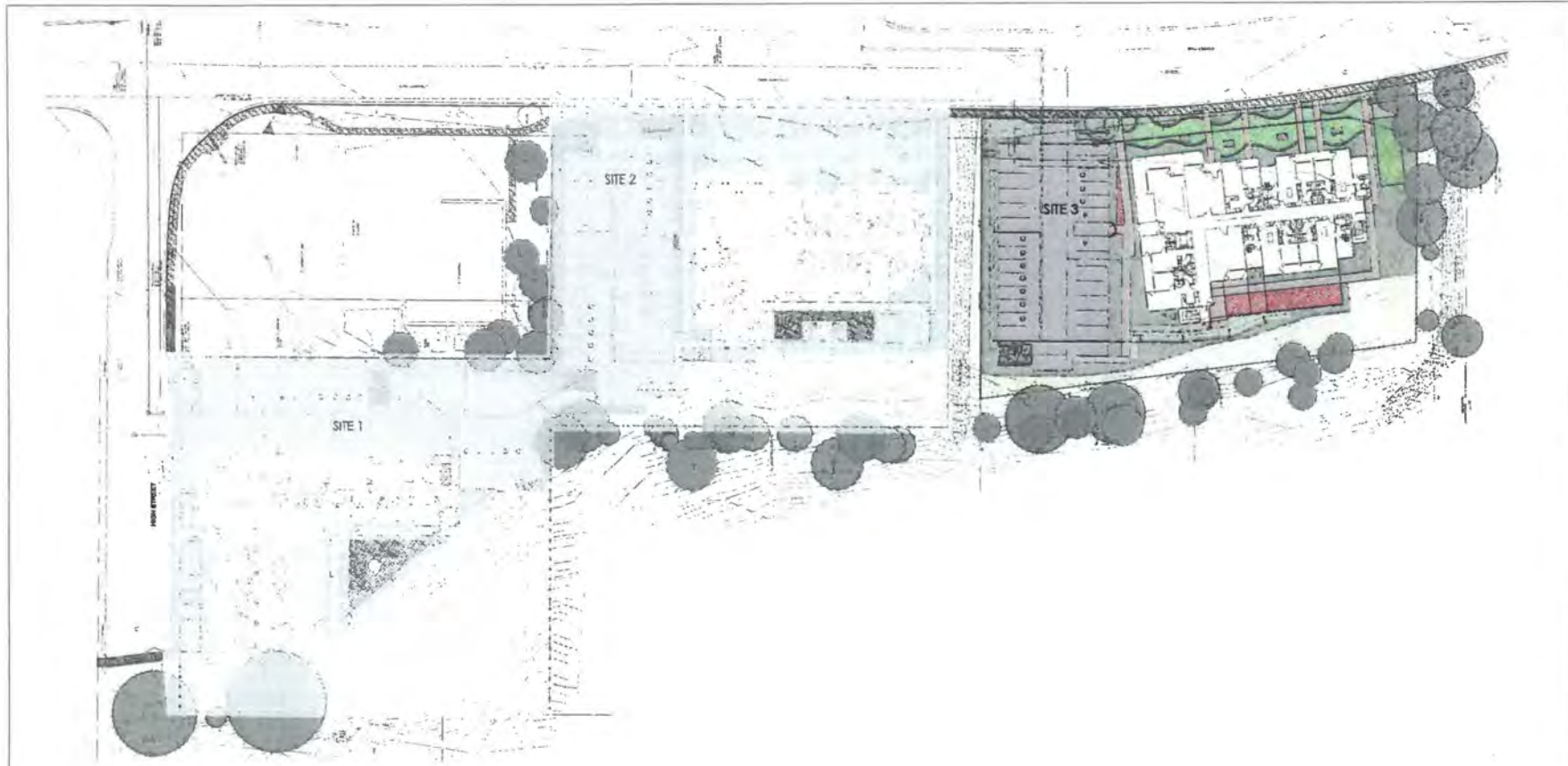
Issue Date: OCTOBER 7, 2019

Project Number

1707

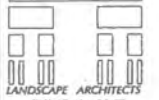
Sheet Number

L-1



**SITE 3
LOCATION PLAN**

M. D. FOTHERINGHAM



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Clayton, CA

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA

SITE 3
6490 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

**SITE 3
LOCATION PLAN**

Preliminary Design Submitted #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
MDF/MDF

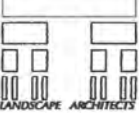
Checked by
MDF

Revisions

Issue Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number
L-2



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Contract

Project
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 3
 6490 Marsh Creek Road
 Clayton, CA 94517
 Client
 William P. Jordan Trust

Sheet Title

OPEN SPACE CALCULATIONS

Preliminary Design Submitted #2

Scale

As Shown on Plans

Designed by

ACP

Drawn by

WJ/JP/ACP

Checked by

ACP

Reviewed

Issue Date: APRIL 1, 2018

Issue Date: OCTOBER 7, 2019

Project Number

1707

Sheet Number

L-3



SITE 3 LAND ACCOUNT

-  BUILDING FOOTPRINT: 10,916 SF
-  PARKING/UTILITY PAVEMENT: 9,240 SF
-  ACTIVE OPEN SPACE: 15,991 SF
-  PASSIVE OPEN SPACE/SLOPE AREA: 4,456 SF

TOTAL: 40,603 SF (Does not include offsite)

17.30.150 Item C
 Minimum Landscape Area Required = 25% of 40,603 SF = 8,121 SF
 Landscape Area Provided = 31,047 SF (\$1.85)
 Minimum Vegetated Landscape Required = 75% of 8,121 SF = 4,091 SF
 Vegetated Landscape Provided = 15,261 SF

17.38.100
 Minimum Open Space Required = 25% of 40,603 SF = 8,121 SF
 Open Space Provided = 21,047 SF (\$1.85)
 Minimum Active Open Space Required = 61% of 8,121 SF = 4,142 SF
 Active Open Space Provided = 19,834 SF

**THE OLIVIA ON MARSH CREEK - SITE 3
 LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
Building Footprint	10,916 SF
Garage Footprint	0 SF
Parking	9,211 SF
Stairwell	813 SF
Utility Pavement	21 SF
C-1 Planting Area	1,001 SF
Shrub Planting Area (includes offsite)	8,242 SF
Lawn	2,578 SF
Grassed Open Space (Revegetation)	4,653 SF
Grassed Open Space (New)	0 SF
Moisture	276 SF
Pedestrian Circulation	4,289 SF
Actual number total (includes offsite)	41,816 SF
TOTAL LANDSCAPE AREA	31,047 SF
TOTAL OPEN SPACE AREA	21,047 SF
TOTAL LOT AREA (includes offsite area)	41,816 SF
OPEN SPACE AREA PERCENTAGE	51.80%
LANDSCAPE AREA PERCENTAGE	51.80%

NOTE: See landscape improvements listed above include offsite improvements along the Marsh Creek Road Right-of-Way.

**OPEN SPACES
 PLAN VIEW**



**SITE 3
LAYOUT PLAN**

NOTE:
SEE SHEETS L-6 FOR PLANTING DESIGN OF SITE 3

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Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
6490 Marsh Creek Road
Clayton, CA 94517
Client
William F. Jordan Trust

**LAYOUT
PLAN**

Preliminary Design Submittal #2
Scale
As Shown on Plan

Designed by
MDF

Drawn by
MDF/MDF

Checked by
MDF

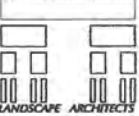
Revisions

Sheet Owner: JAMES L. JORDAN
Sheet Date: OCTOBER 11, 2019

Project Number
1707

Sheet Number

M. D. FOTHERINGSAM



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Client Name



Project Name

Project
**THE OLIVA ON
MARSH CREEK**
Clayton, CA
SITE 3
4470 Marsh Creek Road
Clayton, CA 94517

Client
William F. Jordan Trust

Scale 1/8" = 1'-0"

HYDROZONE PLAN

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
JACF

Drawn by
EVS/JACF

Checked by
JACF

Date

Scale
As Shown on Plan

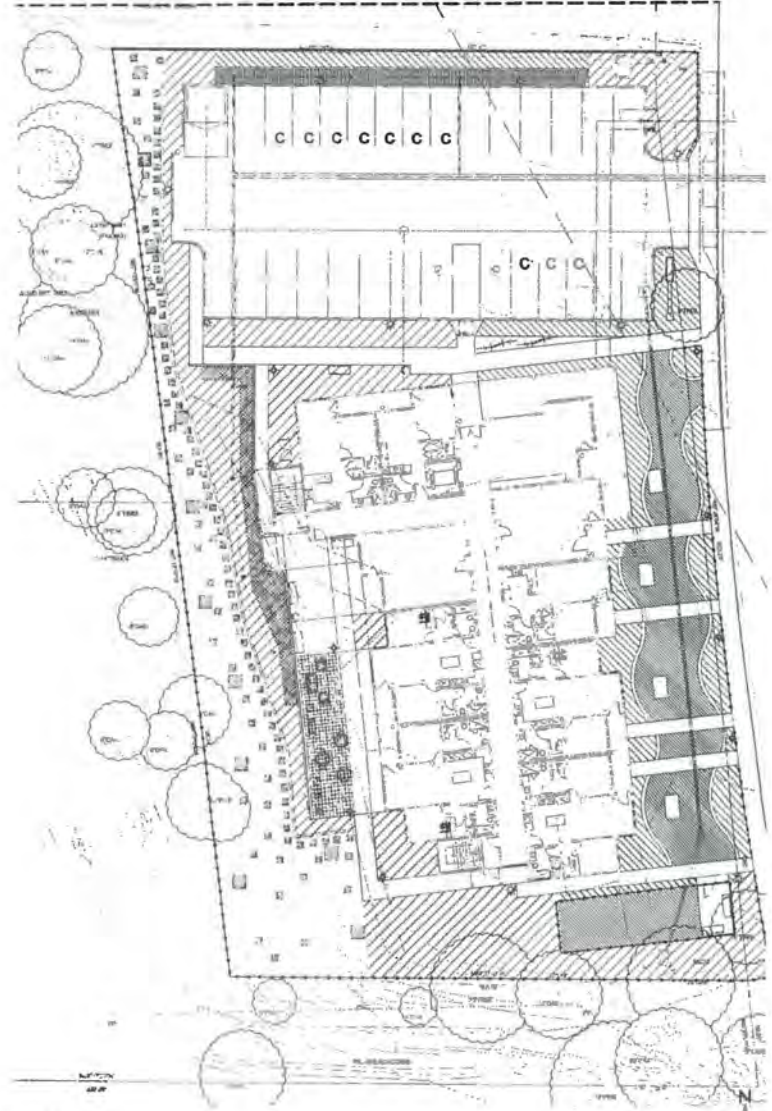
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Project Number
1707

Sheet Number

L-5

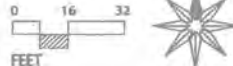
MATCHLINE SITE 2 PLANS



HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

SITE 3
HYDROZONE PLAN





**TREE REPLACEMENT CHART
SITE 3**

Tree Type	Existing Trees - Removed Data			Proposed Trees	New Trees		
	Number	Trunk Inches Removed	Replacement Foot		Required Replacement	Required Replacement	Required Replacement
Protected Trees Retained			35				
Tree Type	87, 89, 90, 92, 104	80	29				
Other Trees Retained	72, 73, 74, 75, 76, 77						
Tree Type	78, 79, 74, 76, 76, 77						
Tree Type	76, 76, 80, 81, 84						
Tree Type	81, 82, 78, 82, 86, 87						
Tree Type	88, 88, 101, 102, 103-107						
Tree Removal Impacts	77	89 inches	89 inches	41	41	0	0
New Trees				41.00 inches	41.00 inches	0.00 inches	0.00 inches
Required Replacement Trunk Inches				41	41	0	0
Mitigation Tree Replacement							

**OLVIA - Site 3 Marsh Creek Road
LANDSCAPE REQUIREMENTS**

ITEM	AREA/RATIO
SITE 3	
Parking Lot Area	9,211 SF
Landscape Area of Parking Lot	2,454 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	27%
Total Landscape Area (Required)	12,244 SF
Required Trees of 1 per 300 SF	41
Provided Trees	41
Existing Trees Preserved	5
Parking Pavement Landscape Area*	1,238 SF
Required Trees of 1 per 150 SF	8
Provided Trees	10
Required Trees of 1 per 3 parking spaces (20)	9
Provided Trees	10
*limited due to CI facility	

PRELIMINARY PLANT LIST

TREE#	Botanical Name	Common Name	Installation Size	Water Demand	Plant Hardiness
T-1	Adiantum species (24)	Maui Adiantum Tree	See Replacement Chart	Low	See Plan
T-2	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-3	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-4	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-5	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-6	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-7	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-8	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-9	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-10	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan
T-11	Ardisia cuneata (2)	Maui Ardisia	See Replacement Chart	Low	See Plan

Table 4 - Best ball diameters - field grown trees

Caliper	Type 1 and Type 2		Type 3 and Type 4	
	Minimum diameter root ball	Shade Trees	Small Upright and Small Spreading Trees	Minimum diameter root ball
1 1/4 in.	12 in.	12 in.	12 in.	12 in.
1 1/2 in.	14 in.	14 in.	14 in.	14 in.
1 3/4 in.	16 in.	16 in.	16 in.	16 in.
1 7/8 in.	18 in.	18 in.	18 in.	18 in.
2 in.	20 in.	20 in.	20 in.	20 in.
2 1/8 in.	22 in.	22 in.	22 in.	22 in.
2 1/4 in.	24 in.	24 in.	24 in.	24 in.
2 3/8 in.	26 in.	26 in.	26 in.	26 in.
2 1/2 in.	28 in.	28 in.	28 in.	28 in.
2 7/8 in.	30 in.	30 in.	30 in.	30 in.
3 in.	32 in.	32 in.	32 in.	32 in.
3 1/8 in.	34 in.	34 in.	34 in.	34 in.
3 1/4 in.	36 in.	36 in.	36 in.	36 in.
3 3/8 in.	38 in.	38 in.	38 in.	38 in.
3 1/2 in.	40 in.	40 in.	40 in.	40 in.
3 7/8 in.	42 in.	42 in.	42 in.	42 in.
4 in.	44 in.	44 in.	44 in.	44 in.
4 1/8 in.	46 in.	46 in.	46 in.	46 in.
4 1/4 in.	48 in.	48 in.	48 in.	48 in.
4 3/8 in.	50 in.	50 in.	50 in.	50 in.
4 1/2 in.	52 in.	52 in.	52 in.	52 in.
4 7/8 in.	54 in.	54 in.	54 in.	54 in.
5 in.	56 in.	56 in.	56 in.	56 in.
5 1/8 in.	58 in.	58 in.	58 in.	58 in.
5 1/4 in.	60 in.	60 in.	60 in.	60 in.
5 3/8 in.	62 in.	62 in.	62 in.	62 in.
5 1/2 in.	64 in.	64 in.	64 in.	64 in.
5 7/8 in.	66 in.	66 in.	66 in.	66 in.
6 in.	68 in.	68 in.	68 in.	68 in.

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**THE OLVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
640 Marsh Creek Road
Clayton, CA 94517

**PLANTING
PLAN**

Preliminary Design, submitted #2

As Shown on Plan

Designed by
MDF

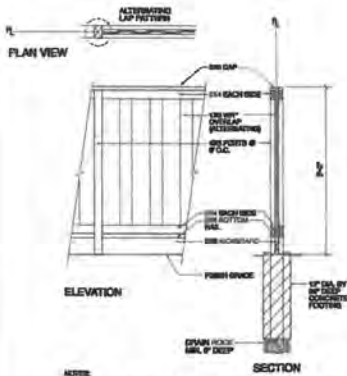
Drawn by
WVS/WJF

Checked by
MDF

Scale: 1" = 32'

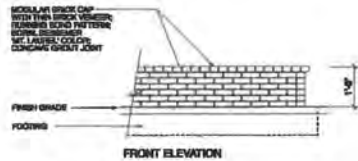
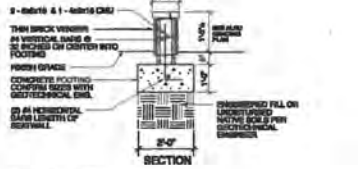
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Issue Date: OCTOBER 2, 2013

Project Number: 1103
Sheet Number: 1

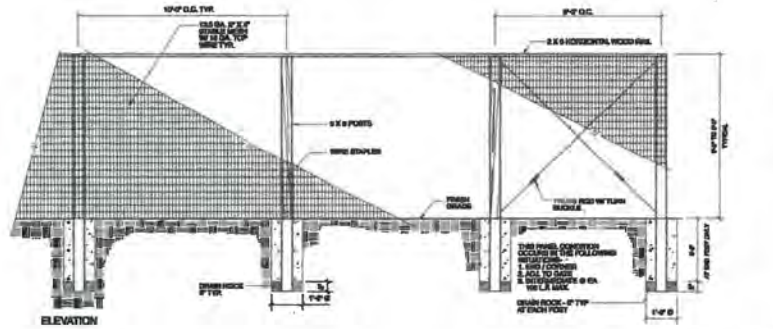


NOTE:
 1. ALL WOOD PICKET POSTS TO BE GRADA OR APPROVED EQUAL.
 2. ALL WOOD PICKETS TO BE PRIMAVERE OR EQUAL GRADE PINE.
 3. ALL WOOD PICKETS SHALL BE NOTCHED OR GALVANIZED.

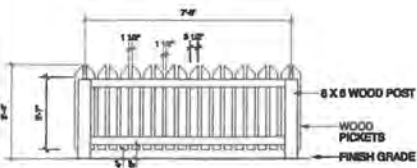
D GOOD NEIGHBOR FENCE
 1/2" = 1'-0"



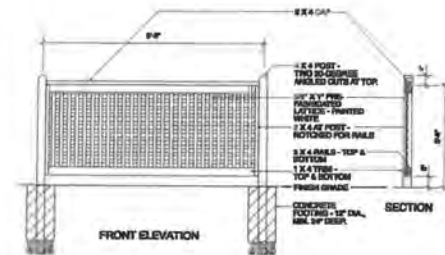
E BRICK VENEER SEAT WALL
 1/2" = 1'-0"



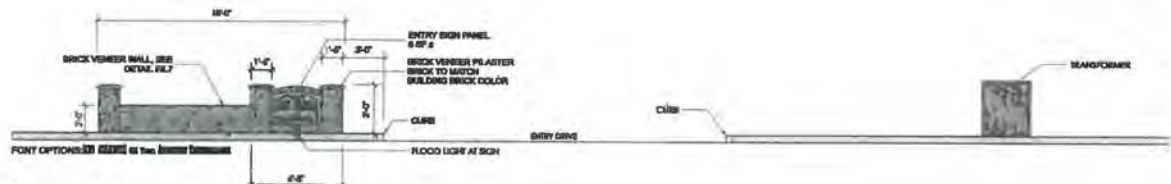
G DEER FENCE
 3/8" = 1'-0"



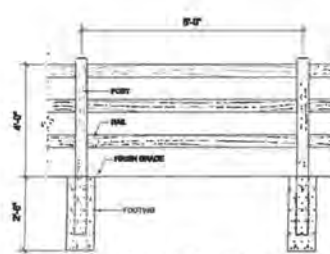
C 40 IN. HIGH PICKET FENCE
 1/2" = 1'-0"



B WOOD UTILITY SCREEN
 1/2" = 1'-0"



A SECTION AT ENTRY SIGN
 1/2" = 1'-0"



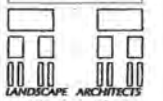
ELEVATION - RANCH FENCE



SECTION - RANCH FENCE

F RANCH FENCE
 1/2" = 1'-0"

M. D. FOTHERINGHAM



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 1700 West Broadway, Suite 200
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 www.mdfatheringham.com

License No. 1000



California

Project
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 3
 4490 Marsh Creek Road
 Clayton, CA 94517
 Client
 William P. Jordan Trust

CONSTRUCTION DETAILS 1

Preliminary Design Submitted #2
 Scale
 As Shown on Plan

Designed by

ACF

Drawn by

BN/ACF

Checked by

ACF

Revised

Scale Date: April 1, 2019

Issue Date: October 7, 2019

Project Number

1207

Sheet Number

L-7

WELC CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDSMANCE PROJECT SUMMARY

PROJECT NAME: The Oliva at Marsh Creek - Site 3 Date: 10/17/18
 CITY OF: Clayton ETO Location: Coastal
 JAMES W. LINDSEY, INC. 201 Parkside, Lafayette, CA 94501
 Small Irrigated Area (SIA) 13,089 Total Irrigated Area (TIA) 13,089
 Annual E.P. (inches) 43.2

INCLUDED IN THIS PROJECT BUDGET INCREASE:

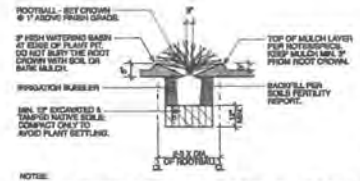
1. Irrigation System (Water efficiency)	150,000	150,000	150,000
2. Irrigation System (Low)	150,000	150,000	0
3. Irrigation System (Low)	150,000	150,000	0
4. Irrigation System (Low)	150,000	150,000	150,000

- 1. Irrigation System (Water efficiency)
- 2. Irrigation System (Low)
- 3. Irrigation System (Low)
- 4. Irrigation System (Low)

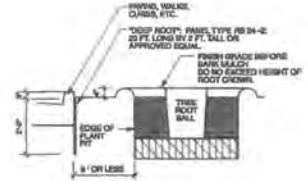
WELC MAXIMUM APPLIED WATER ALLOWANCE

PROJECT NAME: The Oliva at Marsh Creek - Site 3 Date: 10/17/18
 CITY OF: Clayton ETO Location: Coastal
 SECTION 01 MAXIMUM APPLIED WATER ALLOWANCE
 MAWA = ETR x .82 x (.55 x HA) + (.48 x SLA)
 YEARLY ETR 43.2
 CONVERSION FACTOR 0.82
 ET ADJUSTMENT FACTOR 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (SIA+TIA) Square Feet 13,089
 SPECIAL LANDSCAPE AREA (SLA) Square Feet 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year) 193,411
 TOTAL ACRES FEET 0.68
 CALCULATIONS: 43.2 x 0.82 x 0.55 x 13,089 = 0.43 x 0 = 193,411

Effective Precipitation (EPT) Use 20% of annual precipitation for the following equation:
 MAWA = (ETR) - (EPT) x .82 x (.55 x HA) + (.48 x SLA)
 YEARLY ETR 43.2
 EFFECTIVE PRECIPITATION (EPT) = 20.00 (inches x 20)
 NET ETR 43.2
 CONVERSION FACTOR 0.82
 ET ADJUSTMENT FACTOR 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (SIA+TIA) Square Feet 13,089
 SPECIAL LANDSCAPE AREA (SLA) Square Feet 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year) 193,411
 TOTAL ACRES FEET 0.68
 CALCULATIONS: 43.2 x 0.82 x 0.55 x 13,089 = 0.43 x 0 = 193,411
 RESULTS: Irrigation reduction by adding precipitation (gallons/year) 0

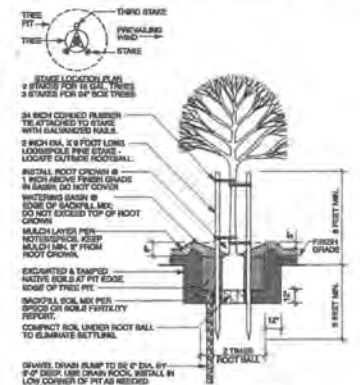


SHRUB PLANTING DETAIL



ROOT BARRIER DETAIL

- NOTES:
1. FOR GROUND COVER PLANTS, INITIAL ANCHOR BOLTS AS RECOMMENDED BY BOLTS REPORT OR TO 8\"/>
 - 2. SIDES AND BOTTOM OF PLANT PIT SHALL BE SCARPED BEFORE PLANTING.
 - 3. ADD AGRIFOAM PLANT TABLETS OR APPROVED EQUAL AT MANUFACTURERS RATES, 1/8 CUBIC YARD FROM TOP OF BACKFILL.

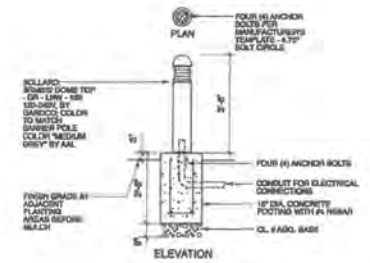


TREE INSTALLATION DETAIL

WELC ESTIMATED TOTAL WATER USE

PROJECT NAME: The Oliva at Marsh Creek - Site 3 Date: 10/17/18
 CITY OF: Clayton ETO City: Coastal
 SECTION 02 ESTIMATED TOTAL WATER USE (ETWU) (gallons per year)
 ETWU = ETR x .82 x (SIA + TIA) x .55 + SLA
 Calculate the following for each system (ETC):
 YEARLY ETR (inches per year) 43.2
 CONVERSION FACTOR (by gallons per square foot) 0.82
 ARI (PI - PLANT FACTOR) (gallons per square foot) 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (SIA+TIA) Square Feet 13,089
 SPECIAL LANDSCAPE AREA (SLA) Square Feet 0
 ARI (PI - MAXIMUM EFFICIENCY FACTOR) (maximum) 0.55
 TOTAL ESTIMATED TOTAL WATER USE (gallons/year) 193,411
 TOTAL ACRES FEET 0.68

YEARLY CONVERSION	AC	INCHES	PLANT FACTOR	EFFICIENCY	ETWU	ETWU	ETWU	%
ETWU	ETWU	ETWU	ETWU	ETWU	ETWU	ETWU	ETWU	ETWU
43.2	0.82	0.55	13,089	0	193,411	193,411	100.00	100.00



D LIGHT BOLLARD
12\"/>



C TRASH RECEPTACLE
NTS



B BICYCLE RACK
NTS



A BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS



Project
THE OLIVA ON MARSH CREEK
Clayton, CA
SITE 3
4490 Marsh Creek Road
Clayton, CA 94517

CONSTRUCTION DETAILS 2

Preliminary Design Submittal #2

Date: 10/17/18
 Design by: MCF
 Checked by: MCF
 Date: 10/17/18



T-1 *Arbutus x 'Marina' or Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

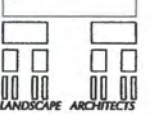


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



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License No.



Contract No.

Project
**THE OLIVIA VAN
MARSH CREEK**
Clayton, CA
ALL SITES

Client
William P. Jordan Trust

Sheet Title

**TREE
IMAGES**

Preliminary Design Submittal #2

Scale
As Shown on Plans

Designed by
MCF

Drawn by
WVF/MCF

Checked by
MCF

Revised

Sheet Name: JOHN L. SETH
Sheet Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number

MEMORANDUM

Date: June 6, 2019
To: William Jordan
From: Steve Gunnells, Chief Economist
Subject: **Economic Analysis of Requested Concessions
Clayton Senior Housing Project**

This memo summarizes the economic analysis conducted for the requested concessions related to the state density bonus law, the Clayton Municipal Code (CMC), and the Housing Element of the Clayton General Plan.

SUMMARY

The proposed project would develop 81 for-rent apartments on three parcels. Seven of the units would be restricted to occupancy by households with qualifying very-low incomes, and all of the units would be restricted to occupancy by residents age 55 and older. The project site comprises three parcels, totaling 3.01 acres. The current general plan land use designation allows a maximum density of 20 units per acre, or 60 total units. Because the proposed project provides 11 percent of the units for very-low income households, it is eligible for a density bonus of 35 percent, or 21 units.

Under the state's density bonus law and the affordable housing regulations of the Clayton Municipal Code, the proposed project is allowed one or two concessions—changes to development standards and other regulatory relief that result in actual cost reductions to provide for affordable-housing costs.

The proposed project includes two requested concessions. The first concession, a reduction in required setbacks to accommodate buildings, parking lots and parking spaces, would reduce total development costs by \$500,000. The second concession, a reduction in the number of parking spaces required for multifamily housing to 62 spaces (0.76 spaces per unit), would reduce the total development cost by \$3,120,540. This memo provides a financial feasibility analysis of the proposed project, with and without the each of the requested concessions. The analysis shows that the proposed project with either of the concessions is not financially feasible. The two concessions are necessary for the project to be financially feasible. From an economic perspective, the requested concessions result in actual cost reductions and are necessary for the project to be developed.

Affordable-housing density-bonus development projects are allowed waivers or reductions in development standards that are necessary to physically accommodate the residential development. The proposed project includes eight such waivers. The memo describes the waivers, but they are not the subject of the financial feasibility analysis.

The analysis finds that the requested concessions are warranted under the state density bonus law and the affordable housing regulations of the City of Clayton. Furthermore, the state density bonus law

states that it is intended to be interpreted liberally in favor of producing the maximum number of housing units. And the Clayton Housing Element, policies I.2 and II.2, commit the City to granting regulatory incentives to projects that provide affordable units.

This memo presents the analysis in seven comment sections:

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COMMENTS

1. Proposed Project

The proposed project encompasses three parcels, all of which are designated in the Clayton General Plan as Multifamily High Density (MHD) and zoned Planned Development (PD). The geographic size of the three parcels is 3.01 acres.

The proposed project will provide three multifamily housing buildings, with a total of 81 rental apartments, as described in Table 1. Seven of the units will be leased at below market rates (BMR) to very-low-income households. All of the units in the proposed project would be restricted to occupancy by residents age 55 and older.

There will be 62 parking spaces, which is 0.76 parking spaces per unit. Forty-five of the units would have one bedroom with an average size of 675 square feet. The other 36 units would have two bedrooms and two bathrooms, with an average size of 950 square feet.

Table 1: Dwelling Unit Descriptions

Unit Type	Number of Units	Average Size (sq. ft.)	Average Unit Rent (\$ per month)	Average Unit Rent (\$ per sq. ft.)
Market Rate Units				
1 Bed / 1 Bath	41	675	\$ 2,000	\$ 2.80
2 Bed / 2 Bath	33	950	\$ 2,400	\$ 2.39
Below Market Rate Units				
1 Bed / 1 Bath	4	675	\$ 800	\$ 1.19
2 Bed / 2 Bath	3	950	\$ 800	\$ 0.84
Project Total				
Total	81	65,675 (unit area) 85,693 (gross floor area)	\$ 166,800	
Unit Average		1,058	\$ 2,059	\$ 2.54

Source: Project Applicant; Colliers International.

2. Regulatory Context

The application of the affordable housing density bonus for this project is subject to four legislative requirements:

2A. State Density Bonus Law

The state's density bonus law for affordable housing (CA Government Code, Section 65915) sets forth the number of density bonus units that a project is eligible for based on the number and types of BMR units provided; establishes a density bonus project's entitlement to incentives or concessions, waivers or reductions of development standards, and reduced parking ratios; and requires cities and counties to adopt an ordinance implementing the state's housing density bonus law.

Although specific portions of the state's density bonus law are discussed in detail in subsequent sections of this report, two provisions are noted here. First, Section 65915(q) directs that unit calculations resulting in a fraction are to be rounded up to the next whole number. Second, Section 65915(r) states, "This chapter shall be interpreted liberally in favor of producing the maximum number of total housing units."

2B. Clayton Affordable Housing Density Bonus Requirements

Clayton's Affordable Housing Density Bonus Requirements (City of Clayton Municipal Code [CMC], Chapter 17.90) is the local ordinance that implements the state's density bonus law. The local ordinance replicates many of the standards in the state law; it also provides specifications for density bonus applications and recording an instrument to legally restrict rents and sales prices for affordable units.

2C. Clayton Housing Element

The housing element of the Clayton General Plan addresses topics required of housing elements by state law. In addition to documenting the need for additional affordable housing, the element also provides goals and policies on housing-related topics, including regulatory relief and incentives. The housing element identifies the need for affordable housing and for senior housing. In addition, provisions of the housing element relevant to waivers and concessions include:

Policy I.2, which states, in part, "...the City shall help facilitate the provision of affordable housing through the granting of regulatory concessions...."

POLICY II.2, which states, "The City shall encourage affordable housing by granting regulatory incentives to projects that provide affordable units."

Quantified Objectives, which sets the objective for construction of at least 26 housing units for very-low-income households.

2D. Clayton Town Center Specific Plan

Adopted in 1990, the specific plan provides land use regulations, development standards, and design guidelines that supersede similar provisions in the citywide zoning ordinance. The specific plan area applies to one of the three parcels in the subject property, 6170 High Street.

3. Density

3A. Allowable Density

Under the current PD zoning of the subject property, the maximum density is governed by the general plan land use designation. The MHD land use designation allows a maximum density of 20 residential

dwelling units per acre. The site encompasses 3.01 acres, so the resulting maximum density is 60 dwelling units.

3B. Density Bonus

The proposed project will restrict seven of the units (11.6 percent of the allowable density of 60 units) to occupancy by households with very-low income. CMC Section 17.90.040.B grants a density bonus of 35 percent to a residential development project that provides 11 percent of the units at affordable costs for very-low income housing. For the 60 units allowed under the existing zoning, the 35 percent density bonus would be 21 additional units, for a total of 81 residential dwelling units. The number of units and the number of BMR units are provided in Table 1.

4. Density Bonus Concessions

State law and the local ordinance refer to “incentives or concessions” as one and the same, but this report uses the single term “concession” for brevity’s sake.

4A. Concessions Defined

Concessions are changes in development regulations applied to a qualified density-bonus housing project, which changes result in identifiable and actual cost reductions to provide for affordable housing costs. Examples of potential concessions include:

- + A reduction in site development standards
- + A modification of zoning requirements
- + A modification of architectural design requirements that exceed minimum building standards
- + A reduction in required setbacks
- + A reduction in in square footage requirements
- + A reduction in the ratio of parking spaces
- + Approval of mixed-use zoning (if the non-residential uses reduce the cost of the housing)
- + Other regulatory incentives or concessions proposed by the developer or city

4B. Number of Concessions

The City’s affordable housing density bonus requirements allow two concessions for a density bonus project that provides 10 percent of the units for very-low-income households (CMC 17.90.100.B). The proposed project, with 11 percent of the units for very-low-income households, includes two requested concessions. The developer reserves the right to add, delete, and/or substitute requested concessions to facilitate entitlement and development of the proposed project.

4C. Setback/Parking Concession

The City’s zoning regulations prohibit buildings and parking lots/spaces in the required setback areas (CMC 17.37.090.A). In order to accommodate the proposed buildings and number of parking spaces outside of the required setbacks, extensive grading, installation of retaining walls, and additional drainage would be required. In consultation with the project’s architects/engineers, the developer has determined that this requirement would add \$500,000 to the cost to develop the proposed project.

The applicant is requesting, as a concession, that the City reduce the required setbacks (CMC 17.20.090, 17.20.100, 17.20.105, 17.020.110, and 17.20.120) to accommodate the proposed project, as shown on the site plan.

4D. Reduction in Required Number of Parking Spaces Concession

Under CMC Schedule 17.37.030A, the proposed number of dwelling units would require 180 parking spaces. The developer has determined that reducing the number of parking spaces to 62 would reduce the project cost by \$3,120,540 by eliminating the need for podium construction or subterranean parking. The applicant is requesting, as a concession, that the City reduce the required parking to accommodate the proposed development.

5. Waivers and Reductions of Development Standards

State density bonus law recognizes waivers and reductions of development standards (CA Gov't Code, Section 65915[e]) as distinct from concessions (CA Gov't Code, Section 65915[d]). State law does not limit the number of waivers or reductions in development standards, and the number of requested waivers and modifications of development standards does not affect the number of concessions to which a project is entitled (CA Gov't Code, Section 65915[e][2]).

5A. Waivers and Reductions of Development Standards Defined

State density bonus law prohibits a jurisdiction from applying "any development standard that will have the effect of physically precluding the construction" of a qualified density-bonus development project with density bonus units and requested concessions. Applicants propose the waivers and reductions of development standards needed to accommodate their proposed projects.

A specific regulatory relief may be requested as a concession or as a waiver. A concession is granted for regulatory relief needed to reduce the development costs in order to provide BMR units. A waiver is granted for regulatory relief needed to physically accommodate a density-bonus residential development project on a site.

5B. Requested Waivers and Reductions of Development Standards

The applicant is requesting eight waivers:

5B(i) Parking Lot Landscaping.

A waiver of the development standards for parking lot landscaping required by CMC 17.37.090.H1, H2, H3, and H5. With the density bonus units and the parking needed for the project to be marketable, the subject properties cannot physically accommodate this development standard. A similar waiver is also requested for the Clayton Town Center Specific Plan design guideline for internal parking lot planting.

5B(ii) Parking Lot Lighting Height.

A reduction in the development standard limiting parking lot lighting to ten feet in height, as set forth in CMC 17.37.90.G. To accommodate the proposed parking and provide sufficient lighting a higher lighting pole is necessary.

5B(iii) Building Separation.

A reduction in the development standard requiring buildings to be at least 20 feet apart, as set forth in CMC 17.20.160. To accommodate the proposed parking a reduced building separation is necessary.

5B(iv) Building Height

A reduction in the development standard that limits the height of multifamily buildings and within 50 feet of abutting single family residential district to 35 feet, as set forth in CMC 17.40.080.

5B(v) Site Plan Review Standard for Size and Bulk.

A waiver of the site plan review standards that new development should protect privacy, views, and be complementary with the adjacent existing structures in terms of size and bulk, which are reductions of the full standard set forth in CMC 17.44.040.E, F, and G. As mentioned in Comment 5A, because the proposed project is an affordable-housing density-bonus project, development standards that physically preclude the proposed project are not applicable. This requested waiver extends this regulatory relief to the corresponding site plan review standard also.

5B(vi) Preservation of Natural Features.

A waiver of the Town Center Specific Plan's site design guidelines that "All mature trees should be retained where feasible," and to "minimize grading and alteration of natural landforms." The specific plan applies only to the property at 6170 High Street, and this waiver request applies only to that property. All three properties are subject to CMC 15.70.030.A.3, which permits tree removal to allow construction of an improvement that is related to a development application, if the improvement cannot be reasonably relocated or modified to retain the subject tree. The proposed project cannot be physically accommodated on the site and preserve the trees.

5B(vii) Covered Parking

A waiver of the development standard that required parking spaces for multifamily dwellings be covered, as required by CMC Schedule 17.37.030A.

5B(viii) Guest Parking

A waiver of the development standard that multifamily dwellings provide 0.5 guest parking spaces per unit, as required by CMC Schedule 17.37.030A.

5C. Review of Requested Waivers and Reductions in Development Standards

Waivers and reductions in development standards are based on physically accommodating the proposed development with the density bonus units and the requested concessions. There is no requirement or standard that the waivers have an economic or financial rationale. Therefore, this report does not provide analysis of the cost or other economic implications of the requested waivers. The developer reserves the right to add, delete, and/or substitute requested waivers and reductions in development standards to facilitate entitlement and development of the proposed project.

6. Economic Analysis of Requested Concessions

As required under state law and the local ordinance, a requested concession should result in identifiable and actual cost reductions to provide for affordable housing costs. To evaluate this requirement, this report provides a pro forma analysis quantifying the expected return on investment for the proposed project with and without the requested concessions.

6A. Pro Forma Analysis

Table 2, at the end of the report, provides the analysis for three scenarios—column A represents the proposed project with only the requested concession for setback/parking, column B represents the

proposed project with only requested concession for number of parking spaces, and column C represents the proposed project with both requested concessions.

In the pro forma, the project description is the same for the three scenarios. The requested concession would not change the site plan, building plan, or occupancy of the residential units. The gross annual revenue and the net operating income are also the same for the three scenarios.

The hard construction costs are the same for the three scenarios. Scenario A includes other cost of \$3,120,540 for podium construction or construction of subterranean parking to accommodate the required number of parking space. Scenario B includes other cost of \$500,000 for grading, retaining walls, and additional drainage to accommodate parking without encroaching into setbacks. The soft construction costs, which are a percentage of the hard construction costs and other costs, also differ. The net result is that the total development cost decreases from \$347,500 per unit under scenario A and \$348,000 per unit under scenario B, to \$336,500 per unit when both requested concessions are factored in.

With both concessions, the total annual return increases from \$511,100 (scenario A) and \$597,500 (scenario B) to \$614,000, and the equity that the developer must invest in the proposed project decreases from \$12,388,000 (scenario A) and \$11,141,000 (scenario B) to \$10,903,000. The resulting return increases to 5.02 percent (measured as the yield) or 5.63 percent (measured as return on equity).

6B. Requested Concession Necessary for Feasibility

In order to attract investment, developers usually need to demonstrate a yield of 5.5 percent or a return on equity of 6.0 percent. Projects with a yield between 5.0 and 5.5 percent (or a return on equity of 5.5 to 6.0 percent) may still be feasible, but the developer may face challenges in attracting equity investment. Projects with a yield below 5.0 percent and a return on equity below 5.5 percent are unlikely to attract equity investment and are considered infeasible.

As the pro forma analysis in Table 2 demonstrates, the requested concessions improve the yield from an infeasible 4.42 percent (scenario A) and 4.92 percent (scenario B) to a marginally feasible 5.02 percent and increases the return on equity from an infeasible 4.13 percent (scenario A) and 5.36 percent (scenario B) to a feasible 5.63 percent. Thus, from an economic perspective, both requested concessions are necessary to reduce costs to provide for affordable housing cost. The density bonus alone is not sufficient, and either concession on its own is insufficient.

7. Findings

The analysis finds that both requested concessions are necessary and warranted under the state density bonus law and the affordable housing regulations of the City of Clayton.

Table 2: Density Bonus Financial Feasibility Analysis of Requested Concession

		A Proposed Project with Set-back/Parking Concession Only		B Proposed Project Reduced Parking Concession Only		C Proposed Project	
<i>Project Description</i>							
(1)	Total Number of Units	81		81		81	
	<i>Market Rate Units</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>
(2)	1-Bedroom	41	675	41	675	41	675
(3)	2-Bedroom	33	950	33	950	33	950
(4)	Subtotal: Market Rate Units	74		74		74	
	<i>Below Market Rate Units</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>
(5)	1-Bedroom	4	675	4	675	4	675
(6)	2-Bedroom	3	950	3	950	3	950
(7)	Subtotal: Below Market Rate Units	7		7		7	
	Floor Area						
(8)	Gross Residential Floor Area (sq. ft.)	64,575		64,575		64,575	
(9)	Gross Common/Service Area (sq. ft.)	21,118		21,118		21,118	
(10)	Total Building Floor Area (sq. ft.)	85,693		85,693		85,693	
	Site Area						
(11)	Total Site Area (sq. ft.)	131,120		131,120		131,120	
<i>Project Revenue</i>							
	Potential Gross Annual Income						
	<i>Market Rate Units</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>
(12)	1-Bedroom	\$984,000	\$2,000	\$984,000	\$2,000	\$984,000	\$2,000
(13)	2-Bedroom	\$950,400	\$2,400	\$950,400	\$2,400	\$950,400	\$2,400
(14)	Subtotal: Market Rate Units	\$1,934,400		\$1,934,400		\$1,934,400	

Table 2 continued

		A Proposed Project with Set-back/Parking Concession Only		B Proposed Project Reduced Parking Concession Only		C Proposed Project	
	<u>Below Market Rate Units</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>
(15)	1-Bedroom	\$38,400	\$800	\$38,400	\$800	\$38,400	\$800
(16)	2-Bedroom	\$28,800	\$800	\$28,800	\$800	\$28,800	\$800
(17)	Subtotal: Below Market Rate Units	\$67,200		\$67,200		\$67,200	
(18)	Total Gross Annual Income	\$2,001,600		\$2,001,600		\$2,001,600	
Expected Cash Flow							
(19)	Less Residential Vacancies	(\$60,048)		(\$60,048)		(\$60,048)	
(20)	Effective Gross Annual Income	\$1,941,552		\$1,941,552		\$1,941,552	
(21)	Less Operating Cost	(\$572,564)		(\$572,564)		(\$572,544)	
(22)	Net Operating Income	\$1,368,988		\$1,368,988		\$1,368,008	
Development Costs							
		<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>
(23)	Hard Cost (ex. other costs below)	\$21,000,000	\$245	\$21,000,000	\$245	\$21,000,000	\$245
Other Costs:							
(24)	- Podium/Subterranean Parking Cost	\$3,120,540		\$0		\$0	
(25)	- Grading/drainage/retaining walls	\$0		\$500,000		\$0	
(26)	Soft Cost	\$4,582,903	\$53	\$4,085,000	\$48	\$3,990,000	\$47
(27)	Land Acquisition	\$2,266,500	\$26	\$2,266,500	\$26	\$2,266,500	\$26
(28)	Total Development Cost	\$30,969,943	\$361	\$27,851,500	\$325	\$27,256,500	\$318
(29)	Total Development Cost per Unit	\$382,345		\$343,846		\$336,500	

Table 2 continued

	A Proposed Project with Set- back/Parking Concession Only	B Proposed Project Reduced Park- ing Concession Only	C Proposed Project
<i>Feasibility Analysis</i>			
(30) Amount Financed	\$18,581,966	\$16,710,900	\$16,353,900
(31) Equity Required	\$12,387,977	\$11,140,600	\$10,902,600
(32) Annual Debt Service	(\$1,149,785)	(\$1,034,011)	(\$1,011,921)
(33) Net Cash Flow After Debt Service	\$219,203	\$334,978	\$357,087
(34) Principal reduction	\$291,893	\$262,501	\$256,894
(35) Total Annual Return	\$511,095	\$597,479	\$613,981
(36) Yield (NOI/Cost)	4.42%	4.92%	5.02%
(37) Return on Equity (Return/Equity)	4.13%	5.36%	5.63%

Notes to Table 2:

1. The number of units and average unit size data (rows 1 to 7) are from the project architect.
2. The gross residential floor area (row 8) is the area for residential dwelling units, derived by multiplying the number of units by the average floor area for each type of unit and summing across the types of units. The gross common area and service area (row 9) is the gross floor area for the lobby, hallways, stairwells, mechanical equipment, etc. and is from the project architect. The total building floor area (row 10) is the sum of the residential floor area (row 8) and the common area and service area (row 9).
3. Average per-unit rents (rows 12, 13, 15, and 16) are based on an analysis and recommendations from real estate brokerage Colliers International. The data reflect the expected lease rates in the first full year of operation. Rents may change over time in response to inflation and other market conditions.
4. The total gross annual income (row 18) is the total rent that would be generated over the course of a year if all residential units were leased for the entire year.
5. Residential vacancies (row 19) represent a 3.0 percent typical vacancy rate, based on recommendations by Colliers International. This datum is the amount of rent that will likely not be realized for time periods when units are vacant during transition between tenants.
6. Effective gross annual income (row 20) is the income that the project is expected to generate. It is derived by subtracting the expected vacancy loss (row 19) from the total annual gross income (row 18).

7. Operating costs (row 21) are based on recommendations by Colliers International and represent approximately 25.5 percent of effective gross income (row 18). Operating costs may change over time in response to inflation and other market conditions.
8. Net operating income (row 22) is a key metric for assessing the financial performance of a for-rent development project. It is derived by subtracting the operating costs (row 21) from the effective gross annual income (row 20).
9. Hard construction cost (row 23) is the total cost for site work and construction, excluding the cost to place utilities underground. The cost estimate was produced by the project architect. Other costs-podium/subterranean parking cost (row 24) is the estimated cost to construct a podium housing product or construct subterranean parking to accommodate the total number of re-quired parking spaces. Other costs-grading/drainage/retaining walls (row 25) is the estimated cost to grade the site, install retaining walls, and install additional drainage to accommodate buildings and parking without encroaching into required setbacks. The cost estimate was provided by the project engineer.
10. Soft construction cost (row 26) includes the costs for architecture and engineering, permitting fees, and so forth. The soft cost is assumed at 19 percent of the hard cost (row 22) and other costs (rows 24 and 25).
11. Land acquisition (row 27) is the price the developer paid to acquire the three properties.
12. The total development cost (row 28) is the sum of the hard construction cost (row 23), other construction costs-underground utility cost (row 24), other costs-grading/drainage/retaining walls (row 25), soft construction cost (row 26), and the land acquisition cost (row 27). The total development cost per unit (row 29) is derived by dividing the total development cost (row 28) by the total number of residential dwelling units (row 1).
13. The amount financed (row 30) represents the portion of the total development cost, 60 percent, that would be covered by the project's permanent financing. The equity required (row 31) is the amount that the developer will have to pay for the proposed project. It is derived by subtracting the amount financed (row 30) from the total development cost (row 28).
14. Annual debt service (row 32) is based on 30-year permanent financing at an annual rate of 4.65 percent.
15. Net cash flow after debt service (row 33) is the annual cash return the project is expected to generate for the owner of the project. It is derived by subtracting the annual debt service (row 32) from the net operating income (row 22).
16. Principal reduction (row 34) is the amount of principal repaid in the first year of debt service, and it is based on the financing terms specified in Note 14. Because the permanent financing is an amortized loan, the amount of principal reduction would increase each year.
17. Total annual return (row 35) is another metric for assessing the financial performance of a for-rent development project. It is the sum of the net cash flow after debt service (row 33) and the principal reduction (row 34).
18. The yield (row 36) is a measure of the project's financial performance, representing the annual project revenue and the total development cost. It is derived by dividing the net operating income (row 22) by the total development cost (row 28).
19. The return on equity (row 37) is another measure of the project's financial performance, representing the amount that the developer puts into the project and the total amount of return in the first full year of operation. It is derived by dividing the total annual return (row 35) in the first year of operation by the equity required (row 31) from the developer.
20. Actual numbers in Table 2 may vary plus or minus depending on market conditions at time of construction and completion.

July 23, 2019

To: David Woltering
Director of Community Development
City of Clayton

From: Dino Serafini
Michael Baker International

RE: PEER REVIEW OF ECONOMIC ANALYSIS OF MARSH CREEK SENIOR HOUSING PROJECT

The following is our analysis of the Economic Analysis of Requested Concessions prepared by PlaceWorks (EA) dated June 6, 2019, for the Olivia on Marsh Creek senior housing/affordable housing project in the City of Clayton.

In accordance with our scope for this review:

1. We have assessed the market-rate and affordable rents and the estimated operating costs of the project to verify whether the net income assumptions in EA are reasonable and comparable to the local rents and industry standards
2. Reviewed the cost of parking/setback and parking reduction concessions.
3. We have conducted an independent pro-forma analysis resulting in return on investment and internal rate of return for the three scenarios:
 - a. The proposed project with both requested concessions
 - b. The project with only the parking/setback concession (parking allowed within the required zoning setback) but not the parking reduction to 62 spaces.
 - c. The project with only the parking reduction to 62 spaces (no parking/setback concession so that parking will not occupy the required setback).
4. We considered the waivers and modifications to development standards requested by the developer in addition to the concessions and have qualitatively evaluated those which might impact the project's financial performance.

Project Rental Rates

The monthly market-rate rents assumed for the project: \$2,000 for 1-bedroom units and \$2,400 for 2-bedroom units are reasonable for area. These rental rates are comparable to those in Concord (we did not find many apartments advertised for rent in Clayton). Very few apartment advertisements exceeded the rates assumed for the project.

Affordable Rents

Per CMC 17.90.020 the maximum housing costs for very low-income households is 30 percent of 50 percent of the area median income (AMI) for the given household size. For a 2-person household the Contra Costa County AMI is \$83,500 and is \$73,100 for single-person household.

The affordable housing cost is \$1,044 ($30\% \times 50\% \times 83,500/12$) for a 2-person household and \$914 ($30\% \times 50\% \times 73,100/12$) for a single-person. The EA gives \$800 per month for affordable unit rents for both the 1-bedroom and 2-bedroom units, which is about 23 and 26 percent of the 2-person and 1-person monthly income limits, respectively. However, the housing cost should include a utility allowance, which the PlaceWorks EA does not indicate. Adding a 15 percent utility allowance would increase the housing cost to \$920, about the equivalent of what the maximum cost is for a single-person household. The 2-bedroom units could be priced up to about \$900 (a total housing cost of \$1,035, including 15 percent utilities) and still comply with affordable cost limits.

Operating Costs and Net Operating Income

At about \$573,000, the assumed annual cost of operating the project might be low. No separate line item allowance is given for property tax, insurance, management, capital reserve, or maintenance. It is assumed that these costs are all included in the \$573,000 annual operating cost, which is about 28.7 percent of gross rent. Subtracting property tax of 1 percent of the project cost (including land), the remainder provides \$3,400 per year per unit for the other costs. For comparison, the National Apartment Association in its 2018 survey, reports operating costs of 35 percent (including taxes) of gross potential income for properties less than five years old. With \$2 million gross annual rent, the project's operating costs would be \$700,000 at 35 percent. Therefore, the net operating income (NOI) of about \$1.37 million for each of the scenarios might be overstated. A lower NOI would negatively impact the project's return on investment.

Construction and Other Costs

The "hard" construction costs for the three scenarios (that is, the structural and site costs common to all three scenarios) are the same \$21,000,000 for the 81-unit project. The cost per gross building area of \$245 per square foot is reasonable since this cost must include site development, utilities, landscaping, common area construction and surface parking. The cost differential between the scenarios is the cost of the structured parking (\$3,120,000) required without the parking reduction concession, and the grading and retaining walls (\$500,000) necessary without the setback/parking concession. Soft costs vary between the scenarios due to the additional design and engineering required for these elements. Land acquisition is \$2.67 million—the same for all three scenarios.

Financing and Return on Investment

All scenarios assume the same basic financing arrangement: permanent, fully-amortized 30-year financing of 60 percent of the total project development cost at 4.65 percent interest. Construction and lease-up will occur in one year. The first year of payment on principal is assumed as part of the first year's annual return.

We reviewed the calculations of return on investment and agree with the results of the three scenarios. The 5 percent return on investment feasibility threshold seems low for a land

development project, but this return is achieved after debt service. One thing to note is that the model does not include contingencies or a developer's fee, so we are assuming the 5 percent return must include those factors. The EA could have modeled other financing arrangements that are common to land development, such as an interest-only construction loan with interest due only on the construction draw (which tends to reduce financing costs). The thinking may be that, with the relatively short construction and lease-up period of one year, the analysis with the permanent loan would yield the same results.

Alternative Internal Rate of Return Model

To provide an alternative financial scenario this peer review presents a pro-forma that assumes the project will be sold to an investor/management entity. This may or may not be the case for this project, but it provides a useful comparison and validation of the financial performance presented in EA by using an alternative approach.

Financial Analysis of the Proposed Project

Our alternative analysis also assumes construction and "full-occupancy" in one year (the alternative model assumes the same 3 percent long-term vacancy rate as in the EA). We applied a 1 percent annual increase in rents. Other than applying a 2 percent increase in operating costs, we did not change the operating cost assumptions. The first-year NOI of \$1.38 million in our alternative model for the proposed project (with both concessions) is slightly higher than the PlaceWorks EA NOI of \$1.37 million. For our model, we assume interest-only construction financing at the same 4.65 percent. The alternative financial model shows a slightly lower return on equity of 5.47 percent versus 5.63 percent of the PlaceWorks EA, the difference is not significant and is due to the lower NOI in the first year.

Another common and useful financial metric for land development is the internal rate of return (IRR). The IRR provides the aggregate rate of return of the stream of net income over a period. At the end of the period the project is sold and the net proceeds (less the loan principal) is included in the stream of income. An IRR of 10-13 percent is the target for apartment projects. The proposed project's IRR is 4.4 percent based on a sales price of approximately \$28.5 million and net proceeds of \$11.6 million after repayment of the loan principal and brokerage fees. The sales price is based on a capitalization rate of 5 percent³. The IRR assumes sale of the project at the end of the third year after completion of construction, allowing the NOI to increase due to rental rate increases. Note that the IRR approach is highly sensitive to the sales price, which in turn is subject to the local market for apartment projects. The utility of the IRR approach is that it allows comparison to alternative investments. In this case, the proposed project is somewhat better than a "zero-risk" 10 year U.S. treasury note, currently yielding 2 percent.

³ The project's sale price is estimated as the NOI divided by the capitalization rate. The market capitalization rate for Contra Costa County is 5.79 percent for apartment projects. The low 5 percent cap rate assumed for the project is due to the new construction.

Financial Analyses: Other Scenarios

The alternative model is applied to the project without the requested concessions. As expected, all things being equal, the added development costs result in higher financing costs and lower returns (as presented in the EA the NOI is not much affected by the lack of concessions).

The EA calculates return on equity of 4.13 percent and 5.36 percent for the project with only the setback/parking concession and with only the reduced parking concession, respectively.

The IRR analysis for the scenarios is presented in the table below; these calculations also assume the sale will occur after a three-year holding period after the construction is completed:

Project Scenario Pro-Forma Summary

	Setback/Parking Concession Only	Reduced Parking Concession Only
Sales Price	\$28,546,945	\$28,546,945
Principal Balance	(\$18,526,618)	(\$16,691,256)
Closing costs & commissions	(\$570,930)	(\$570,930)
Net proceeds (less commission and closing costs)	\$9,449,397	\$11,284,759
Equity Contribution	(\$12,936,211)	(\$11,654,669)
Net return on operations to close of escrow (NOI minus interest on construction loan)	\$975,625	\$1,209,340
First year Return on Equity (show for model comparison)	3.92%	5.40%
Internal Rate of Return	(7.3%)	2.5%

As expected, the lack of concessions results in much less favorable financial performance. The IRR is negative in the setback/parking only scenario, illustrating the effect of the situation where the net proceeds of the sale plus the annual returns from operations do not cover the equity contribution. For this scenario the holding period would need to be several years longer

for an acceptable IRR. For the reduced parking only scenario, the IRR indicates the project is only marginally better than investing in 10-year treasury-notes.

Some caveats with both the PlaceWorks EA and the alternative models:

1. These analyses assume that the concessions do not impact the NOI to any great degree. The implication here is that increased supply of off-street parking does not carry a rental rate premium. It might be the case that the project with the structured parking might command higher rents.
2. No provision is made for low income housing tax credits. If LIHTC could be applied to the affordable units, the project financing burden could be reduced. The credits would apply to all scenarios regardless of the concessions, however they could help to improve each scenarios' financial performance.
3. The general economic conditions affecting the project may be in flux. There is some uncertainty about whether interest rates will remain at their current low levels going forward. Construction costs have been high relative to net income particularly for housing. Raising rents to maintain even the relatively low financial performance of the project might be difficult for this target market.

Project Waivers and Reductions in Development Standards

The project developer is requesting eight waivers in addition to the two concessions described above. The justification for the waivers is the physical necessity to reduce or eliminate the applicable standards in order to construct the project. The EA states that there is no requirement for financial analysis of the waivers. However, among these waivers are the following that could have financial implications for the project:

- **Parking Lot Landscaping**—it not clear in the EA whether the waiver request is for internal parking lot landscaping to be eliminated altogether. In any event, the savings in the cost of installing the landscaping and in the maintenance may have a significant effect on financial performance.
- **Preservation of Natural Features**—The cost to preserve trees on-site could be substantial; the City may want to know what the savings are.
- **Covered Parking**—It is not clear why the elimination of covered parking is needed. It is assumed that the development cost in the EA was based on uncovered spaces. However, from the site plan it appears that many, or most, of the spaces are in garages or under carports. How many of the remaining spaces would not be covered and what is the cost savings?
- **Guest Parking**—Eliminating the guest parking of one-half space per unit is a significant reduction. From our review of the project's site plan, it is not clear why the waiver is needed there appears to be space available for a number of guest parking spaces.

Conclusions

We found the EA and its assumptions to generally reasonable and supportable with no errors or inconsistencies. The items we question that may have a bearing on the project's financial feasibility are:

1. Based on the AMI income limits of a 2-person, the affordable rents for the 2-bedroom units could be increased from \$800 to \$900 per month. However, the increased annual revenue of \$3,600 for the three 2-bedroom affordable units would be negligible in terms of return on equity or the IRR of any of the scenarios.
2. The annual operating costs appear to be low, increasing these costs would negatively affect the financial performance

Kimley»Horn

MEMORANDUM

To: William Jordan

From: Ben Huie, P.E.
California Professional Engineer #C76682
Kimley-Horn and Associates, Inc.

Date: June 10, 2019

Subject: The Olivia on Marsh Creek Parking Study – Final Memorandum

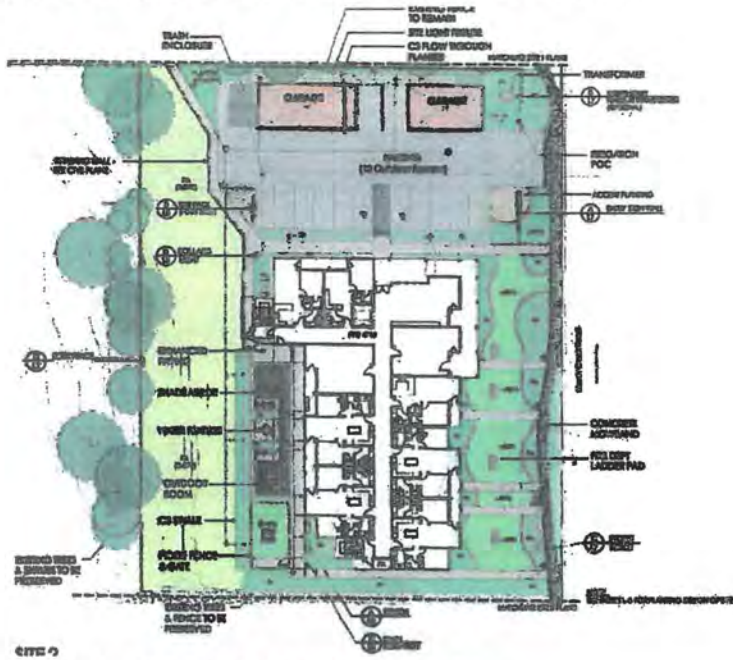
A senior active adult housing project, restricted to residents 55 years or older, is proposed to be constructed on three different sites at 6170 High Street, 6450 Marsh Creek Road, and 6490 Marsh Creek Road in Clayton, CA. The senior housing units are located at the southwest corner of the intersection of High Street and Marsh Creek Road. Figure 1 illustrates the location of the three senior adult housing sites in relation to adjacent uses in Clayton, CA. Since the project will be taking advantage of the lower parking requirements as afforded by the State Density Bonus law, a parking study is being requested for this proposed project to confirm if adequate parking is provided for the proposed project. This memorandum describes a quantitative analysis and presents the finding that The Olivia on Marsh Creek provides sufficient parking spaces to meet estimated demand.

Figure 1 – Study Area



Source: Google Maps

Figure 3 – Proposed 6450 Marsh Creek Road Site Plan



Source: MD Fotheringham Landscape Architects

Figure 4 – Proposed 6490 Marsh Creek Road Site Plan



Source: MD Fotheringham Landscape Architects

Methodology

PARKING SUPPLY

Proposed Supply

The senior adult housing project is proposing to provide 0.76 parking spaces per unit for a total of 62 parking spaces for all three sites. Parking spaces for each site will consist of outdoor surface lot parking spaces and garage parking spaces.

CLAYTON PARKING REQUIREMENTS

The City of Clayton's Parking Requirements are based on the multi-family dwelling land use classification in the City of Clayton's Municipal Code.¹ The following are the parking requirements for multi-family dwelling units:

- For one bedroom, 1.5 vehicle spaces are required, one (1) of which should be covered
- For two or more bedrooms, two (2) vehicle spaces are required, one (1) of which should be covered
- For guest parking, 0.5 spaces are required

The required parking for the proposed senior adult housing project is estimated and shown in Table 1. Site 1, Site 2, and Site 3 are required to provide 64.5, 58.5 and 57 parking spaces. Therefore, the project is required to provide a total of 180 parking spaces, and 105 of which should be covered. Since the project is proposing to provide 21, 20, and 21 parking spaces for Site 1, Site 2, and Site 3, respectively, for a total of 62 parking spaces, the proposing parking spaces does not meet the City's parking requirement. However, since the project will be providing very low-income housing, it would be eligible for a parking reduction per the state density bonus law.

¹ City of Clayton Municipal Code, *Off-Street Parking Space Requirements Schedule 17.37.030A*, August 2017

Table 1 – City of Clayton Municipal Code – Parking Requirements

Site	# of Bedrooms	One Bedroom		# of Bedrooms	Two Bedrooms		Total Required Spaces	Proposed Parking Supply	Meets City Parking Requirement?
		Required # of Parking Spaces per Unit (Including Guest Spaces)	Subtotal Requirement (Spaces)		Required # of Parking Spaces per Unit (Including Guest Spaces)	Subtotal Requirement (Spaces)			
Site 1	21	2	42 total	9	2.5	22.5 total	64.5 total	21	No
Site 2	13	2	26 total	13	2.5	32.5 total	58.5 total	20	No
Site 3	11	2	22 total	14	2.5	35 total	57 total	21	No
Total	45	–	90	36	–	90	180	62	–

DENSITY BONUS PARKING REQUIREMENTS

As a senior adult housing development that limits residency based on age requirements, and given that the project meets Civil Code Sections 51.3 and 51.12, the project may be qualified for a restriction to the minimum parking requirement pursuant to the state density bonus law, Government Code Section 65915(p)(1). Additional reductions may be applicable if the criteria for Section 65915(p)(2) or Section 65915(p)(3)(A, B, or C) is met. However, the project does not meet the criterion for the additional reductions based on the following description:

- Section 65915(p)(2) – The project is not located within a ½ mile of a major transit stop as described in Section 21155 and Section 2064.3 of the Public Resources Code
- Section 65915(p)(3)(A) – The project is not located within a ½ mile of a major transit stop as described in Section 21155 and Section 2064.3 of the Public Resources Code
- Section 65915(p)(3)(B) – The project is restricted to residents of 55 years or older, rather than 62 years or older
- Section 65915(p)(3)(C) – The project is not intended as a special needs housing development.

Therefore, the project will only meet Section 65915(p)(1) which states the following parking requirement for the proposed project:

- Zero to one bedroom: one on-site parking space
- Two to three bedrooms: two on-site parking spaces
- Four or more bedrooms: 2.5 on-site parking spaces

Table 2 provides the parking requirements based on the above density bonus criterion.

Table 2 – Density Bonus Parking Requirements

Site	One Bedroom		Two Bedrooms		Total Required (Spaces)	Proposed Supply (Spaces)	Meets Requirement?
	# of Bedrooms	Requirement (Spaces)	# of Bedrooms	Requirement (Spaces)			
Site 1	21	21	9	18	39	21	No
Site 2	13	13	13	26	39	20	No
Site 3	11	11	14	28	39	21	No
Total	45	45	36	72	117	62	-

As shown in Table 2, based on the modified parking requirement allowed through the density bonus, the project is required to provide 39 parking spaces for each site, or 117 parking spaces total. Since the project is proposing to provide 21, 20, and 21 parking spaces for Site 1, Site 2, and Site 3, respectively, for a total of 62 parking spaces, the proposed parking spaces does not meet the City's parking requirement.

However, based on Government Code Section 65915(d), the project is allowed to request for two concessions since the project provides at least 10 percent of very low-income housing. Therefore, the project is requesting that one of the two requested concessions be a reduction in the number of required parking spaces to 0.076 parking spaces per unit, or 62 total parking spaces. The City shall grant this concession unless the concession does not result in identifiable and actual cost reductions, unless the concession would have a specific, adverse impact, or unless the concession would be contrary to state or federal law. Placeworks prepared a technical memorandum² showing that this concession would provide a cost reduction. To show that this project would not adversely impact the surrounding parking, a parking demand analysis was completed.

PARKING DEMAND

Proposed Parking Demand

Parking demand is typically estimated using the Institute of Transportation Engineers (ITE) *Parking Generation Manual*. This is a reference based on parking surveys throughout the country. The parking demand for the senior adult housing was estimated based on parking data for Senior Adult Housing – Attached (ITE Land Use Code 252).³ According to ITE, the 85th percentile demand rate is 0.66 spaces per dwelling unit. Applying this rate to the proposed 81 dwelling units results in a parking demand of approximately 53 parking spaces. The parking demand for each site is provided in Table 3.

Table 3 – Proposed Parking Supply vs. ITE Parking Demand

Site	Dwelling Units	Proposed ITE Parking Demand	Proposed Parking Supply	Meets ITE Parking Demand?
Site 1	30	20	21	Yes
Site 2	26	17	20	Yes
Site 3	25	16	21	Yes
Total	81	53	62	-

As shown above, each site provides sufficient parking to meet the proposed parking demand and the total proposed parking supply of 62 parking spaces meets the total proposed demand of 53 parking spaces. Therefore, the project’s request for a parking concession to reduce the parking requirement to 0.76 parking spaces per unit meets the estimated ITE parking demand of 0.66 parking spaces per unit.

² Placeworks, *Economic Analysis of Requested Concessions, Clayton Senior Housing Project*, June 29, 2019.

³ Institute of Transportation Engineers, *Parking Generation, 4th Edition*.

CONCLUSIONS

It is proposed that a senior adult housing development be constructed at 6170 High Street, 6450 Marsh Creek Road, and 6490 Marsh Creek Road in Clayton, CA. The project proposes to construct a total of 81 units and would provide 62 total parking spaces. Since the project is providing very low-income housing, it qualifies for a parking reduction per the state density bonus law, Government Code Section 65915 (p)(3)(B). The proposed project is eligible for a modified parking requirement of 117 total parking spaces or 39 parking spaces for each site. Since the project is providing 62 total parking spaces, the project does not meet the modified parking requirements. Therefore, the project is requesting as one of its two concessions, to reduce the parking requirement to the proposed parking supply of 0.76 parking spaces per unit or 62 total parking spaces. Based on the ITE parking demand for senior adult housing, it was estimated that the parking demand for the proposed project will result in 53 total parking spaces. Since the project is providing 62 total parking spaces, the proposed supply is sufficient to meet the proposed parking demand. Therefore, the proposed concession to reduce the parking requirement will meet the ITE parking demand. Based on this study, it is our professional opinion that the senior adult housing in Clayton, CA provides adequate parking supply to meet the parking demand.

ClaytonSeniorHousingParkingStudy.FinalMemoV2 With MBI Comments 7-23-19.pdf Markup Summary

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This statement suggests that the project has applied and is consistent with State Density Bonus Law reduced parking requirements. This is not accurate. The project is requesting that a further reduction in parking to a parking ratio that is below the Density Bonus Law parking requirements shown in Table 2. The lower parking ratio being offered by the project is being requested to be granted as a secession that is offered by the Density Bonus Law as an additional form of assistance. In this case the requested concession is a Waiver or Reduction of Development Standards and the parking study has been performed to assess if adequate parking will be provided for the project and if this waiver will cause an impact.

ATTACHMENT I



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While it is acknowledged that the project consists of three sites, the parking discussion should treat the individual sites separately since they are not contiguous and the total parking cannot be considered as a "pool" of parking that can be shared by all of the units. The tables correctly treat the sites separately when comparing parking supply to demand however the discussion of "parking rate provided should" should also be quantified for each site.



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As stated in the previous comment, parking supply and demand analysis for non-contiguous sites should be treated each site separately. According to the City's municipal code: "When the calculation of the required number of parking, loading, or bicycle spaces results in a fractional number, a fraction of one-half or more shall be adjusted to the next higher whole number of spaces." Therefore, Site 1 requires 65 spaces, Site 2 requires 59 spaces and Site 3 requires 57 spaces. A total of 181 parking spaces are required for the three sites. State Government Code 65915 requires all non-whole numbers in parking space calculations to be rounded up to the next whole number so the cumulative parking requirement for the three sites would also be 181 spaces.

For one be
For two or

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Replace with "For dwelling units with one"

existing existing area

- For one bedroom, 1,
- For two or more bedrooms covered
- For guest parking, 0,

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Replace with "For dwelling units with two or more....."

of
Bedrooms

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Replace "Bedrooms" with "Dwelling Units"

of
Bedrooms

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Replace "Bedrooms" with "Dwelling Units"

64.5 total
58.5 total

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This number should be rounded up to 65 spaces

64.5 total
58.5 total
57 total

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This number should be rounded up to 59 spaces.

Map

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These total numbers are not relevant to the parking analysis since the sites are not contiguous.

of Bedrooms
9

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Replace with "Dwelling Units"

of Bedrooms
21

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Replace with "Dwelling Units"

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These total numbers are not relevant to the parking analysis since the sites are not contiguous.

39	21
39	20
39	21
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Note that the deficiency in the proposed supply is significantly less (49% less) than the reduced parking requirements allowed by the Density Bonus Law

39	20
39	21
117	62

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Note that the deficiency in the proposed supply is significantly less (46% less) than the reduced parking requirements allowed by the Density Bonus Law

Required (Spaces)	Supply (Spaces)
39	21
39	20
--	--

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Note that the deficiency in the proposed supply is significantly less (46% less) than the reduced parking requirements allowed by the Density Bonus Law. Also note that the reduced spaces required by the Density Bonus Law is only 60% of the 65 spaces required by the City for Site 1.



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This should read "does not meet the reduced State's Density Bonus Law parking criteria"

Zero to

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Add "Units with zero....."

Two to

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Four or

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Add "Units with four....."



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It should be noted that this portion of the State's Density Bonus Law recognized that transit priority areas have reduced personal vehicle ownership and parking needs that would substantiate a lower parking requirement. This suggests that further reductions of the already reduced Density Bonus Law parking requirements are not acknowledged without good transit service. Furthermore, the lower parking ratio granted for developments that restrict rentals to individuals who are 62 years of age or older, recognizes that auto ownership and active driving status is substantially reduced as compared to residents between the ages of 55 and 62.

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It should be noted that the ITE Parking Generation Manual only one source for parking generation/demand data. There should be more discussion about the applicability of the ITE data to the proposed Olivia on Marsh Creek project. The parking data included in the ITE Senior Adult Housing (LU Code 252) is based on three sites that are all located in PA and the data was collected in 2008. The description of the sites surveyed does not indicate whether the age restricted aspect of the sites included in the surveys were for ages 55 and above or ages 62 and above. The reality of current economic conditions require many persons between the ages of 55 and 65 to maintain a working status and this affects the automobile ownership and driver status of the residents of the project. More recent research that has been performed on senior housing development in California has found that developments that are restricted to residents of age 55 and older generate more parking demand than those restricted to residents of age 62 and older.

The parking analysis does not provide any discussion of of the local setting that has a bearing on parking requirements. The project is located in a rural area that has limited shopping and employment opportunities. Additionally, the area has limited transit service. These factors have an influence on the auto ownership characteristics of individuals that will chose to live in the Project housing in that they will be more reliant on personal automobiles.

Project Site 1 is the only site that has available on-street parking in the event that the proposed 21 spaces are later determined to be inadequate. If the Project Sites 2 and 3 parking supply is later found to be inadequate, there is no on-street parking available on Marsh Creek Road. Residents or visitors who cannot find on-site parking would likely seek nearby on-street parking within the Stranahan Residential Subdivision. This potential impact has not been identified or discussed.



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The proposed Project parking ratios range from 0.70 to 0.84 spaces per unit and has a composite ratio of 0.76 spaces per unit. Clayton's code parking rate for multifamily housing results in a composite ratio of 2.23 spaces per unit. The proposed Project parking rate is only 34% of the City code rate.

By comparison, the California Density Bonus Law parking requirement results in a composite rate of 1.44 parking spaces per unit for 55+ senior housing. This California-based parking criteria is almost double the proposed Project parking rate.

It is common practice in many cities to set the senior age restricted housing parking rate at 50% of the standard rate for multifamily housing. Each city sets its parking rates and anticipated parking demand based on local conditions. If this practice is applied to the Clayton code rate, the Project would require a parking ratio of approximately 1.11 spaces per unit or 90 spaces. This rate, though lower, is fairly consistent with the State's rate for senior housing.

It is MBI's opinion that the Project parking analysis does not demonstrate that the proposed Project parking rate of 0.76 spaces per unit is reasonably consistent with California parking experience, nor does it provide sufficient evidence that the significantly reduced parking supply proposed for the Project will not cause parking impacts in the adjacent residential neighborhoods.

SBCA TREE CONSULTING

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Steve Batchelder, Consulting Arborist

WC ISA Certified Arborist #228

CUFC Certified Urban Forester #134

CA Contractor License #(C-27) 53367

E-mail: steve@sbcatree.com

Molly Batchelder, Consulting Arborist

WC ISA Certified Arborist #9613A

ISA Tree Risk Assessment Qualified

E-mail: molly@sbcatree.com

Date: January 25, 2018

To: Bill Jordan
PO Box 547
Clayton, CA 94517

Subject: Addendum to December 7, 2015: Tree Survey Report.

Location: 6490 Marsh Creek Road, Clayton

Assignment: SBCA Tree Consulting was asked return to the property to survey the row of cypress trees noted but not surveyed in the prior report and to provide tree protection guidelines for trees proposed to be retained.

Introduction

Appendix 1 provides the augmented survey data. *Appendix 2* provides the tree locations, with numbers that correspond to the metal number tags and survey data in *Appendix 1*. Due to the narrow distance between the cypress trees, not all tree numbers are used in the tree location map. All trees qualify as a "Tree" by City ordinance as all are over 15 feet in height; none qualifies as "Protected Trees".

Applicable City of Clayton Tree Ordinance

D. "Tree" means a live woody plant having a single perennial stem or a multi-stemmed perennial plant which is over fifteen (15) feet in height at maturity.

E. "Trunk Diameter" means the diameter of a tree trunk as measured four (4) feet, six (6) inches above natural grade.

Summary

The 2015 survey identified thirty-nine (39) trees on or adjacent to the site. The earlier survey utilized number tags #67-105. The recent survey recorded data on an additional 47 Italian Cypress trees not surveyed in the original report. Tag numbers utilized for the survey now include #67 through #152, with a total of 85 trees surveyed. The 47 cypress trees qualify as "Trees" but do not qualify as "Protected Trees".

ATTACHMENT J

Most numerous species – Italian Cypress (*Cupressus sempervirens*) is represented by (52) trees. The row of forty-seven (47) Italian Cypress is located on the north property line.

Table 1 – (Revised Species Information) Forty-seven Italian Cypress trees have been added to the prior survey data.

Species	Common Name	No. trees	No. of Protected Trees	No. Trees on Prop. line or Street	Suitability for Retention
<i>Ailanthus altissima</i>	Tree of Heaven	1	0	1	Poor
<i>Cupressus sempervirens</i>	Italian Cypress	52	0	0	Good
<i>Cupressus arizonica</i>	Arizona Cypress	1	0	1	Poor
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum	1	0	0	Good
<i>Eucalyptus sideroxylon</i>	Cider Gum	2	0	1	Poor
<i>Juglans hindsii</i>	Black Walnut	1	1	0	Poor
<i>Juglans regia</i>	English Walnut	1	0	1	Fair
<i>Malus spp.</i>	Flowering Crabapple	1	0	0	Fair
<i>Pinus halepensis</i>	Aleppo Pine	2	0	0	Good-Fair
<i>Pinus pinea</i>	Italian Stone Pine	1	0	0	Fair
<i>Pinus radiata</i>	Monterey Pine	7	0	0	Fair-Poor
<i>Pistacia chinensis</i>	Chinese Pistache	4	0	4	Street Trees
<i>Populus fremontii</i>	Fremont Poplar	1	1	1	Poor
<i>Prunus cercifera</i>	Cherry Plum	1	0	0	Poor
<i>Quercus douglasii</i>	Blue Oak	2	2	2	Fair-Poor
<i>Quercus lobata</i>	Valley Oak	4	4	3	Good
<i>Robinia pseudoacacia</i>	Black Locust	1	0	0	Fair
<i>Salix babylonica</i>	Weeping Willow	1	0	0	Poor
<i>Sequoia sempervirens</i>	Coast Redwood	2	0	0	Poor
Totals:		85	8	14	

End Report

Report Submitted By:

Steve Batchelder

Steve Batchelder, Consulting Arborist
ISA Certified Arborist WE 228A
CaUFC Certified Urban Forester #138
Calif. Contractor Lic. (C-27) 533675

Appendix Items:

1. Tree Survey Data
2. Tree Location Map



Photo Supplement



Photo above shows the row of 47 Italian Cypress trees that has been added to the survey data for 6490 Marsh Creek Road.

Supplemental Report Submitted By:

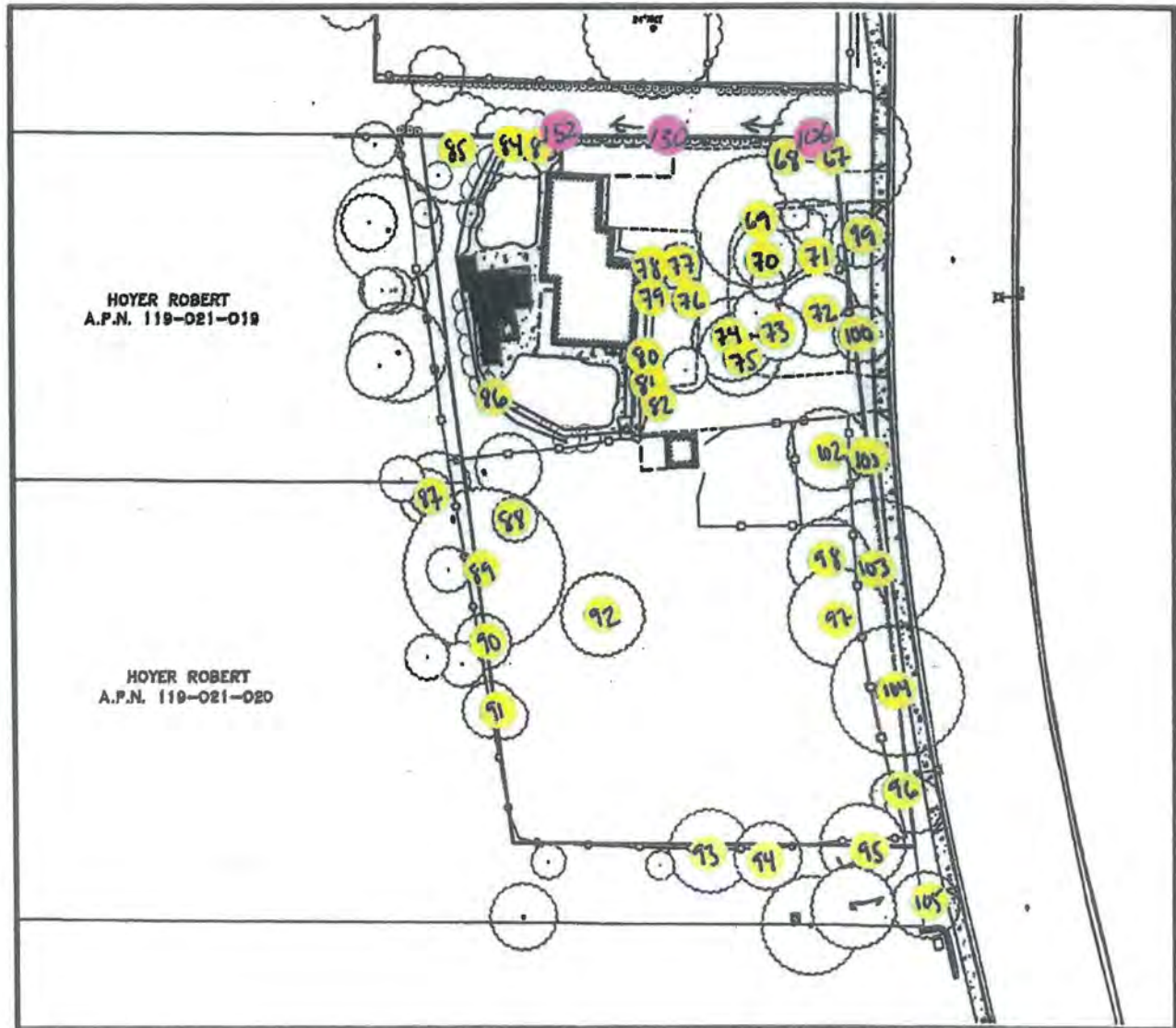
Steve Batch

*Steve Batchelder, Consulting Arborist
ISA Certified Arborist WE 228A
CaUFC Certified Urban Forester #138
Calif. Contractor Lic. (C-27) 533675*



Appended Tree Location Map

Red dots indicate row of Italian Cypress trees #106 thru #152. These trees were not included in the earlier survey conducted in 2015.



COLUMN HEADING DESCRIPTIONS

Tag# - Indicates the number tag attached to tree

Species - Scientific name

Common Name - Vernacular name

DBH - Diameter measured in inches at 4.5 feet above soil grade, unless otherwise indicated

Height - In feet

Spread - In feet

Health -Tree Health: E is Excellent, G is Good, F is Fair, P is Poor, D is Dead or Dying

Structure- Tree Structural Safety: E is Excellent, G is Good, F is Fair, P is Poor, H is Hazardous

Protected Tree? - As per City of Clayton Tree Ordinance: Y is Yes, N is No

Suitability for Retention - Based on Tree Condition: G is Good, F is Fair, P is Poor

Notes - See below

ABBREVIATIONS AND DEFINITIONS

Embedded Bark (EB) - AKA Included Bark, this is a structural defect where bark is included between the branch attachment so that the wood cannot join. Such defects have a higher propensity for failure.

Codominant (CD) - A situation where a tree has two or more stems which are of equal diameter and relative amounts of leaf area. Trees with codominant primary scaffolding stems are inherently weaker than stems, which are of unequal diameter and size.

Codominant w/ Embedded Bark (CDEB) - When bark is embedded between codominant stems, failure potential is very high and pruning to mitigate the defect is recommended.

Notes

Dead Wood (DW) - Interior dead branches noted in tree.

End Weight Reduction (EWR) - Reduction of end branch end weight recommended to reduce potential for limb failure.

Internal Decay (ID) - Noted by sounding with a mallet or visible cavities/large pruning wounds.

Multi (Multi) - Multiple trunks/stems emanate from below breast height (4.5' above soil grade).

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
67	<i>Quercus lobata</i>	Valley Oak	17.5	30	45	G	G	Y	G	CD, High voltage power lines
68	<i>Juglans hindsii</i>	California Black Walnut	17.5	25	25	D	H	Y	P	Dead, Hazardous
69	<i>Robinia pseudoacacia</i>	Black Locust	24.5	50	50	F	P	N	F	CDEB x 2

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
70	<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum	13.5	60	40	G	G	N	G	
71	<i>Pinus halepensis</i>	Aleppo Pine	28	70	55	G	P	N	F	Lean, CDEB
72	<i>Pinus halepensis</i>	Aleppo Pine	32.5	70	50	G	G	N	G	CD
73	<i>Eucalyptus sideroxylon</i>	Red Iron Bark	11	25	20	G	P	N	P	PP
74	<i>Pinus radiata</i>	Monterey Pine	21	60	30	G	G	N	G	Nice tree
75	<i>Pinus pinea</i>	Italian Stone Pine	15	30	50	G	F	N	F	Lean, Large pruning cuts
76	<i>Pinus radiata</i>	Monterey Pine	7	20	15	P	P	N	P	Crack, Dieback
77	<i>Prunus cerasifera</i>	Purple Leaf Plum	9	25	20	G	P	N	P	CDEB
78	<i>Cupressus sempervirens</i>	Italian Cypress	9	40	5	G	G	N	G	
79	<i>Cupressus sempervirens</i>	Italian Cypress	9	40	5	G	G	N	G	
80	<i>Cupressus sempervirens</i>	Italian Cypress	7.5	35	5	G	G	N	G	Crowded
81	<i>Cupressus sempervirens</i>	Italian Cypress	6.5, 5.5	20	6	G	G	N	G	Crowded
82	<i>Cupressus sempervirens</i>	Italian Cypress	8.5	40	5	G	G	N	G	Crowded
83	<i>Sequoia sempervirens</i>	Coast Redwood	14	30	15	F-G	F	N	P	Topped, Not suitable for under powerlines
84	<i>Sequoia sempervirens</i>	Coast Redwood	12.5	30	15	F-G	F	N	P	Topped, Not suitable for under powerlines

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
85	<i>Pinus radiata</i>	Monterey Pine	22.5	45	30	F-P	G	N	P	Dieback
86	<i>Malus spp.</i>	Apple	3, 3.5	15	15	G	G	N	F	
87	<i>Eucalyptus sideroxylon</i>	Red Iron Bark	13, 12	40	40	G	P	N	P	CD, one stem gone, On property line
88	<i>Pinus radiata</i>	Monterey Pine	16	30	50	G	P	N	P	Significant lean, Large trunk wounds
89	<i>Juglans regia</i>	English Walnut	29	25	45	G	F	N	F	Multi, Large trunk wound, On property line
90	<i>Quercus douglasii</i>	Blue Oak	7	25	15	P	P	Y	P	On property line, 60% girdled trunk
91	<i>Cupressus arizonica</i>	Arizona Cypress	8	25	20	G	P	N	P	On property line, Fallen over, Large pruning wounds
92	<i>Pinus radiata</i>	Monterey Pine	13	25	25	F	F	N	F	Large trunk wound, Lean, Stressed
93	<i>Populus fremontii</i>	Fremont Poplar	27	50	30	P	P	N	P	On adjacent property, Headed, DW, High voltage power lines
94	<i>Quercus lobata</i>	Valley Oak	10.5	25	25	G	F	Y	P	On adjacent property, High voltage power lines
95	<i>Quercus lobata</i>	Valley Oak	9, 15.5	55	50	G	G	Y	G	On property line, Nice tree
96	<i>Ailanthus altissima</i>	Tree of Heaven	6	20	20	G	G	N	P	In fence
97	<i>Pinus radiata</i>	Monterey Pine	20.5	60	30	F	G	N	F	Stressed
98	<i>Pinus radiata</i>	Monterey Pine	16.5	30	25	F	F	N	P	In canopy of oak
99	<i>Pistacia chinensis</i>	Chinese Pistache	6	25	30	F	F	N	G	Street tree

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
100	<i>Pistacia chinensis</i>	Chinese Pistache	7.5	25	30	G	G	N	G	Street tree
101	<i>Pistacia chinensis</i>	Chinese Pistache	5	25	30	G	G	N	G	Street tree
102	<i>Salix babylonica</i>	Willow	15	10	10	P	P	N	P	Headed
103	<i>Quercus lobata</i>	Valley Oak	26.5	60	65	G	F	Y	G	Street tree, High voltage power lines, but pruning was ok, Lean
104	<i>Quercus douglasii</i>	Blue Oak	24.5	25	50	F-G	F	Y	F	Street tree, High voltage power lines
105	<i>Pistacia chinensis</i>	Chinese Pistache	4.5	25	20	G	G	N	G	Street tree, Lean
106	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
107	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
108	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
109	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
110	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
111	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
112	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
113	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
114	<i>Cupressus sempervirens</i>	Italian Cypress	3	20	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
115	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
116	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
117	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
118	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
119	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
120	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
121	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
122	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
123	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
124	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
125	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
126	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
127	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
128	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
129	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
130	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
131	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
132	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
133	<i>Cupressus sempervirens</i>	Italian Cypress	4, 4.5	25	2	G	G	N	G	North property line row
134	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
135	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
136	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
137	<i>Cupressus sempervirens</i>	Italian Cypress	4, 3	25	2	G	G	N	G	North property line row
138	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
139	<i>Cupressus sempervirens</i>	Italian Cypress	8	25	2	G	G	N	G	North property line row
140	<i>Cupressus sempervirens</i>	Italian Cypress	5, 3	25	2	G	G	N	G	North property line row
141	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
142	<i>Cupressus sempervirens</i>	Italian Cypress	7	25	2	G	G	N	G	North property line row
143	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
144	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
145	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
146	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
147	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
148	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
149	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
150	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
151	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
152	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row

June 14, 2019

David Woltering
Interim Community Development Director
City of Clayton
6000 Heritage Trail
Clayton, CA

Subject: Infill Exemption Environmental Analysis for Clayton Senior Housing Project

Dear Mr. Woltering:

The City of Clayton retained Raney Planning & Management, Inc. (Raney) to determine whether the Clayton Senior Housing Project satisfies criteria (c) and (d) of the Class 32 Infill Exemption included in the California Environmental Quality Act (CEQA) Guidelines. The specific conditions identified in the Class 32 Infill Exemption in the CEQA Guidelines are as follows (specific emphasis has been added for criteria (c) and (d)):

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*
- (b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*
- (c) ***The project site has no value as habitat for endangered, rare or threatened species.***
- (d) ***Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.***
- (e) *The site can be adequately served by all required utilities and public services.*

The applicant team prepared several technical studies for the project, which provide information needed to determine whether the project satisfies criteria (c) and (d). To that end, the Raney team performed peer reviews of the applicant-prepared reports to determine their adequacy. The technical reports for the Clayton Senior Housing Project are as follows:

- *6170 High Street/6450 Marsh Creek Road, 6490 Marsh Creek Road – Revised Biological Constraints Assessment Survey Results (November 6, 2018), prepared by Olberding Environmental;*
- *Air Quality & Greenhouse Gas Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 24, 2018);*
- *Noise & Groundborne Vibration Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 21, 2018); and*
- *Clayton Senior Housing Trip Generation Study Final Letter (May 8, 2017), prepared by Kimley Horn.*

The following section provides a summary of Raney's review of the technical biological, air quality, noise, traffic, and water quality studies.

Biological

Raney has determined that the methods employed by Olberding Environmental are in general conformance with industry standard practice for biological assessments. For example, the report includes a search of the California Natural Diversity Database (CNDDDB) maintained by the California Department of Fish and Wildlife, and reports the special-status species recorded within an extended radius around the project site (presumably 5 miles). The initial peer review comments provided by Raney to the City on September 19, 2018 have been adequately addressed in the final November 6, 2018 report. The report concludes that the project site has no value as habitat for endangered, rare or threatened species, consistent with criteria (c) of Infill Exemption 15332.

Air Quality

Raney has concluded that the Air Quality/Greenhouse Gas analysis was completed in accordance with current industry standards, and in compliance with the recommended guidance of the Bay Area Air Quality Management District (BAAQMD). The general methodology of the Technical Memorandum included estimating potential air quality and greenhouse gas (GHG) emissions from construction and operation of the proposed project, using the most-up-to-date version of the California Emissions Estimator Model (CalEEMod) software. To assess the adequacy of the Air Quality/GHG analysis presented in the Technical Memorandum, Raney reviewed the methods, assumptions, and CalEEMod outputs provided by Ambient Consulting. The initial peer review comments provided by Raney to the City on July 20, 2018 and September 7, 2018 have been adequately addressed in the final September 24, 2018 report. The report concludes that the proposed project would result in construction and operational emissions below the BAAQMD's thresholds of significance. Thus, the proposed project would not result in any significant air quality effects, consistent with criteria (d) of Infill Exemption 15332.

Noise

Raney hired j.c. brennan & associates, Inc., a noise technical expert, to perform a technical peer review of the project-specific noise and vibration study. j.c. brennan & associates reviewed the report methodology and results and determined that the report was completed in accordance with current industry standards and adequately addresses whether the proposed project would exceed the City of Clayton's General Plan Noise Element and/or Noise Ordinance standards. The report concludes that the proposed project would result in operational noise levels below the relevant City noise thresholds. With respect to construction noise, the report correctly notes that construction activities occurring between the allowable hours specified in Clayton Municipal Code Section 15.01.101 are not subject to the City's noise level thresholds. Per City Ordinance, construction hours for the project would be limited. Thus, the proposed project would not result in any significant noise effects, consistent with criteria (d) of Infill Exemption 15332.

Traffic

Raney consulted with Abrams Associates Traffic Engineering, Inc. to advise on the accuracy of a Trip Generation Study prepared for the proposed project by Kimley Horn. On May 9, 2018, Abrams Associates confirmed that the method of analysis used in the Trip Generation Study was correct, and that the resulting trip estimates are accurate. The Trip Generation Study concludes that the proposed project would generate 16 AM peak hour trips and 19 PM peak hour trips using the ITE Trip Generation Manual. The expected AM and PM peak hour trips are well below the Contra Costa Transportation Authority's 100 peak hour trip threshold for warranting a traffic impact analysis. Additionally, the nearby intersection of Marsh Creek Road/Clayton Road was analyzed and it was determined that the intersection would not be impacted by the relatively small increase in trips in the vicinity. Thus, the proposed project would not result in any significant traffic effects, consistent with criteria (d) of Infill Exemption 15332.

Hydrology

The City Engineer has reviewed the proposed project's potential to significantly effect water quality in the vicinity and has determined that compliance with existing stormwater regulations would ensure no significant adverse water quality effects would occur, as the following will demonstrate. The proposed project would implement the City of Clayton development standards, as well as adhere to all regulations set forth by the Regional Water Quality Control Board, including Section C.3 of the Municipal Regional Storm Water Permit. Additionally, the proposed project would adhere to all requirements for sewerage collection and purveyance of drinking water enforced by the Contra Costa Water District. The City Engineer determined that the proposed project would not introduce any extraordinary issues that would negatively impact water quality on the project site or in the surrounding area. Thus, the proposed project would not result in any significant water quality effects, consistent with criteria (d) of Infill Exemption 15332.

Conclusion

As discussed above, the project site does not contain valuable habitat for endangered, rare or threatened species. Based on an air quality analysis conducted for the proposed project, emissions of criteria pollutants associated with the project would not exceed applicable thresholds established by BAAQMD. Additionally, as determined by the technical studies, the proposed project would be consistent with all applicable regulations set forth by the City and Contra Costa County with regard to noise and traffic. Finally, the City Engineer has evaluated the project site plans and determined that the proposed project would not create any significant adverse effects to water quality on the project site or in the surrounding area. Based on the above, the Clayton Senior Housing Project would satisfy the Infill Exemption conditions (c) related to biological resources and (d) related to air quality, noise, traffic, and water quality.

Exceptions to Categorical Exemptions

Even if a project is ordinarily exempt under any of the categorical exemptions, CEQA Guidelines Section 15300.2 provides specific instances where exceptions to otherwise applicable exemptions apply. The following is a discussion of any possible exceptions to the CEQA exemption.

Criterion 15300.2(a): Location

This exception only applies to CEQA exemptions under Classes 3,4,5,6, or 11. Since the proposed project qualifies as a Class 32 Infill Exemption, Criterion 15300.2(a) would not apply.

Criterion 15300.2(b): Cumulative Impact

The project site is currently designated Multifamily High Density Residential in the Clayton General Plan and zoned Planned Development. The proposed project is consistent with the site's General Plan and zoning designations. Therefore, impacts of the project have been anticipated by the City and analyzed in the General Plan EIR. Furthermore, the proposed project would not create a significant impact related to modification of habitat for endangered, rare, or threatened species, air quality, noise, traffic, or water quality. Thus, the overall effects of the proposed project would be less than significant and would not contribute to significant cumulative impacts.

Criterion 15300.2(c): Unusual Circumstances

The proposed project would develop a senior housing facility on a project site currently planned for residential development. As discussed above, the Biological Assessment determined that the site does not contain any suitable habitat for endangered, rare, or threatened species; and, such species are not anticipated to occur on-site. Additionally, the project site has not been identified as a source of potentially hazardous materials or waste contamination which could pose a risk to surrounding residents. Based on the above, the project site is not affected by any unusual circumstances. Thus, the exception regarding significant effects on the environment due to unusual circumstances would not apply.

Criterion 15300.2(d): Scenic Highway

The project site would not be located within view of any Officially Designated Scenic Highway. Interstate 680 (I-680), an Officially Designated Scenic Highway, is located approximately 7.5 miles southwest of the project site; however, I-680 would not provide views of the project site.¹ Thus, the exception regarding scenic highways would not apply.

Criterion 15300.2(e): Hazardous Waste Sites

The Cortese List, consisting of databases identified in California Government Code Section 65962.5, was consulted to identify sites with known hazardous materials or waste contamination within or adjacent to the project site; however, none were found. Thus, an exception to the Class 32 exemption based on the presence of a hazardous waste site would not apply.

Criterion 15300.2(f): Historical Resources

The City of Clayton's *Heritage Preservation Task Force Report* includes a list of any potentially historic resources located within the City, including historic resources listed on either the California Register of Historical Resources or the National Register. Based on the Report, the existing on-site structures are not listed as historical resources and the project site does not contain any other structures which are considered historic by the City. In addition, the project site is located within an urbanized area of the City of Clayton and is surrounded by development. Thus, archaeological and paleontological resources are not anticipated be present at or near the project site. Therefore, the exception based on presence of historical resources would not apply.

Conclusion

Based on the above discussions, the proposed project would be consistent with the General Plan and zoning designations. Consistency with such would ensure that the project would not result in any cumulative impacts which have not already been anticipated by the City. In addition, the project site does not contain any unusual circumstances. Finally, the project site is not within view of a Scenic Highway, identified as a source of hazardous materials, and does not contain any recorded historic resources. Based on the above, the proposed project would not meet any of the exception criteria for a Class 32 Infill Exemption.

Please contact me at (916) 372-6100 if you have any questions regarding this Infill Exemption analysis.

Sincerely,

Nick Pappani
Vice President
Raney Planning and Management, Inc.

¹ California Department of Transportation. *California Scenic Highway Mapping System Contra Costa County*. Accessed June 2019. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/.

Minutes
Clayton Planning Commission Meeting
Tuesday, November 12, 2019

1. CALL TO ORDER, ROLL CALL, PLEDGE TO THE FLAG

Chair Peter Cloven called the meeting to order at 7:00 p.m. at Hoyer Hall, 6125 Clayton Road, Clayton, California.

Present: Chair Peter Cloven
Vice Chair A.J. Chippero
Commissioner Bassam Altwal
Commissioner Frank Gavidia

Absent: None

Staff: Interim Community Development Director David Woltering
Assistant Planner Milan Sikela, Jr.
Contract City and Regional Planning Consultant Holly Pearson

2. ADMINISTRATIVE

- 2.a. Review of agenda items.
- 2.b. Declaration of Conflict of Interest.
- 2.c. Commissioner Bassam Altwal to report at the City Council meeting of November 19, 2019.

3. PUBLIC COMMENT

Allison Snow expressed concerns about slope movement and structural integrity issues related to two properties, and the residences on those two properties, located at 8053 Kelok Way and 3034 Miwok Way in Clayton.

4. MINUTES

- 4.a. Approval of the minutes for the October 22, 2019 Planning Commission meeting.

Vice Chair Chippero moved and Commissioner Gavidia seconded a motion to approve the minutes, as amended. The motion passed 4-0.

ATTACHMENT E

5. PUBLIC HEARINGS

- 5.a. **ENV-01-17, DBA-01-19, SPR-04-17, TRP-24-17; Environmental Review, Density Bonus, Site Plan Review Permit, Tree Removal Permit; William Jordan; 6170 High Street (APN: 119-021-063), 6450 Marsh Creek Road (APN: 119-021-055), and 6490 Marsh Creek Road (APN: 119-021-063).** Review and consideration of a request for an California Environmental Quality Act (CEQA) Infill Exemption, Density Bonus, Site Plan Review Permit, and Tree Removal Permit for a three-parcel project site measuring a combined total of approximately three acres to be developed with three, three-story buildings (one building per parcel) consisting of a combined total of 81 units of rental senior housing, a community room, fitness center, and coffee bar. Seven of the units are proposed to be deed-restricted for very low income households. The project will include approximately 86 off-street parking spaces.

Interim Director Woltering introduced Contract City and Regional Planning Consultant Holly Pearson and then presented the staff report.

Commissioner Altwal had the following comments and questions:

- So if the project provides 15% of the units as very low income then that would result in the project being entitled to a 35% density bonus? Interim Director Woltering indicated that was correct, given that 10% to 15% of the units being provided as very low income would result in the 35% density bonus.
- Since the project entail three separate building with each building located on a separate parcel, this project should be treated as three separate projects.
- With regard to density bonus law, Section 65915 of the State Government Code indicated that the calculations for number of very low income should be rounded up which would result in a requirement for nine very low income units—three very low income units per parcel—rather than the seven very low income units being proposed by the applicant.
- In looking at the definition of affordable units, the per-unit rent is classified as \$800 per month for both one-bedroom units and two-bedroom so the rent would be the same regardless of the number of bedrooms? Interim Director Woltering indicated that the intent of affordable housing law is not to have a household spend more than 30% of its household income on direct housing expenses.
- According to the affordable housing cost calculation, the maximum rent for a one-bedroom unit would be \$914 and for a two-bedroom unit would be \$1,044; so if the occupant spends more than \$914 for the unit, then the unit would no longer be considered a very low income unit. Planning Consultant Holly Pearson indicated that, based on the affordable housing calculation, the rental amount is determined by the household income rather than by the unit size. Interim Director Woltering added that an affordable housing agreement would be established in order to conduct monitoring and regular reporting performed by a third party paid by the property owner in order to ensure that the applicable State and Federal income verification criteria would be adhered to and that people who meet the criteria would be housed in the project.

- Concerned about the number of parking spaces proposed. Interim Director Woltering explained that, as indicated in the peer review parking analysis, 180 spaces would be the high end amount of parking spaces but in communities where senior projects are established, often one half of the required spaces are allowed which, for the Olivia on Marsh Creek project, would be 90 spaces and, with the 86 parking spaces provided, the project would provide approximately the number of spaces needed as adjusted for senior living facilities.

Vice Chair Chippero had the following questions and comments:

- Do rental units count toward the Regional Housing Needs Allocation (RHNA) amount for Clayton? Interim Director Woltering indicated that rental units count toward RHNA as well as for-sale units and this project would provide seven low-income units and a surplus of moderate-income units.
- Did the City require the applicant to submit a three-story project? Interim Director Woltering said the City did not require any number of floors. The applicant had initially submitted a two-story proposal but the structural length of the building in the initial proposal was too long and did not comply with the Town Center Specific Plan architectural guidelines which, in part, encourage breaking up excessively long facades into smaller components. As a result, staff asked the applicant to revise the plans to comply with these guidelines and the current proposal is what the applicant submitted; however, staff did not suggest nor imply that the revised proposal be three stories in height.
- What projects in the Town Center received parking waivers? Interim Director Woltering indicated that three projects total have received parking waivers but only two of the three projects have been constructed: Flora Square and Bocce Courts. The other project to receive parking exemptions, Creekside Terrace, has not been constructed.
- Does the Stranahan subdivision have public or private streets? Interim Director Woltering indicated that the Stranahan subdivision contains public streets.
- Would be interested to know how long it takes on public transportation during commute hours to get from the project site to the nearest Bay Area Rapid Transit (BART) station.
- Since storypoles were used on the proposed Clayton Community Church project, it may be good to use storypoles for this project. Interim Director Woltering indicated that, from staff's perspective, the two sites are different. The setting for the subject project site is different than the former Clayton Community Church project site in that the subject project site backs up to a steep slope with neighboring residences to the west being much higher in elevation than the project with negligible visual impacts in terms of views being blocked whereas the former Clayton Community Church project site was level and extremely visible in all directions.
- Are the exterior signs proposed for the project a requirement? Interim Director Woltering indicated that exterior signage was not required by the staff.
- Does State law pre-empt local regulations regarding density bonus? Interim Director Woltering responded, yes, State law pre-empts local regulations.

Commissioner Gavidia had the following questions and comments:

- Have concerns regarding the economic necessity vs financial viability for the project.
- It appears that staff worked extra hours to complete and distribute the staff report for the project. Interim Director Woltering indicated that, as is typical for larger projects in communities with small staffing, a complex project of this nature can take additional time to process and prepare for a meeting.
- I think installation of storypoles would be beneficial given the potential impacts to the scenic corridor along Marsh Creek Road.
- What was the rationale behind the City increasing the density of the project site from 15 units per acre to 20 units per acre. Interim Director Woltering indicated densities were increased related to General Plan Housing Element mandates in order to facilitate the production of affordable housing.
- Why the difference of four parking spaces between the target number of 90 spaces as addressed in the peer review parking report and the 86 spaces proposed by the applicant. Interim Director Woltering indicated that other competing interests come into play such as trash enclosures, landscaping, etc. The applicant removed garages and carports to achieve 90 spaces and was able to provide 86 spaces which, from staff's perspective, fell within a reasonable range of the target amount of 90 spaces.
- Concerned that, given the definition of age restriction at 55 years, many people will have children that drive vehicles which results in far more spaces than 86 and there may be some overflow impacts.
- It would appear that, given 6170 High Street being located in the Town Center Specific Plan area, the project should be treated as separate projects with one lot subject to Town Center Specific Plan guidelines and the other two lots treated differently as they are outside of the Town Center Specific Plan area.
- Concerned we are losing two mature trees on the 6170 High Street parcel. Planning Consultant Holly Pearson indicated that the trees would need to be removed in order to allow for on-site installation of State-required stormwater facilities.
- Concerned that the replacement trees being proposed do not appear on the City's list of approved trees.
- Would the City be impacted by public service costs as a result of the project? Interim Director Woltering indicated that there would be increased costs for services as well as increased revenue generated by the project.
- Request an explanation as to how the project was defined as an Infill development. Interim Director Woltering explained that the project qualifies as an Infill development based on the determination that the project complies with all the criteria listed in Section 15332 of the CEQA guidelines.

Chair Cloven indicated that many of his questions were answered based on the questions asked by the other Planning Commissioners and had the following questions and comments:

- The project should be compliant with the CMC standard of review that the project does not have to be identical but should be complementary with adjacent existing structures in terms of materials, colors, size, and bulk.

- As with the other Planning Commissioners, I have concerns over the off-street parking proposed for the project, parking impacts to the Stranahan subdivision, number of compact spaces factored in, and the determination that removing covered parking and garages would increase the number of off-street parking spaces. Interim Director Woltering indicated that the rationale behind removal of the garages was based on garages being more commonly used for storage rather than for parking. By removing the garages, the parking spaces would then be used for parking rather than for storage.
- How would the age of the tenants being 55 or older be verified? Interim Director Woltering indicated that a third party administrator would be hired by and paid for by the property owner in order to ensure that the main tenants of each unit would fall into the age-restricted category of 55 years old.
- The Planning Commission may wish to challenge the CEQA determination that the project would not cause traffic impacts and, as a result, it would be beneficial to have the City Attorney attend the next meeting as the Planning Commission continues to review the project. Interim Director Woltering indicated that the City Attorney would attend the next Planning Commission meeting and that the public hearing for the project would likely be continued and would benefit from her attendance.

The public hearing was opened.

Charlie Knox, planning consultant for the developer, described aspects of connectivity between the three parcels as related to pathways and explained that the first iteration of project design began five years ago but, as we have moved forward through time, we think a senior project would generate less traffic and create less impacts. He indicated that, had the developer proposed a 62-and-older project, State law requires only 0.5 spaces per unit which would have resulted in far less off-street parking spaces than the 86 spaces being proposed.

Leila Hakimzadeh, architectural consultant for the developer, described various architectural aspects of the project and how these proposed attributes comply with the Town Center Specific Plan architectural guidelines.

William Jordan, the developer, explained the history of the project and described the hard work involved in bringing a quality project before the Planning Commission with an emphasis on integrating the proposal into the fabric of the community.

The following questions were asked of the developer as well as comments provided by the Planning Commission:

- Was the increase in the number of units as a result of the density range being modified from 15 units per acre to 20 units per acre? Mr. Jordan responded yes.
- What happens in the instance that the first year a senior tenant moves into one of the very low income units by qualifying based on only living on social security but then the next year retirement benefits commence and suddenly the tenant is earning much more money? Mr. Jordan indicated that the senior tenant would have the option to either move to a moderate income unit or move out of the complex.

- Regarding the coffee bar and anticipated employees serving the tenants, this may lead to yet more impacts to the off-street parking.
- It would be beneficial to incorporate solar into the project.
- As part of the proposed transportation management plan, are there any other transportation options to reduce the parking burden other than public transportation? Mr. Jordan indicated that zip cars would be a possible option.

The following comments were expressed in opposition to the project as provided by Dan Hummer, Joanna Welch, Brian Buddell, Irina Liskovich, Dan Manista, Kent Ipsen, Dana Pinault, Doug Rogers, Brian Kreft, Wendi Laughlin, and Tony Gianni:

- There is insufficient off-street parking proposed for the project.
- Public safety is a concern in terms of the volume of traffic generated by the project and how the traffic will impact the busy Marsh Creek Road corridor.
- There will be view impacts to residences located within the Stranahan subdivision.
- Drought conditions will be exacerbated by the increased use of water.
- Impacts to sewer capacity are a concern.
- Requiring compact parking spaces seems presumptuous since we cannot predict the size of cars that tenants will drive.
- Appears to be infeasible to have the City hire out for an age and income monitoring consultant that would be paid for by the developer.
- Concerned over impacts caused by drainage, water use, medical personnel, police personnel, ambulance sirens, reduction of property values, and fire safety ingress and egress.
- The Planning Commission's job is to protect our community from projects such as this.
- The parking overflow will impact the Stranahan subdivision, Town Center, and the Village Oaks parking lot.
- The project should be vetted better with all the issues addressed.
- Concerns over people in their 50s and 60s bringing their entire family to live in Olivia on Marsh Creek the project which will cause many more young people to live in the project.
- I do not trust real estate agents to be good developers.
- The project will impact the privacy of surrounding properties.
- In defense of former Community Development Director Mindy Gentry, Ms. Gentry did not require the developer to propose a three-story project.
- Drainage, traffic, circulation, and environmental concerns should be addressed.
- Storypoles should be used for the project.
- The massing of the project is too large.
- The quaintness of our community will be ruined by the project.
- It is a misrepresentation to identify Olivia on Marsh Creek as a senior living facility.
- While not opposed to the project, the shortfall in off-street parking is a concern.
- Typically, each person has their own car.
- Using parking comparison examples from the east coast is irrelevant to conditions in California.
- Even locally, conditions in San Francisco are not conducive to using a car; however, in rural areas a car is necessary.

- It would be detrimental to Clayton to approve the project with the limited on-site parking being proposed.
- I own four cars so it would be expected that residents of this project would have more than one car.
- Replacement trees can take many years to mature.
- I think a project of this type would benefit from including people with disabilities which would reduce traffic and parking impacts.
- I understand that change will happen, but the project just seems so large.
- Marsh Creek Road is dangerous and I worry that the project will just make the dangerous traffic conditions worse.
- We have so many festivals in the Town Center where people park their cars in the Stranahan subdivision. The project would exacerbate the parking impacts.
- I have lived in Clayton for 40 years.
- This project is not a good fit for Clayton.
- We have Clayton-specific standards that we have to adhere to and a three-story building does not comply with our community standards.
- The project would ruin the aspects that we love about our community and disrupts the ambience of Clayton.
- Why are we considering a three-story project when no one else has been allowed to build a project that tall?
- Storypoles are crucial to assist the community in understanding how the project will appear.

The following comments were expressed in support of the project as provided by Adam Harris, Dee Vieira, Michael Jordan, Robert Hoyer, Howard Geller,

- I commend Mr. Jordan on his hard work in bringing a quality project before the Planning Commission and I think he has done an excellent job in being dedicated to our community.
- I embrace change and it is unrealistic to expect a developable infill property to remain vacant forever.
- Property owners of vacant lots have a right to develop their properties.
- The impacts to our infrastructure caused by the project are minimal.
- Affordable housing is needed in the Bay Area.
- Mr. Jordan is also a Clayton resident and he has put a lot of effort into proposing a quality project that he, his family, and the community would be proud of.
- The project benefits the community by helping people 55-and-older to afford to move to Clayton.
- It appears that Mr. Jordan has gone above and beyond to comply with applicable requirements and propose a quality project.
- I would ask Mr. Jordan that, in order for the project to increase the benefits to our community, could you enhance this project by sponsoring a parcourse along the Donner Creek Trail which would be a perk for everyone in our community to use to better the health and longevity of our citizens.
- We have anticipated the negative response to the project from this community.
- Every comment in opposition to the project entails a "not in my back yard" attitude.
- I have lived in Clayton for 59 years and I can remember when none of the subdivisions that exist today were built yet.
- There were only 800 people in Clayton when I first moved here.

- I remember when there was a beautiful orchard where the Stranahan subdivision is now located. I loved looking at the orchard but I didn't stare at the orchard all day.
- I remember when the City approved the construction of 1,800 units in the Keller Ranch and Oakhurst areas of Clayton. Many people were opposed to the construction of so many homes in the hills of Clayton yet none of the concerns expressed at that time ever became issues.
- The people opposed to the Olivia on Marsh Creek project don't realize that there was community opposition to the construction of the subdivisions that they now live in.
- Change is part of the developable evolution of our community.
- I think this is a very good project.
- Of course there are project-related issues to iron out, but professional experts have provided studies related to the parking.
- If a prospective tenant were to have four cars, the owners of Olivia on Marsh Creek could make the decision not to rent to them.
- The parking impacts can be mitigated.
- Mr. Jordan has proposed a quality development.
- The issues around parking are easily solved by not renting to prospective tenants that have too many cars. It's a problem that is easily solved.
- Mr. Jordan has worked for many years to make this project viable.
- The State has mandated affordable high density projects and encourages this type of development.

The public hearing was closed.

Interim Director Woltering indicated that, given the further research needed by staff and the legal questions provided by the Planning Commission, it would be helpful to continue to public hearing.

Commissioner Altwal and Vice Chair Chippero asked the following questions:

- Are storypoles required for projects? Interim Director Woltering indicated that installation of storypoles is not a mandatory requirement.
- Why were storypoles provided for the former Clayton Community Church project? Interim Director Woltering indicated that the reason storypoles were required for the formerly-proposed Clayton Community Church project was because the setting for the former Clayton Community Church project site was level and extremely visible in all directions.
- Why were storypoles provided for a two-story residence located on Bigelow Street? Interim Director Woltering indicated that, as with the Clayton Community Church project site, the setting for the Bigelow Street residence was quite prominent and was extremely visible in all directions as well as being located in close proximity to adjacent residential properties.

By consensus, the Planning Commission agreed that more time was needed to review the project and allow for further research to be conducted as well as to provide an opportunity for the City Attorney to attend the public hearing.

Commissioner Altwal made a motion and Vice Chair Chippero seconded a motion to continue the public hearing to the regularly-scheduled Planning Commission on December 10, 2019. The motion passed 4-0.

6. OLD BUSINESS

None.

7. NEW BUSINESS

None.

8. COMMUNICATIONS

8.a. Staff — None.

8.b. Commission — None.

9. ADJOURNMENT

9.a. The meeting was adjourned at 11:25 p.m. to the regularly-scheduled meeting of the Planning Commission on December 10, 2019 with the consideration that the regularly-scheduled Planning Commission meeting on November 26, 2019 would be cancelled.

Submitted by
David Woltering, AICP, MPA
Interim Community Development Director

Approved by
Peter Cloven
Chair

Staff Responses to Questions raised at the November 12, 2019 Planning Commission Meeting regarding Olivia on Marsh Creek 81-Unit Senior Housing Project

1. Provide clarification of State Density Bonus Law, including Concessions and Waivers, pertaining to the subject project? Does the City have discretion to deny the request for the Density Bonus, Concessions, and/or Waivers?

State Density Bonus Law is found in Government Code Sections 65915 – 65918. If a development provides the required affordable housing, the applicable Density Bonus must be provided by the local jurisdiction. A city cannot deny Concessions and Waivers, unless it can find that the threshold requirements for the Concessions and/or Waivers do not exist or after making specific findings that the approval of the Concessions/Waivers would have a specific, adverse impact upon health, safety, or physical environment, and for which there is no feasible method to satisfactorily mitigate or avoid the impact or find that to grant the Concessions/Waivers would be contrary to State or Federal law. These findings can be difficult to make and an applicant is entitled to attorney's fees and costs for any denial in violation of density bonus law.

2. How did the current General Plan, Specific Plan, and Zoning designations/classification come to be for the three subject parcels that are part of this application?

The current Multifamily High Density Residential General Plan (20 units per acre) and Multi-Family High Density Residential Town Center Specific Plan (15.1 to 20 units per acre) designations, and the Planned Development District (PD) zoning classifications have been the results of re-designations and re-classifications over time in response to State mandates for communities to assign designations and classifications to properties at higher densities that can facilitate the production of affordable housing to meet Regional Housing Needs Allocation (RHNA) assignments and be eligible to receive certification of General Plan Housing Elements from the State Department of Housing and Community Development (HCD). Not having a certified Housing Element by HCD can result in not being eligible for State grants, fines and penalties, and possible loss of local land-use decision-making authority. While a 20 units per acre Multifamily High Density General Plan designation is appropriate for a community of the size and geographical characteristics of the City of Clayton, this designation can have a much higher allowance for units per acre in more urbanized communities.

ATTACHMENT F

3. How was it determined that the allowed density bonus for this project should be of seven units (State Density Bonus Law, Section 65915)? Is the developer required to apply for a Density Bonus?

The overall project site is just over three acres in size and the allowed density, given the General Plan and Specific Plan designations at 20 units per acre, is 60 units. If the applicant offers between 10% and 15% of the allowed units to Very Low Income households, a 35% density bonus must be granted to the applicant. 35% of 60 units is 21 units; accordingly, the applicant is proposing an 81-unit senior residential apartment development comprised of 74 market-rate units and seven units deed-restricted to Very Low Income households.

The developer is not required to apply for a Density Bonus. However, it should be noted that in the City's adopted and certified 2015-2023 Housing Element, the State Regional Housing Needs Allocation (RHNA) for the period 2014-2022 for the City of Clayton has a combined target housing production goal of 141 housing units across all income categories. The City has produced 10 units thus far and none in the Very Low or Extremely Low categories, which have production targets of 26 and 25 housing units, respectively. While local communities are not typically builders of housing, their role, as envisioned through State housing law, is to facilitate private construction of housing to achieve RHNA housing production targets through implementation of their goals, policies, and programs in their respective adopted and State-certified Housing Elements. Each year in April, local jurisdictions must report to State HCD on their progress towards meeting the RHNA targets and completing their Housing Element Program goals in what is referred to as an Annual Progress Report (APR).

4. What does the City's State certified Housing Element, which is part of the City's adopted General Plan, state about the subject properties?

The subject properties are identified as housing opportunity sites that were purposefully designated at Multifamily High Density (20 units per acre) to achieve State HCD mandated requirements that local jurisdictions facilitate the production of affordable housing by designating properties at those higher densities so that private developers could feasibly produce affordable housing. The City's General Plan specifically assumes that these properties will be developed with apartments and/or condominiums at two-stories or higher and would facilitate the production of affordable housing in support of RHNA housing production targets.

5. Why is it important for a local jurisdiction to maintain a certified Housing Element?

Maintaining a State certified Housing Element by demonstrating to HCD a good faith effort and actual progress toward implementing the goals, policies, and programs in a jurisdiction's General Plan Housing Element helps assure that a local community retains its eligibility to apply for and obtain State grants/funds; avoids fines, penalties, and litigation; and, retains local land-use authority.

6. What are the anticipated traffic and circulation impacts of the proposed project? Describe the assumptions and methodologies used in analyzing the traffic and circulation impacts of the proposed project. How will current concerns about speeding on Marsh Creek Road be addressed?

A traffic study was prepared for the proposed project by a qualified traffic engineer and a peer review of the study was completed. Trip generation was calculated based on the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9th Edition, methodology. This is the standard in the industry. Intersections within the area of the project operate within acceptable levels of service (LOS), A or B, with LOS-A (free-flow) and LOS-F (gridlock). The additional traffic trips from the proposed project are not expected to change the existing acceptable LOS standards.

Conditions of approval are being recommended by staff for this proposed project to include electronic speed indicator signage in the vicinity of Marsh Creek Road and Stranahan Circle. Additionally, staff is recommending a condition for the applicant to install pedestrian crosswalk flashing signage at the trail crossing on Marsh Creek Road just south of the project site.

7. Why is it assumed that the proposed parking will be adequate for the proposed project? The actual parking need seems significantly understated for the project? Describe the assumptions and methodologies used to prepare the Parking Study?

The Parking Study prepared for the project assumed a "Senior Adult Housing" population based on the ITE Manual, with the result of 49 spaces being sufficient and, initially, 62 on-site parking spaces were proposed. Staff had this Parking Study peer reviewed and it was determined in the peer review that the number of spaces proposed for the project was understated. The peer review suggested that for a senior population like that anticipated for this project, a number closer to one half the City's standard would be more appropriate. The City's standard for a multi-family, non-age restricted project would be approximately 180 spaces and one half of that number would be 90 spaces. It should be noted that after submitting the application, the applicant modified his

requested State mandated Concessions (2 Concessions being allowed) to include a reduction in the number of on-site parking spaces. The applicant is entitled to two Concessions, and the number of parking spaces is an allowable Concession. To deny the Concession, the City would need to make a finding that the number of parking spaces proposed would result in a specific, adverse impact upon health, safety, or the physical environment. By eliminating the proposed garages, the applicant was able to increase the proposed number of on-site parking spaces to approximately 86 spaces from the originally proposed 62 spaces. Accordingly, given that the peer review consultant suggested approximately 90 on-site spaces would be a reasonable target for this project and the fact the Economic Analysis for the project supports the reduction in on-site parking to support development of the affordable housing units, it does not appear to staff that the required findings could be made to deny the requested Concession that now includes approximately 86 on-site parking spaces. To further address this issue, recommended conditions of approval have been added for this project that the applicant has agreed to require that annual bus passes are provided to the tenants and that the property owner establishes a car share program for the project in order to reduce the need for on-site parking spaces.

8. It was indicated in the staff report that the proposed project qualifies for an "Infill Exemption" from the California Environmental Quality Act (CEQA). What are the criteria/conditions for a CEQA Infill Exemption and how does this proposed project satisfy, i.e., meet the conditions for a CEQA Infill Exemption? What recourse would the applicant have if the Planning Commission were to challenge the claim that the project satisfies conditions to support an Infill Exemption?

The proposed project fits within the terms of the Class 32 Infill Exemption of CEQA, and none of the exceptions in Section 15300.2 apply. Accordingly, CEQA does not apply to the proposed project. Class 32 conditions are as follows:

- a. Project is consistent with applicable General Plan and Zoning;*
- b. Project is within city limits and less than five acres in size and substantially surrounded by urban areas;*
- c. Project site has no value as habitat for endangered, rare, or threatened species;*
- d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and,*
- e. The site can be adequately served by all required utilities and public services.*

If the Planning Commission challenges the claim that the project satisfies conditions for the Infill Exemption, the applicant could appeal the Planning Commission's determination to the City Council. Subsequently, should the City Council challenge the claim, the applicant could seek a legal remedy through the courts.

9. The proposed project is presented as for seniors 55 years of age and older. Please explain under what circumstances can individuals under the age of 55 reside within the project?

Based on staff's understanding of California law, all of the units in the project must house seniors who are 55 years of age or older. California State law allows a senior to reside with a spouse, domestic partner or person providing physical or economic support to the senior, who is 45 years of age or older; and/or a disabled child or grandchild of the senior, spouse, or partner, who must live in the household due to the disability.

10. It is understood that seven of the units in the subject Senior Housing Project would be affordable to Very Low Income households and 74 of the units would be offered at market rate rents. How are the rents calculated? Do the rents for the affordable units take into account utility costs?

The rents for the market rate units will be based on prevailing, comparable rates as determined by the property owner. However, for the deed-restricted affordable units, the rents will be determined based on satisfying applicable federal and State regulations. The rents would be related to State statutory limits for Very Low Income households. These limits vary based on household size and are adjusted for local area median income (AMI). Typically, rents would not be more than 30% of household income. There would be a third party administrator to assure that households meet applicable thresholds for income eligibility and that rents meet applicable standards. The property owner would be required to pay the cost for the third party administrator. Yes, reasonable utility costs would be factored into the household's determined rent obligation.

11. How will the affordable Senior Housing units be managed over time to assure that households satisfy the established affordability standards? How do the proposed rents relate to the City's Regional Housing Needs Allocation (RHNA) numbers and the related assigned household income levels?

A third party administrator will be required to assure the households in the affordable units meet the Very Low Income household income thresholds and that the appropriate rents are being collected by the property owner. There would be a direct correlation in that households would need to meet eligibility requirements in terms of household size and income consistent with the State and federal determined Very Low Income category.

12. Various questions about parking including how many Americans With Disabilities Act (ADA) accessible parking spaces are required and would they be assigned? Would there be parking for on-site staff? The City should determine the appropriateness of compact parking spaces? How would parking enforcement be handled?

ADA accessible parking spaces relate to the number of parking spaces required for a project. Approximately four accessible parking spaces are anticipated with this project. It is likely there will be one unassigned accessible parking space on each of the three parcels that comprise the project. Staff for the project would be limited and likely park on the street. The parking spaces being proposed by the applicant generally meet the standard size depth requirement of 19 feet. Standard size parking spaces are 9 feet by 19 feet and compact spaces are 8 feet by 16 feet. The applicant is proposing a large number of spaces that would be 8 feet wide by approximately 19 feet deep. Staff is working with the applicant to determine the feasibility of achieving a minimum of 8.5 feet in width for as many of the compact spaces as possible without reducing the overall number of parking space provided on-site. Staff has added recommended conditions of approval for the proposed project that would require the applicant to fund a Parking Permit Program System for the Stranahan subdivision in order to limit spillover parking from outside that neighborhood. Additionally, there are recommended conditions that the property owner would need to provide annual bus passes to the tenants and establish a car share program to reduce on-site parking demand.

13. Which projects have been given parking waivers in the Town Center Parking Waiver Program?

The City's Town Center Parking Waiver Program assumes approximately 200 extra parking spaces (outside of event periods) in the overall Town Center area. In order to encourage new development in the Town Center area, on-site parking reductions or complete waivers are offered to encourage particularly retail and restaurant businesses in the Town Center area. Since this program was approved in approximately 2007 and extended since, three projects—Flora Square, Creekside Terrace, and Skipolini's Bocce Courts—have been granted waivers for a total of approximately 77 spaces. The Creekside Terrace project was granted a waiver and is still an active approval but has not been constructed.

14. What incentives and Transportation Demand Management (TDM) measures are being proposed to encourage people not to use personal automobiles in the project? Can the developer limit tenants to only having one vehicle per unit?

As described above, conditions of approval are being recommended to require the applicant/property owner to issue annual bus passes to tenants and to establish a car share program. Additionally, a condition is recommended to require the applicant to fund establishing a Parking Permit Program System in the Stranahan subdivision. The property owner will need to actively work with tenants to manage parking demand over time. The property owner can assign and manage parking spaces and demand with incentives, but cannot actually limit a tenant to own only one vehicle.

15. Is it allowed that the application include three individual parcels?

Yes, a development project can be comprised of more than one parcel.

16. Why are storypoles not required for this project?

It is not a standard practice in the City of Clayton to require storypoles. This proposed project is comprised of three separate buildings on three separate adjoining parcels, separated by drive aisles and parking areas. The proposed architectural style of the buildings is consistent with the Town Center Specific Plan design guidelines. The project complies with applicable height limits with a single minor encroachment that is approximately 1 foot 9 inches above standard and the applicant has requested an allowable waiver to address any concerns pertaining to this issue. Moreover, the proposed buildings back up to a steep slope that extends above and provides a backdrop to these individual buildings. Individuals have mentioned the Clayton Community Church as an example of storypoles being requested previously for a proposed project within Clayton. That is accurate. In that case, a single large use was being proposed on Main Street on generally level land which was exposed on all sides. The Town Center Specific Plan design criteria specifically described and envisioned a development pattern and form for Main Street that would result in a "Main Street" type of development pattern, with individual storefronts and businesses creating a vital and active traditional downtown. The proposed single-use building was different from that vision. Comparatively, the adopted Clayton General Plan envisions the development of the subject parcels with apartments and/or condominiums two stories or higher.

17. Are project identification signs required for this project?

They are not required but project identification signage is appropriate for a development like this. The Planning Commission has discretion in terms of the design, colors, materials, size, and fit of these signs.

18. Isn't Marsh Creek Road identified as a Scenic Corridor? If so, what are the regulations for development in a Scenic Corridor?

Yes, Marsh Creek Road is listed as a Scenic Route and Corridor within the Clayton General Plan. Additionally, Clayton Road and Oakhurst Drive/Concord Boulevard are listed as Scenic Routes and Corridors as well. These routes were selected as they extend through Clayton and have incidental and panoramic views of Mount Diablo and the foothills surrounding Mount Diablo. This proposed development is not inconsistent with this listing.

19. In the past, the applicant had proposed a smaller, approximately 44-unit townhome project for the project site. Why did the applicant revise the project?

Staff does not know the rationale for the change in proposed development for the project site. However, the property owner must develop the property in compliance with applicable local, State, and Federal policies and laws. Based on staff's review of the currently proposed project, it appears to satisfy applicable policies and laws.

20. What's the basis for assuming an economic development benefit from this project for the City's Town Center Area?

It is logical to assume that if an 81-unit Senior Housing Development occupies property that was previously developed with approximately 2 to 3 households, adjacent to a downtown with existing businesses, including a CVS Pharmacy, convenience store, boutiques, restaurants, etc., all within walking distance, that there will be a net economic development benefit for those businesses.

21. If the project would be converted from a "for rent" to a "for sale" condominium project in the future, would there be additional CEQA review at that time?

Yes, there would be an analysis to determine if a CEQA review would be required. If the project remains essentially as it is, with no additional lands, units, land disturbance, etc., the Infill Exemption finding would likely hold. However, if there are any substantive changes, further environmental review of the project in accordance with CEQA may be required.

22. What are the fiscal impacts of this project in terms of revenues for the City vis-à-vis costs for services?

The most significant contribution from the project would be property tax, with some sales tax. Assuming about a \$30 million project, property tax to the City of Clayton is estimated to be approximately \$30,000 annually. Annual, overall property tax collected by the City of Clayton is approximately \$907,000. The project would be provided general City services.

23. What is the impact of this of this project in terms of possible wildland fire evacuation needs?

The proposed project is located on Marsh Creek Road with direct access to that roadway. Marsh Creek Road connects to multiple other collector and arterial roadways, including Clayton Road and Oakhurst Drive/Concord Boulevard for evacuation purposes.

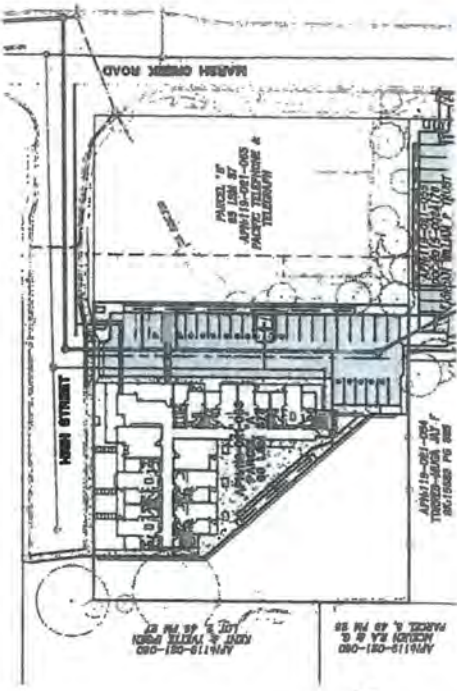
24. What are the frequencies for Contra Costa Transit bus service from the Clayton Town Center to the Concord BART station?

Service by Bus 10: BART Concord/Clayton – 5:00 a.m. – 11:00 p.m., every 15 minutes during peak/30 minutes off-peak, weekdays. <https://countyconnection.com/routes/10/>

Updated to reflect minor proofing edits



SITE PLAN THE OLIVIA ON MARSH CREEK 6170 HIGH STREET CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA



GENERAL NOTES:

1. OWNER/ARCHITECT: [Name]
2. ARCHITECT: [Name]
3. CIVIL ENGINEER: [Name]
4. GEOTECHNICAL ENGINEER: [Name]
5. CONTRACTOR: [Name]
6. [Note regarding site conditions]
7. [Note regarding utility lines]
8. [Note regarding parking spaces]
9. [Note regarding setbacks]
10. [Note regarding easements]
11. [Note regarding survey data]
12. [Note regarding construction methods]
13. [Note regarding materials]
14. [Note regarding site preparation]
15. [Note regarding drainage]
16. [Note regarding landscaping]
17. [Note regarding signage]
18. [Note regarding utility relocation]
19. [Note regarding tree preservation]
20. [Note regarding construction schedule]

SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	PROPOSED AND EXISTING UTILITIES
C-4	LANDSCAPE PLAN
C-5	PAVING PLAN
C-6	TRUCK TRAILER STORAGE
C-7	TRUCK TRAILER STORAGE
C-8	TRUCK TRAILER STORAGE
C-9	TRUCK TRAILER STORAGE
C-10	TRUCK TRAILER STORAGE
C-11	TRUCK TRAILER STORAGE
C-12	TRUCK TRAILER STORAGE
C-13	TRUCK TRAILER STORAGE

REVISION	DATE	BY	DESCRIPTION
1			
2			
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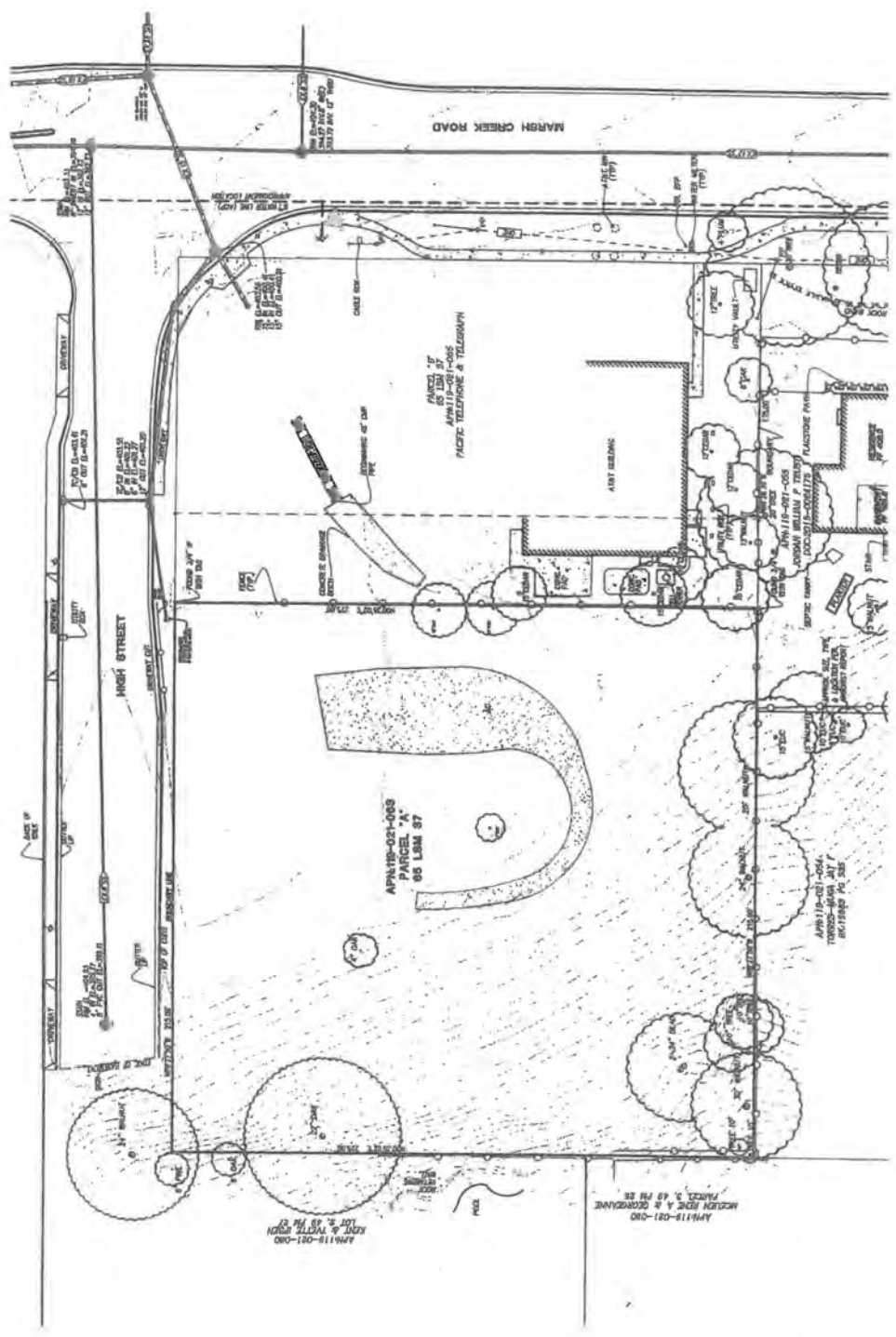
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OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

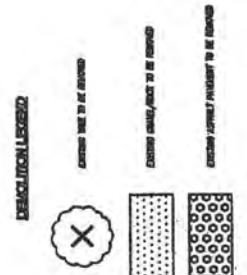
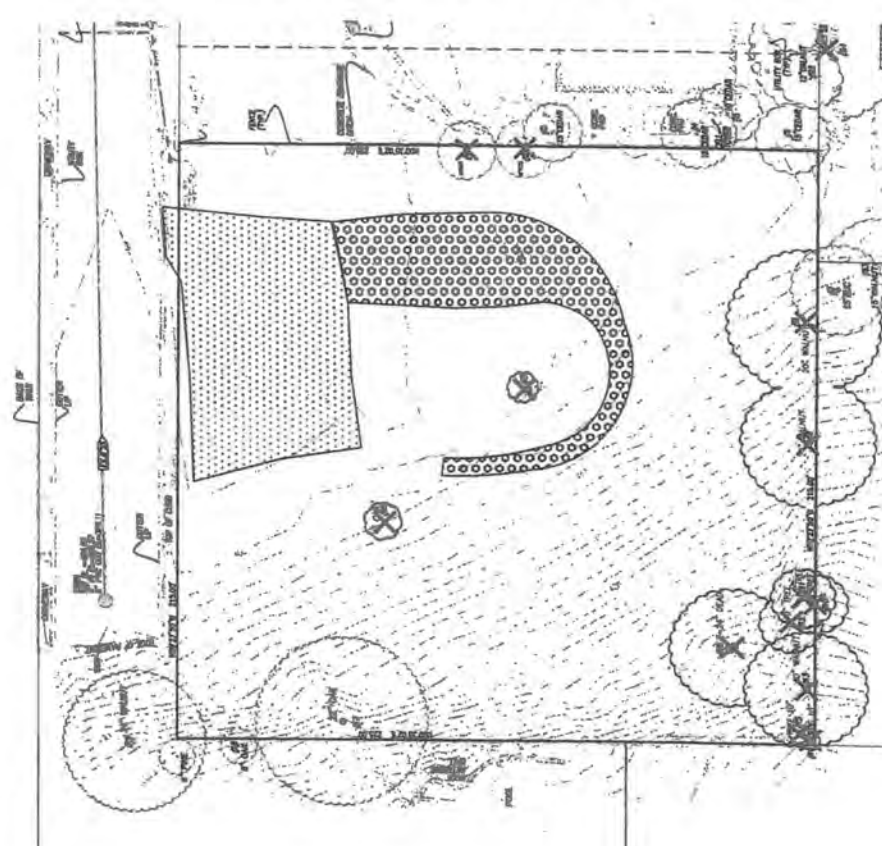
REVIEW COPY
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PROJECT NAME:	THE OLIVIA ON MARSH CREEK	APPLICANT:	[Name]
ADDRESS:	6170 HIGH STREET	CITY:	CLAYTON, CALIFORNIA
OWNER:	[Name]	DATE:	OCTOBER 2019
DESIGNER:	[Name]	SCALE:	AS SHOWN
CHECKED:	[Name]	PROJECT NO.:	119-001-003
DATE:		PROJECT TYPE:	COMMERCIAL
PROJECT LOCATION:	CITY OF CLAYTON		
PROJECT NO.:	119-001-003		
DATE:	OCTOBER 2019		
SCALE:	AS SHOWN		
PROJECT TYPE:	COMMERCIAL		
CITY:	CLAYTON, CALIFORNIA		
PROJECT NO.:	119-001-003		
DATE:	OCTOBER 2019		
SCALE:	AS SHOWN		
PROJECT TYPE:	COMMERCIAL		
CITY:	CLAYTON, CALIFORNIA		



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	2000 Howard Drive, Suite 1025 Costa Mesa, CA 92626 Phone: (714) 441-4279 Fax: (714) 441-4278 Web: www.millani.com	APN 119-021-003 THE OLIVA ON MARSH CREEK 6170 HIGH STREET EXISTING SITE CONDITIONS	DESIGNED UNDER THE DIRECTION OF: NAME: [] TITLE: [] DATE: []	NO. [] REVISIONS []	BY [] DATE []	SHEET C-2 OF 13
		APN 119-021-004 APN 119-021-005 APN 119-021-006 APN 119-021-003 APN 119-021-002	CALIFORNIA CENTRA COSTA COUNTY CITY OF CLAYTON	SCALE: AS SHOWN	DATE: OCTOBER 2013	



DEMOLITION CHARACTERISTICS
 APPROXIMATE DATE OF REMOVAL
 APPROXIMATE HEIGHT OF TREE

TREE REMOVAL NOTICES

Tree #	Species	Common Name	DBH	Height	Special	Health	Removal	Priority	Notes
1	General Purpose	Valley Oak	11.5	20	20	0	Y	0	Site tree, On property line
2	General Purpose	Tree of Heaven	4.5, 5.5	20	20	7	Y	0	On property line
3	General Purpose	Ironwood	15	20	20	0	Y	0	On adjacent property
4	General Purpose	Ironwood	11, 15, 21	20	20	0	Y	0	On adjacent property
5	General Purpose	Ironwood	9, 9	20	20	0	Y	0	On adjacent property
6	General Purpose	Ironwood	24	20	20	0	Y	0	On adjacent property
7	General Purpose	Ironwood	20	20	20	0	Y	0	On adjacent property
8	General Purpose	Ironwood	12, 15	20	20	0	Y	0	On adjacent property
9	General Purpose	Ironwood	20	20	20	0	Y	0	On adjacent property
10	General Purpose	Ironwood	1	20	20	0	Y	0	On adjacent property
11	General Purpose	Ironwood	8	20	20	0	Y	0	On adjacent property
12	General Purpose	Ironwood	8	20	20	0	Y	0	On adjacent property
13	General Purpose	Ironwood	11	20	20	0	Y	0	On adjacent property
14	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property
15	General Purpose	Ironwood	4, 7	20	20	0	Y	0	On adjacent property
16	General Purpose	Ironwood	12	20	20	0	Y	0	On adjacent property
17	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property
18	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property
19	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property
20	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property
21	General Purpose	Ironwood	11.5	20	20	0	Y	0	On adjacent property

Suitability for Retention - based on Tree Condition G to H, based on 10% P, 10% P, 10% P

TO BE REMOVED
PROTECTED TREE & TO BE REMOVED

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PROJECT: THE OLIVIA ON MARSH CREEK
 6170 HIGH STREET
 RESOLUTIONS & TREE REMOVAL PLAN
 COSTA COSTA CREEK
 CITY OF SLATKOP
 SCALE: 1"=20'
 DATE: 12/15/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: 13 OF 13



LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.5 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PB PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- SITE BOUNDARY
- ZONING BOUNDARY

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Planning
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 Land Development Engineering
 Hydraulic Engineering
 Civil/Structural Engineering
 Environmental Engineering
 20000 Modeling & Reporting



2855 Shaver's Lane, Suite 105
 Concord, CA 94520
 Phone: (925) 674-0282
 Fax: (925) 674-0279
 Web: www.milaniasociates.com

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 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
 ZONING EXHIBIT
 CONTRA COSTA COUNTY

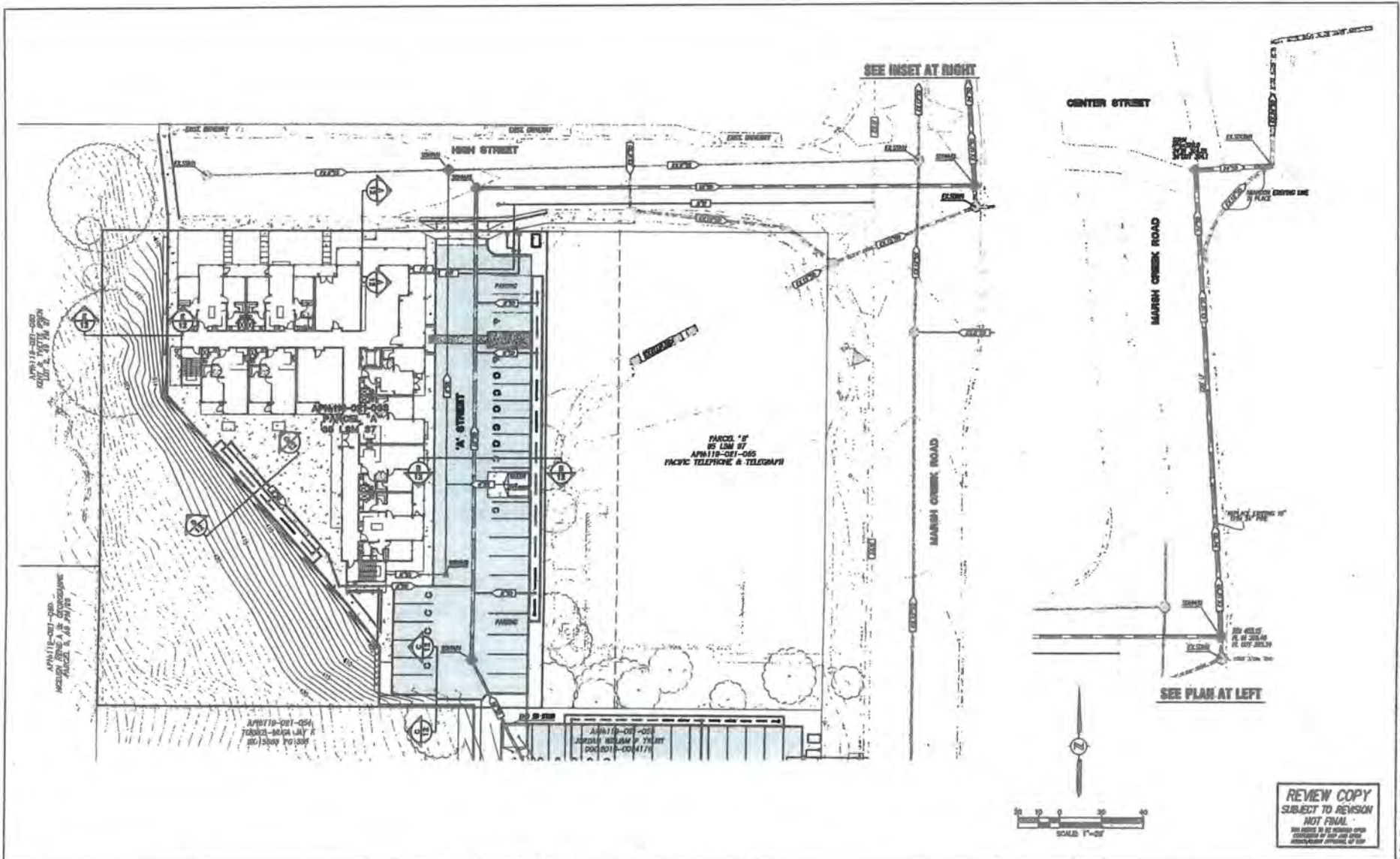
A.P.N. 119-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

DOORAN E. MILANI
 REG. NO. 8819
 DESIGN: ISA
 DRAWN: KWABAGLAL
 CHECKED: MEN
 DATE: OCTOBER 2019
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-4
					13



Planning
Surveying & Mapping
Civil/Structural/Environmental Engineering
Mechanical/Electrical/HVAC
Construction/Utility
Substation/Electrical
SOPV Inspection & Signaling



2025 Shourd Blvd, Suite 105
Creston, IA 50820
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Fax (562) 671-3229
Web: www.milani.com

JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
OVERALL SITE PLAN
COSTA COSTA COUNTY

A.P.A. 118-021-003
DESIGNED UNDER THE DIRECTION OF

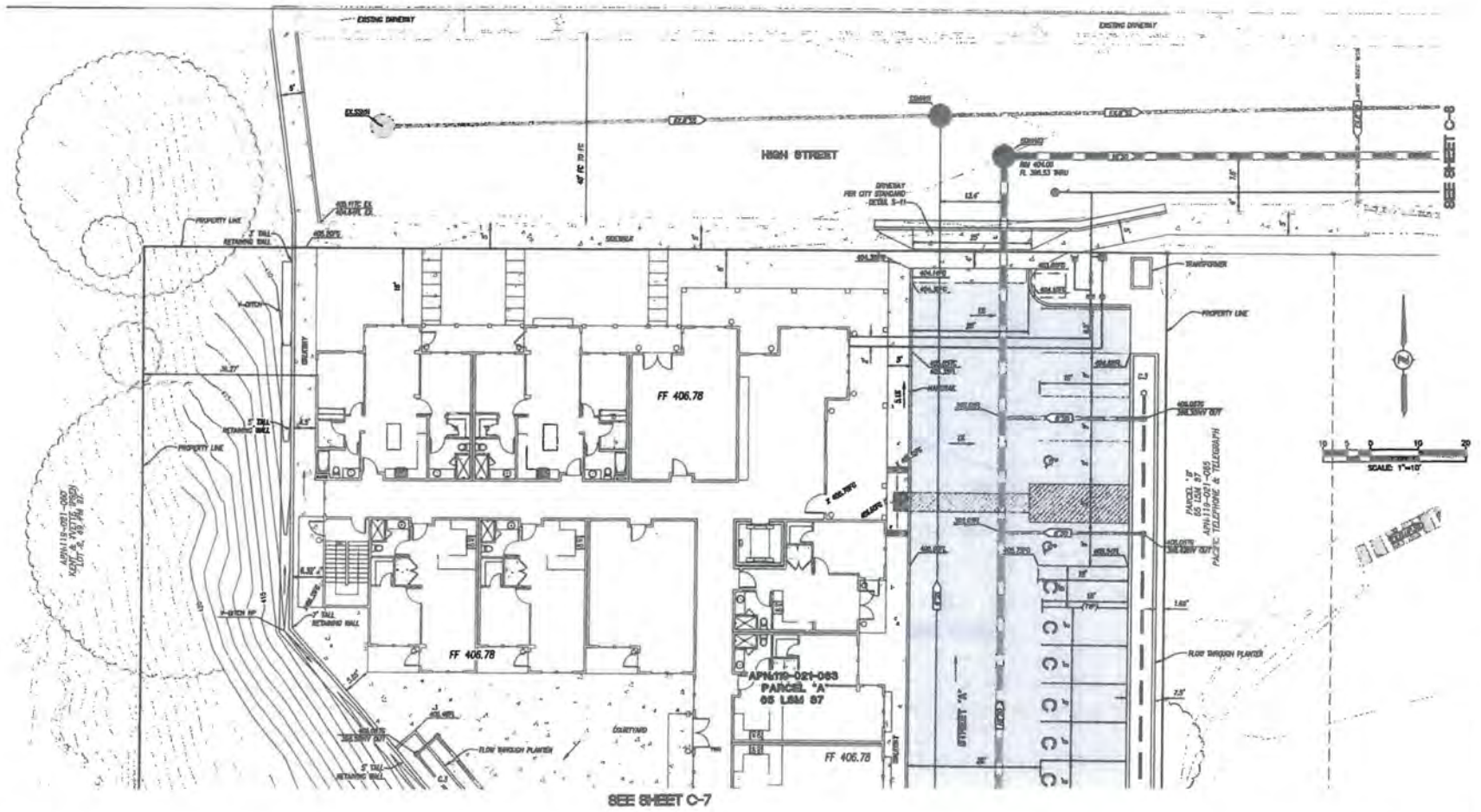
DESIGNER'S NAME	DATE
DESIGN: ISA	JOB NO: 740
DRAWING: SPANGLER	DATE: OCTOBER 2019
CHECKED: MBI	SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-5
					13

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SEE SHEET C-7

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 Biological Engineering
 Construction Staking
 Environmental Engineering
 Surveying & Reporting



2005 Sharrow Drive, Suite 100
 Concord, CA 94520
 Phone: (925) 876-6000
 Fax: (925) 876-0279
 Web: www.milaniconsulting.com

JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SITE PLAN
 CONTRA COSTA COUNTY

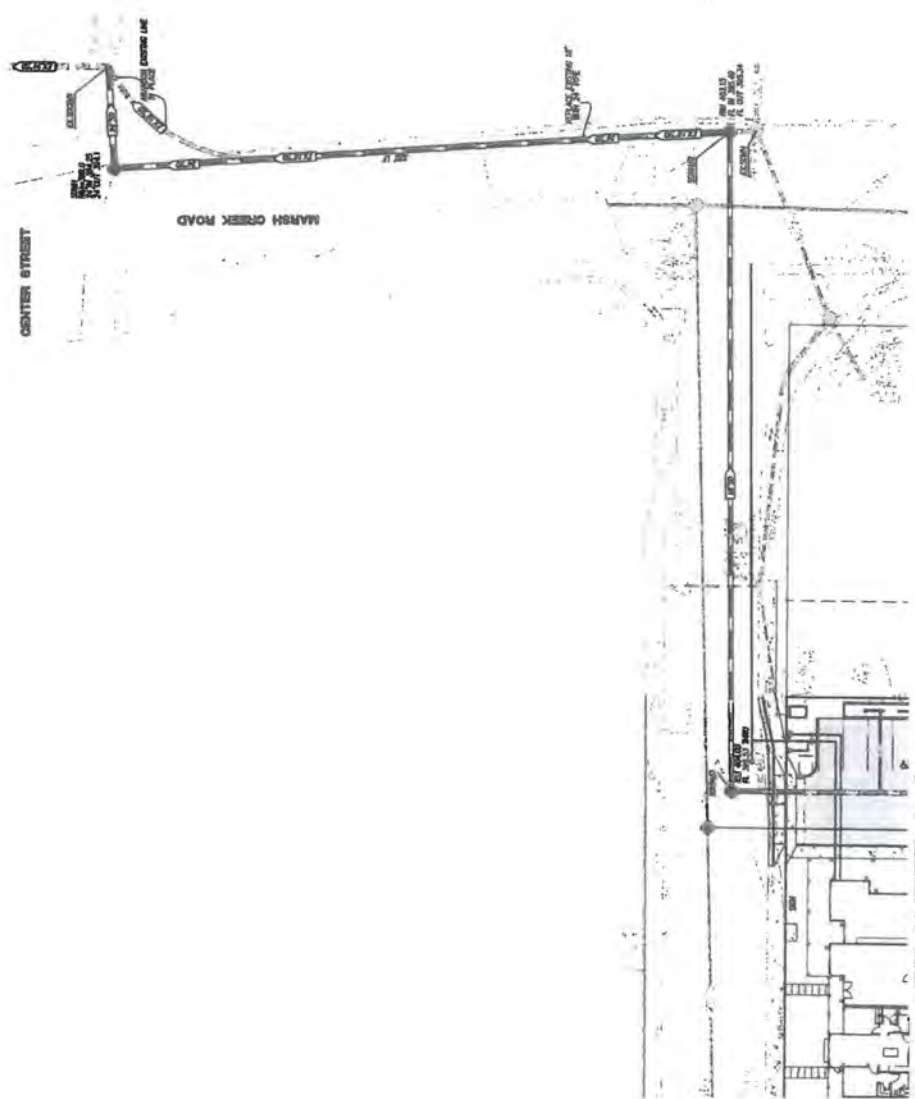
A.P.N. 110-021-003
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 LICENSE NO. 44517
 DATE: OCTOBER 2018
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-6
					13

M:\Projects\110-021-003\110-021-003-SitePlan-1.dwg Site Plan C-6 10-24-18 01:15:50 PM Sam@milani.com



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 THE ENGINEER

NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-8
					13
					OF
					SHEET



DESIGNED UNDER THE DIRECTION OF:
 J. A. BROWN
 LICENSE NO. 50767
 DATE: OCTOBER 2018
 CHECKED: J. A. BROWN
 SCALE: AS SHOWN

A.P.S. 118-821-803
 CALIFORNIA

ARABIAN PROPERTY
THE OLVIZA ON MARSH CREEK
6170 HIGH STREET
OFFSITE STORM DRAIN PLAN
 CENTRA COSTA COUNTY

CITY OF CLAYTON

3000 Stonemead Oaks, Suite 100
 Concord, CA 94520
 Phone (925) 301-8275
 Web: www.milani.com



Planning & Mapping
 Land Development Engineering
 Civil Engineering
 Environmental Science
 Surveying & Topography

Project Name: 6170 High Street
 Project No.: 119-021-020
 Date: 10/20/19
 Drawn By: [Name]
 Checked By: [Name]

Self-Treading DMAs
 1. 119-021-020
 2. 119-021-021
 3. 119-021-022

IV. Avenues Draining to MIPs

Self-Treading Facility
 1. 119-021-020
 2. 119-021-021
 3. 119-021-022

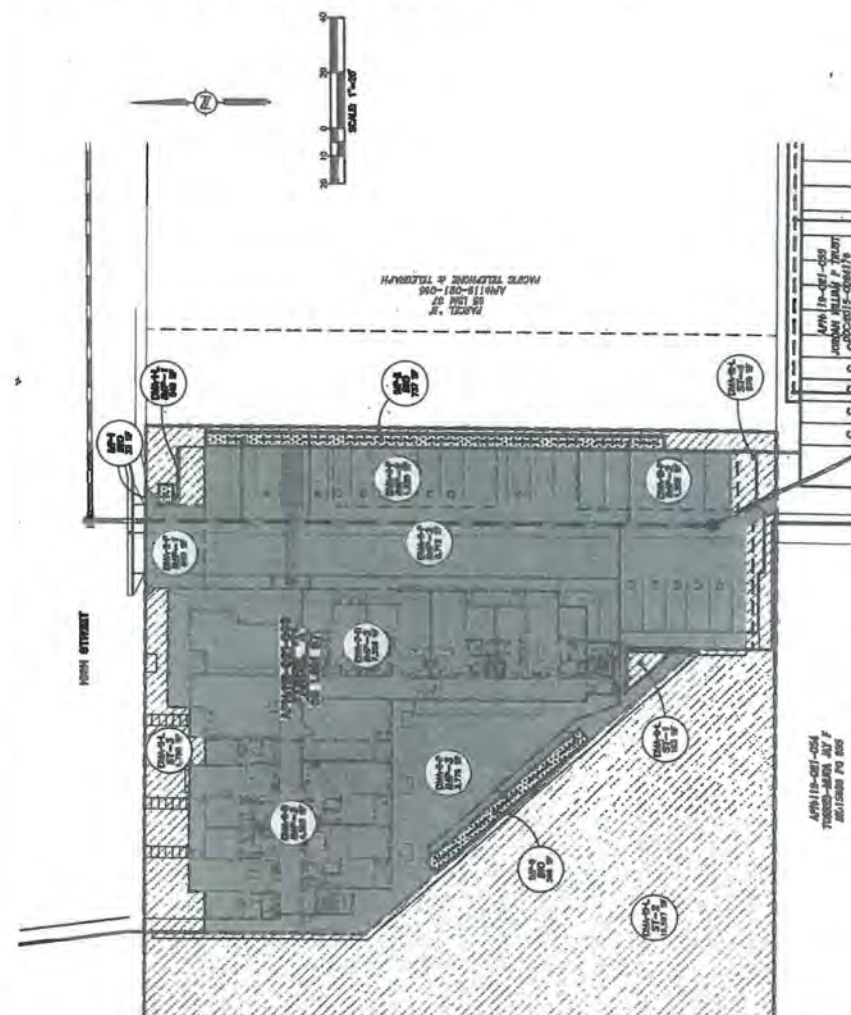
Area	Area (sq ft)	Flow (cfs)	Flow (MGD)	Volume (cu ft)	Volume (MG)
Area 1	1,000	0.01	0.0001	100	0.001
Area 2	2,000	0.02	0.0002	200	0.002
Area 3	3,000	0.03	0.0003	300	0.003

Area	Area (sq ft)	Flow (cfs)	Flow (MGD)	Volume (cu ft)	Volume (MG)
Area 4	4,000	0.04	0.0004	400	0.004
Area 5	5,000	0.05	0.0005	500	0.005
Area 6	6,000	0.06	0.0006	600	0.006

Area	Area (sq ft)	Flow (cfs)	Flow (MGD)	Volume (cu ft)	Volume (MG)
Area 7	7,000	0.07	0.0007	700	0.007
Area 8	8,000	0.08	0.0008	800	0.008
Area 9	9,000	0.09	0.0009	900	0.009

Area	Area (sq ft)	Flow (cfs)	Flow (MGD)	Volume (cu ft)	Volume (MG)
Area 10	10,000	0.10	0.0010	1,000	0.010
Area 11	11,000	0.11	0.0011	1,100	0.011
Area 12	12,000	0.12	0.0012	1,200	0.012

Prepared pursuant to LAR 2018-02200-000 by the Queen Creek Water Program 600-8000 Third millennium November 13, 2019.



ADDITIONAL NOTES:
 1. SEE PROVISIONS ON PAGE 8
 2. DIMENSIONS INDICATED AT A CORNER OF A LOT IN AN AREA OF A SUBDIVISION SHALL BE THE DIMENSIONS OF THE CORNER AS SHOWN ON THE RECORD MAP FOR THAT AREA.

ADJACENT AREAS:
 1. 119-021-020
 2. 119-021-021
 3. 119-021-022

ADJACENT AREAS:
 1. 119-021-020
 2. 119-021-021
 3. 119-021-022

NO.	REVISIONS	BY	APP.	DATE

DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DATE: OCTOBER 2019
 SCALE: AS SHOWN

PROJECT NO.: 119-021-020
 SHEET NO.: C-9
 TOTAL SHEETS: 13

THE OLIVIA ON MARSH CREEK
 6170 HIGH STREET
 C.J. COMPLIANCE EXHIBIT

CORNER CATER CORNER
 CITY OF CLAYTON

MILANI
 3405 Grand Ave., Suite 100
 Phoenix, AZ 85018
 Phone: (602) 974-1000
 Fax: (602) 974-1075
 Web: www.milani.com

Prepared by: [Name]
 Checked by: [Name]
 Date: 10/20/19

Clean Bay Blue Print

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless construction crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

NO.	REVISIONS	DATE	BY	APP.	DATE

Materials storage & spill cleanup

- Non-hazardous materials management:
 - Store all materials in neat piles (10 ft max) that are clearly labeled with contents.
 - Store all materials in neat piles (10 ft max) that are clearly labeled with contents.
 - Store all materials in neat piles (10 ft max) that are clearly labeled with contents.
- Hazardous materials management:
 - Label all hazardous materials and containers with contents, quantity, volume, weight, and other information.
 - Store all hazardous materials in approved containers.
 - Store all hazardous materials in approved containers.



Vehicle and equipment maintenance & cleaning

- Repair vehicles not equipped to leak frequently. Use dip pans to catch leaks.
- Wash vehicles and equipment regularly.
- Do not store vehicles or equipment in areas where they can leak.



Earthwork & contaminated soils

- Keep excavated earth in the same location as the soil.
- Use silt fences, silt basins, or other erosion controls to stabilize the flow of the soil.
- Do not store materials in areas where they can leak.



Concrete, grout, and mortar storage & waste disposal

- Store excess, grout, and mortar under cover, on pallets, and away from drainage areas.
- Which are removed and disposed of in a timely manner.



Painting

- Paint not more than 10 feet from existing buildings.
- Paint not more than 10 feet from existing buildings.



Landscape Materials

- Store, store, and store on pallets or other raised structures.
- Store, store, and store on pallets or other raised structures.

Storm drain polluters may be liable for fines of \$10,000 or more per day!

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REVISIONS
 NO. DATE BY APP. DATE

PROJECT INFORMATION
 PROJECT NO. _____
 SHEET NO. _____ OF _____

CLIENT INFORMATION
 CLIENT NAME: _____
 CONTACT: _____
 ADDRESS: _____
 CITY: _____ STATE: _____ ZIP: _____

DESIGNED UNDER THE DIRECTION OF:
 NAME: _____
 LICENSE NO.: _____
 ADDRESS: _____
 CITY: _____ STATE: _____ ZIP: _____

APPROVED PROPERTY: THE OLIVIA ON MARSH CREEK
ADDRESS: 6170 HIGH STREET
CITY: CLAYTON, CALIFORNIA

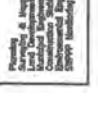
DATE: OCTOBER 2019
SCALE: AS SHOWN

PROJECT LOCATION: _____
CHECKED: _____
DATE: _____

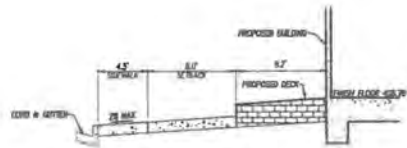
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____

PROJECT NO.: _____
SHEET NO.: _____ OF _____

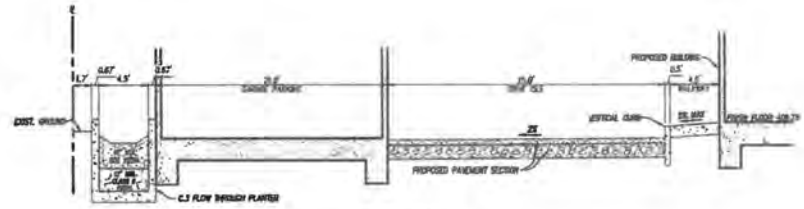
PROJECT TITLE: _____



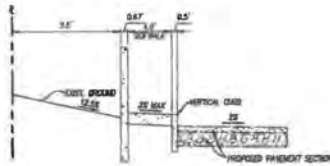
2605 Diamond Drive, Suite 100
 Fremont, CA 94538
 Phone: (510) 871-0000
 Fax: (510) 871-0000
 www.milani.com



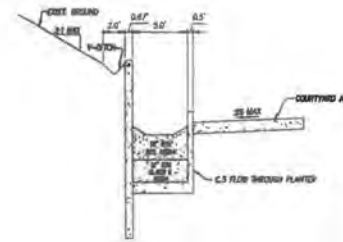
SECTION A
 HORZ. 1"=3'
 VERT. 1"=2.5'



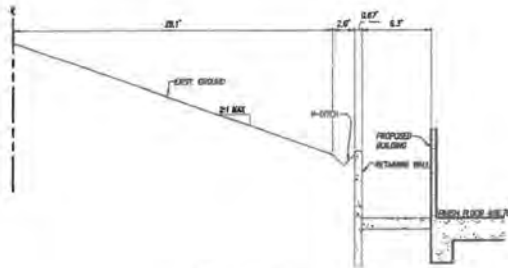
SECTION B
 HORZ. 1"=3'
 VERT. 1"=2.5'



SECTION C
 HORZ. 1"=3'
 VERT. 1"=2.5'



SECTION D
 HORZ. 1"=3'
 VERT. 1"=2.5'



SECTION E
 HORZ. 1"=3'
 VERT. 1"=2.5'

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 THE USER SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY
 APPROVALS FROM THE
 APPROPRIATE AGENCIES OF THE
 CITY OF CLAYTON

Planning
 Surveying & Mapping
 Land Development Engineering
 Hydraulic Engineering
 Construction Staging
 Environmental Engineering
 SWPPP Monitoring & Reporting



2955 Shattuck Drive, Suite 105
 Concord, CA 94520
 Phone (925) 674-0022
 Fax (925) 674-0278
 Web: www.milaniandassociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

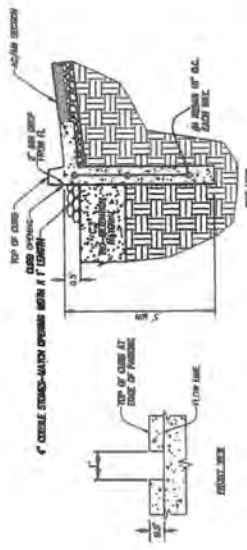
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
 SECTIONS
 CONTRA COSTA COUNTY

A.P.S. 119-021-053
 CALIFORNIA

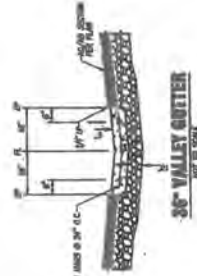
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 8187 ENGINEER-GEOTECHNICAL
 DATE: _____
 DESIGN: SPA
 JOB NO. 740
 DRAWING: W/RA/MS/LAL
 DATE: OCTOBER 2019
 CHECKED: LEM
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
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					13



DEEPEDED CURB AT CS BIO-RETENTION BASIN
SEE SEE



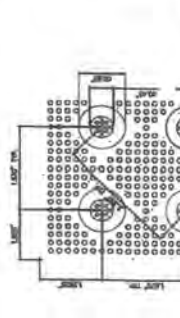
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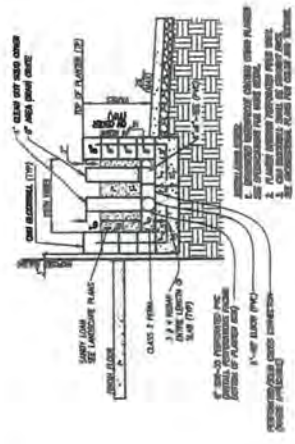
STANDARD 6\"/>



ADA RAMP GROOVING DETAIL



RAISED TRUNCATED DOME DETAILS



CS PLASTER



BIO-RETENTION FACILITY

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Denver, Colorado 80202
Tel: 303.751.1000
Fax: 303.751.1001
www.milani.com

PROJECT NO.	6170-HIGH-STREET-DETAILS
CLIENT	THE OLIVIA ON MARSH CREEK
DESIGNER	CHERRIE HOA
CHECKED BY	CHERRIE HOA
DATE	OCTOBER 2018
CHECKED BY	BOALD AALBOMAN

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
DETAILS
CENTRAL COSTA COUNTY
CALIFORNIA

PROJECT PREPARED BY
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
DETAILS
CENTRAL COSTA COUNTY
CALIFORNIA

PROJECT NO.
CLIENT
DESIGNER
CHECKED BY
DATE
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PROJECT NO.
CLIENT
DESIGNER
CHECKED BY
DATE
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SITE PLAN

THE OLIVIA ON MARSH CREEK

6450 MARSH CREEK ROAD
CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA

GENERAL NOTES

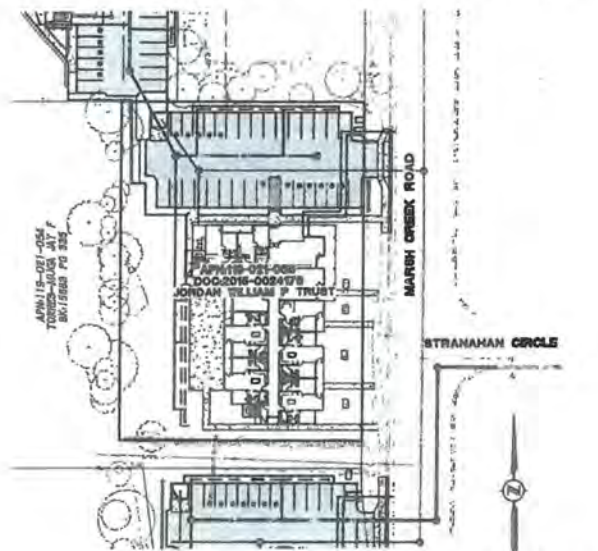
1. OWNER/DEVELOPER
WILLIAM P. JORDAN TRUST
6450 MARSH CREEK ROAD
CLAYTON, CA 94520
PHONE: (925) 675-2189
2. ARCHITECT
TERRY R. ANDERSON
3000 UNIVERSITY AVENUE, SUITE A
CONCORD, CA 94520
PHONE: (925) 209-2000
DISTRICT: 1848 1853
3. CIVIL ENGINEER
WILLIAM AND ASSOCIATES
2000 UNIVERSITY AVENUE, SUITE 100
CONCORD, CA 94520
PHONE: (925) 272-4300
DISTRICT: 1848 1853
4. GEOTECHNICAL ENGINEER
FRANK JORDAN, INC.
5000 UNIVERSITY AVENUE
SAN LEANDRO, CA 94577
PHONE: (925) 209-2000
DISTRICT: 1848 1853
PROJECT NO. 1738
5. SURVEYOR
SUEVA TRUST CONSULTING
2000 UNIVERSITY AVENUE, SUITE 100
CONCORD, CA 94520
PHONE: (925) 209-2000
DISTRICT: 1848 1853
6. USE: RESIDENTIAL
SINGLE-FAMILY RESIDENTIAL
7. ADJACENT PARCEL: 6448
70-05-003
8. UTIL. SERVICE: 6450 AC (CLAYTON)
9. C.V. CONNECTION: 6450 AC (CLAYTON)
10. EXISTING UTILITIES: AS SHOWN ON PLANS
11. PROPOSED UTILITIES: AS SHOWN ON PLANS
12. EXISTING SIDEWALK: 6450 AC (CLAYTON)
13. PROPOSED SIDEWALK: AS SHOWN ON PLANS
14. TOTAL NUMBER OF LOTS: 1 LOT
15. STREETS & SERVICES:
WATER: CLAYTON WATER DEPARTMENT
SEWER: CLAYTON SEWER DEPARTMENT
GAS & ELECTRIC: PUBLIC GAS & ELECTRIC
TELEPHONE: ATT
CABLE: CABLE
FIRE: CITY OF CLAYTON
POLICE: CLAYTON POLICE DEPARTMENT
16. NO PUBLIC UTILITY PROPOSAL.
17. FLOOD ZONE: "X" (EXISTS ONE-SIDE OF ROAD)
18. LEGAL DESCRIPTION: PARCEL 107 AS SHOWN ON THE RECORDS OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA.
19. EXISTING CONCRETE SLAB ON FIELD SPECIFIC SURVEY BY REAR & ASSOCIATED CONSULTING ENGINEERS.

BASE OF FINISHES:

FINISH TOP OF HIGH POINT AS SHOWN ON RECORDS OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA.

BENCHMARK:

POINT OF BENCHMARK SET BY CLAYTON CITY ENGINEER AT THE TOP OF A CONCRETE CURB ON CLAYTON ROAD. ELEVATION: 491.30 (MAGNETIC) PROJECT BASED ON 1988 DATUM. ELEVATION: 491.30 (MAGNETIC) PROJECT BASED ON 1988 DATUM.



SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND TREE REMOVAL PLAN
C-4	ZONING MAP
C-5	OVERALL SITE PLAN
C-6	SITE PLAN-NORTH
C-7	SITE PLAN-SOUTH
C-8	C.S. EROSION
C-9	CLEAR BAY BLUE PRINT
C-10	SECTIONS
C-11	DETAILS

ABBREVIATIONS			
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AP	APPROXIMATE QUANTIFIED	AS	AS SHOWN
AR	AREA RATIO	BA	NOT APPLICABLE
AP	ANGLE POINT	CG	CONCRETE
BP	BOUNDARY POINT	DAE	DRAINAGE UTILITY
BT	BOTTOM OF FOUNDATION	FAV	FUTURE
BS	BUSHES	PCE	POINT OF CONCERN CONCERN
BP	BACK OF BENCH	POE	POINT OF ELEVATION
CL	CONCRETE	PFC	POINT OF FUTURE CONCERN
CP	CONCRETE CURB	PFD	POINT OF FUTURE CONCERN
CS	CONCRETE	PE	POINT OF ELEVATION
CW	CONCRETE WALL	P	POINT
DB	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DC	DIAMETER	RET	RETAINMENT
DF	DIAMETER	R	ROOF
ET	EXISTING	RT	ROAD
EV	ELEVATION	S	SIDEWALK
FO	FOUNDATION	S	SIDEWALK
FS	FOUNDATION	SJ	STEEL JOIST
FL	FINISH FLOOR	SS	STEEL STRUCCURE
FLD	FINISH FLOOR DRAIN	ST	STEEL
FLD	FINISH FLOOR DRAIN	SU	STEEL UNIFORM
FR	FOUNDATION	SW	STEEL WELDED
FR	FOUNDATION	T	TOP
GA	GARAGE	TC	TOP OF CONCRETE
GA	GARAGE	TF	TOP OF FINISH
GA	GARAGE	TR	TOP OF ROAD
GA	GARAGE	TR	TOP OF ROAD
GA	GARAGE	TR	TOP OF ROAD

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Planning & Mapping
Civil Engineering
Environmental Engineering
Geotechnical Engineering
SITPP Consulting & Reporting

MILANI & Associates

3065 Howard Drive, Suite 102
Oakland, CA 94618
Phone: (925) 674-9000
Fax: (925) 674-9279
WWW.MILANIENGINEERING.COM

JOBBER PROPERTY: THE OLIVIA ON MARSH CREEK 6450 MARSH CREEK ROAD COVER SHEET

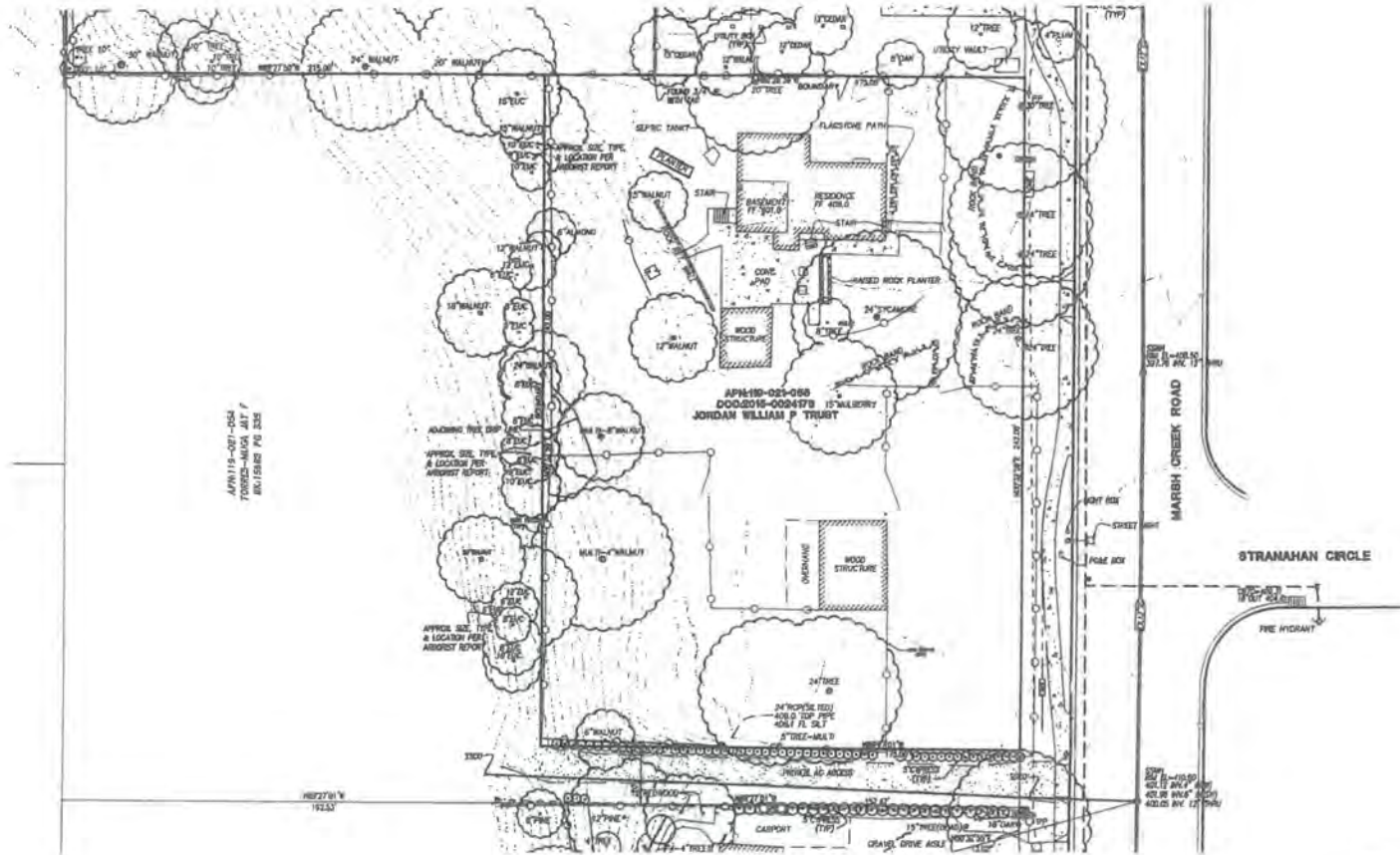
DESIGNED UNDER THE DIRECTION OF: MICHAEL S. SALAS, REGISTERED PROFESSIONAL ENGINEER

DATE: OCTOBER 2019

CHECKED: MSB



NO.	REVISION	BY	APP.	DATE	SHEET
					C-1
					11



APN 119-021-054
 700623-AUGA AIT 7
 8/1/1983 PG 236

APN 119-021-058
 0002016-002479
 JORDAN WILLIAM P TRUST

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 Landscape Architecture
 Construction Staking
 Environmental Engineering
 SWPPP Auditing & Reporting



3855 Shovel Drive, Suite 102
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 Phone: (925) 674-0882
 Fax: (925) 674-0274
 Web: www.milaniandassociates.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
EXISTING SITE CONDITIONS
 A.P.N. 119-021-055
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REGISTERED PROFESSIONAL ENGINEER
 DESIGNER: NVA
 DRAWN: KWANGSILM
 CHECKED: MEM
 JOB NO. 740
 DATE: OCTOBER 2018
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	IN-SHEET

C-2
11
 SHEETS

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LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- FU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

--- SITE BOUNDARY
 ——— ZONING BOUNDARY



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 Fax: (925) 674-9279
 Web: www.milaniasociates.com

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THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
ZONING EXHIBIT

A.P.N. 119-021-005

CITY OF CLAYTON

CONTRA COSTA COUNTY

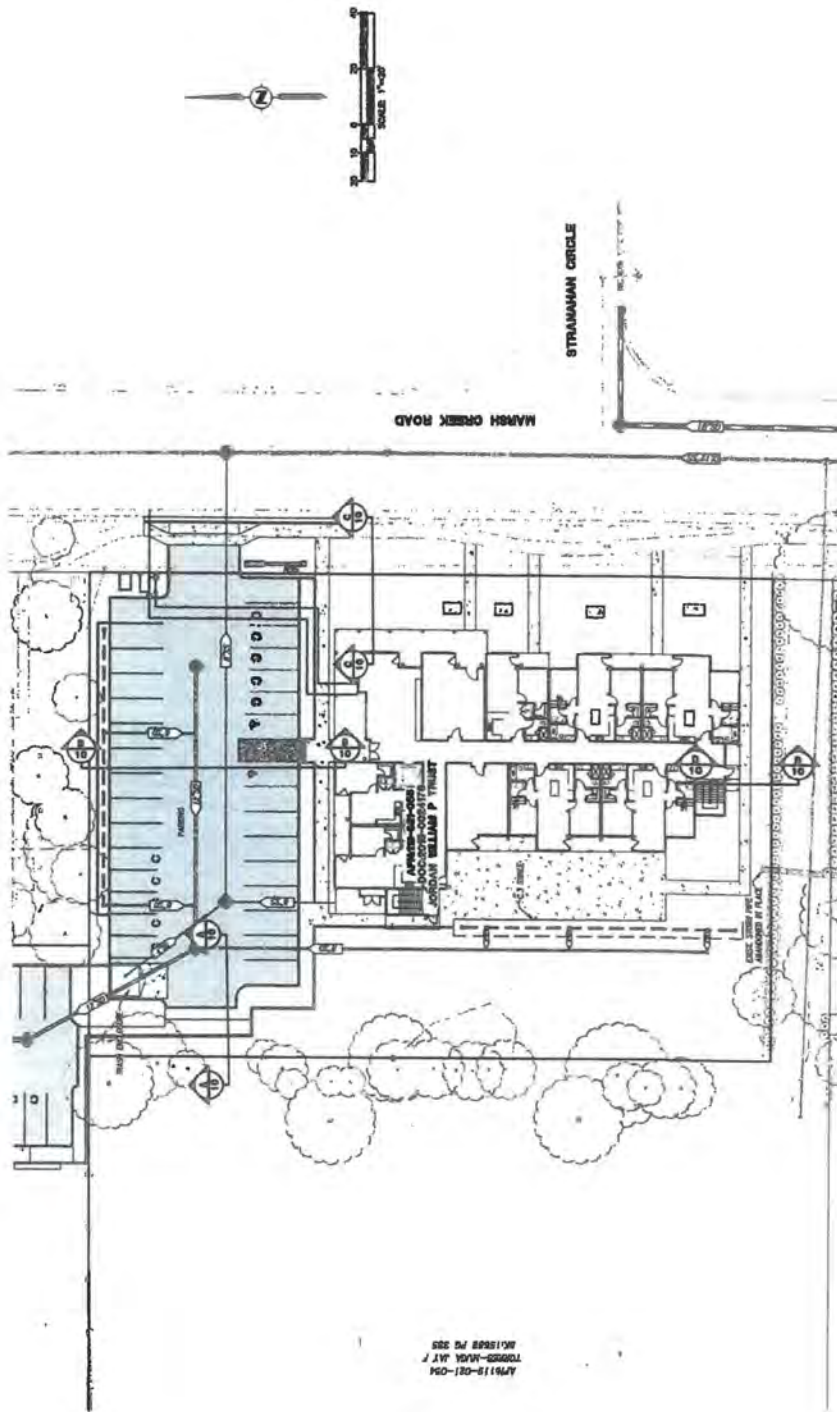
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
 P.E., No. 51828 - Expires 12/31/2021 DATE: _____
 DESIGNER: RJA JOB NO: 740
 DRAWN: KVA/MS/MAL DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-4
					11
					OF 11 SHEETS



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DATE: 10/10/18

NO. _____ SHEET
BY: JAVI LOPEZ DATE: _____
C-5
11
OF _____ SHEETS

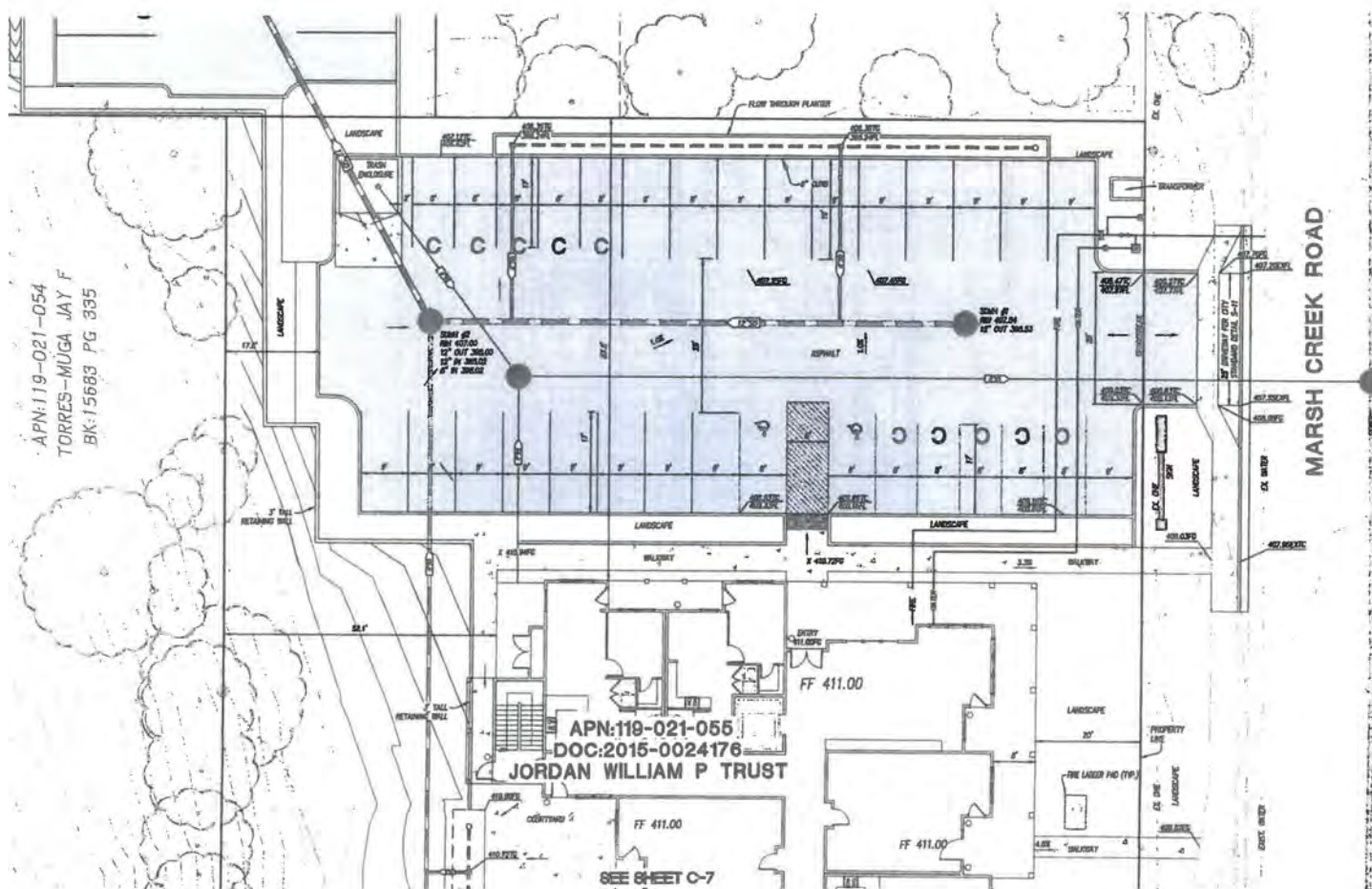


DESIGNED BY THE ARCHITECT:
ARCHITECT'S NAME: _____ DATE: _____
ADDRESS: _____ JOB NO.: 242
CITY: CHICAGO, ILL. DATE: OCTOBER 2018
DRAWN BY: JAVI LOPEZ SCALE: AS SHOWN
CHECKED BY: _____

ADDRESS: PROPERTY: THE OLIVIA ON MARSH CREEK A.P.N. 118-001-003
6450 MARSH CREEK ROAD
OVERALL SITE PLAN
CITY OF OAKVILLE DISTRICT OF OAKVILLE

2018
MILANI
ARCHITECTS & PLANNERS
10000
COURTNEY
AVENUE
SUITE 100
OAKVILLE
ONTARIO
L6M 4G2
TEL: (905) 876-8378
FAX: (905) 876-8379
WWW.MILANIARCHITECTS.COM

AW1118-01-094
TOMER-MAN AT 7
M18088 PG 003



APN:119-021-054
 TORRES-MUGA JAY F
 BK:15683 PG 335

APN:119-021-055
 DOC:2015-0024176
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SEE SHEET C-7



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 Fax: (925) 674-0276
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THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
 SITE PLAN
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

A.P.N. 119-021-055

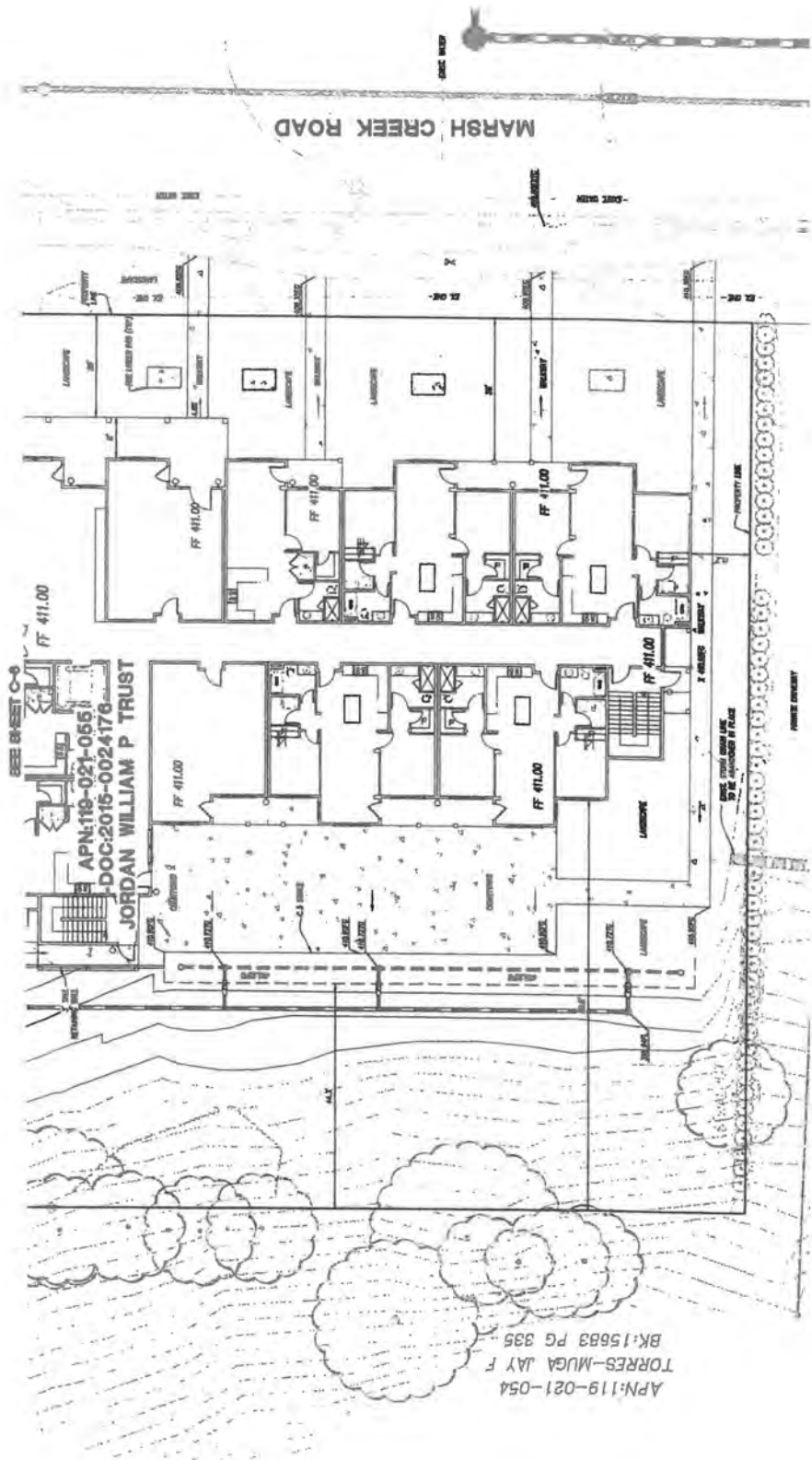
DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. SALAS
 P.E., P.L.C.E., P.E.S.T. (Supervising Engineer)
 DESIGNER: MSA
 DRAWING: KAVANAGH
 CHECKED: MSA
 DATE: OCTOBER 2019
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
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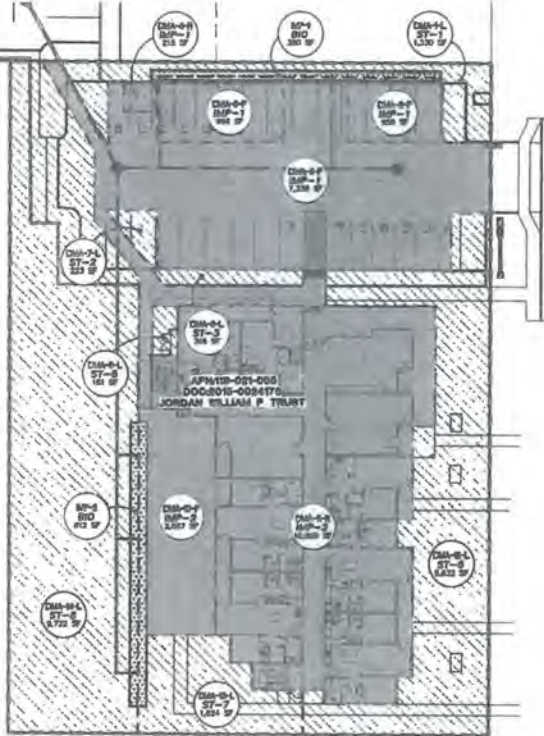


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	MILANI Architects & Associates 10000 Wilshire Blvd., Suite 1000 Beverly Hills, CA 90210 Tel: (310) 274-0000 Fax: (310) 274-0001 http://www.milani.com	ARDMORE PROPERTY THE OLIVIA ON MARSH CREEK 6450 MARSH CREEK ROAD SITE PLAN CANTERBURY COUNTRY CITY OF CLARTON	A.P.S. 110-071-483 CALIFORNIA COUNTY OF SAN DIEGO	DRAWING NUMBER SHEET NO. DATE DESIGNER CHECKER APPROVED BY	DESIGNED UNDER THE DIRECTION OF DESIGNER CHECKER APPROVED BY		PROJECT NO. DATE DESIGNER CHECKER APPROVED BY	NO.	REVISIONS	BY:	DATE:	SHEET:	OF:
										C-7	11		

APN:119-021-054
TORRES-MUGA JAY F
BK:15683 PG 335

SEE BRACKET C-4
FF 411.00
APN:119-021-066
DOC:2016-0024176
JORDAN WILLIAM P TRUST



Project Name: Clayton Senior Housing North Site 2
 Project Type: Treatment Only
 APN: 119-021-055
 Drainage Area: 62,361
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	1,320.0
DMA2	203.0
DMA3	184.0
DMA4	1,338.0
DMA5	223.0
DMA6	2,722.0
DMA7	1,284.0
Total	7,724.0

IV. Areas Draining to IMPs

BMP Name: BMP1
 BMP Type: Flow-Through Planter
 Soil Group: BMP1

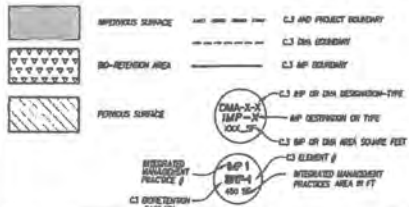
DMA NUMBER	AREA (SQ FT)	SOIL PROJECT SURFACE TYPE	DMA HEIGHT	DMA AREA x RUNOFF FACTOR	BMP SIZING BMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA OR VOLUME	PROPOSED AREA OR VOLUME
DMA2	203	Concrete or Asphalt	1.50	305				
DMA3	184	Concrete or Asphalt	1.50	276				
DMA4	215	Conventional Roof	1.50	323				
DMA5	7,338	Concrete or Asphalt	1.50	11,007				
Total				12,911				
				Area	6,045	1,000	379	300

BMP Name: BMP2
 BMP Type: Bio-retention Facility
 Soil Group: BMP2

DMA NUMBER	AREA (SQ FT)	SOIL PROJECT SURFACE TYPE	DMA HEIGHT	DMA AREA x RUNOFF FACTOR	BMP SIZING BMP SIZING FACTOR	RAIN ADJUSTMENT FACTOR	MINIMUM AREA OR VOLUME	PROPOSED AREA OR VOLUME
DMA10	2,087	Concrete or Asphalt	7.50	15,653				
DMA11	10,928	Conventional Roof	1.50	16,392				
Total				32,045				
				Area	5,043	1,500	518	812

Report generated on 10/20/19 12:03:00 AM by the Contra Costa Clean Water Program BMP Sizing Tool software (version 1.5.1.0).

LEGEND



NOTES:

1. SITE HYDROLOGIC SOIL TYPE: 0
2. DIMENSIONER ENCOUNTERED AT A DEPTH OF 11 to 24 FEET
3. CONTRACTOR SHALL VERIFY CONTRA COSTA COUNTY CLEAR WIDTH PERFORM THE SERVICE.

ABBREVIATIONS:

- IMP: INTEGRATED MANAGEMENT PRACTICES FACILITY
 CAP: CAPACITY
 EX: EXISTING
 GMM: GROUNDWATER MANAGEMENT AREA
 F/C: FACE OF CURB
 IM: IMP DESTROYED
 IMP: INTEGRATED MANAGEMENT PRACTICES
 LANDSCAPE: NOT A PAVE. AREA EXCLUDED FROM C.J. REQUIREMENTS
 PL: PLANTER
 P: PAVEMENT
 R: ROOF
 RB: ROOF BP
 RBP: ROOF OF BAY
 SF: SQUARE FEET
 SD: SELF TREATING
 ST: STREETS
 S/P: SIDEWALK
 U: UNTREATED

IMPERVIOUS AREAS:

- SEE 2.
 EXISTING LOT SIZE: 62,361 SQ FT
 EXISTING IMPERVIOUS AREA: 3,438 SQ FT
 PROPOSED IMPERVIOUS AREA: 23,270 SQ FT
 NET INCREASE OF IMPERVIOUS AREA: 19,834 SQ FT

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 CONTRACTOR OF THIS AND ALL
 ADDITIONAL SHEETS OF SET

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 Fax: (925) 874-9079
 Web: www.milaniconstruction.com

JORDAN PROPERTY
 CITY OF CLAYTON

**THE OLIVIA ON MARSH CREEK
 6450 MARSH CREEK ROAD
 C.3 COMPLIANCE EXHIBIT**

A.P.N. 119-021-055
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. DEAN	DATE
APN: 119-021-055 (SHEET 4)	
DESIGN: RDA	JOB NO: 740
DRAWN: KRASARGAL	DATE: OCTOBER 2019
CHECKED: MEM	SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-8
					11

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Clean Bay Blue Print

Make sure your crews and subs do the job right!
 Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the Bay Area water environment. Construction activities can contribute to this pollution by disturbing soil and disturbing the natural water cycle. The City of Milpitas is committed to reducing this pollution and protecting the Bay Area water environment. The following guidelines and the project specifications will ensure your compliance with City of Milpitas requirements.

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Concrete, grout, and mortar storage & waste disposal

- Store cement, grout, and mortar under covers, in plastic, and away from drainage runs. These materials must never reach a storm drain.
- Think and consider equipment leaks or spills on this material and make sure that you have proper disposal methods for these materials.



Painting

- Paints and other paint products are prohibited from being disposed into storm drains.
- Paints and other paint products are prohibited from being disposed into storm drains.
- Paints and other paint products are prohibited from being disposed into storm drains.



Landscape Materials

- Gravel, sand, and other landscape materials are prohibited from being disposed into storm drains.
- Gravel, sand, and other landscape materials are prohibited from being disposed into storm drains.
- Gravel, sand, and other landscape materials are prohibited from being disposed into storm drains.

Dewatering operations

- Minimize the amount of water used in dewatering operations.
- Minimize the amount of water used in dewatering operations.
- Minimize the amount of water used in dewatering operations.



Saw cutting

- Always completely cover or backfill areas which holes when saw cutting.
- Always completely cover or backfill areas which holes when saw cutting.
- Always completely cover or backfill areas which holes when saw cutting.



Paving/asphalt work

- Always cover areas which holes when paving/asphalt work.
- Always cover areas which holes when paving/asphalt work.
- Always cover areas which holes when paving/asphalt work.

Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks before use.
- Inspect vehicles and equipment for leaks before use.
- Inspect vehicles and equipment for leaks before use.



Earthwork & contaminated soils

- Minimize the amount of earthwork and contaminated soils.
- Minimize the amount of earthwork and contaminated soils.
- Minimize the amount of earthwork and contaminated soils.



Materials storage & spill cleanup

- Store materials in secure, leak-proof containers.
- Store materials in secure, leak-proof containers.
- Store materials in secure, leak-proof containers.



Storm drain maintenance

- Keep storm drains clear of debris and obstructions.
- Keep storm drains clear of debris and obstructions.
- Keep storm drains clear of debris and obstructions.



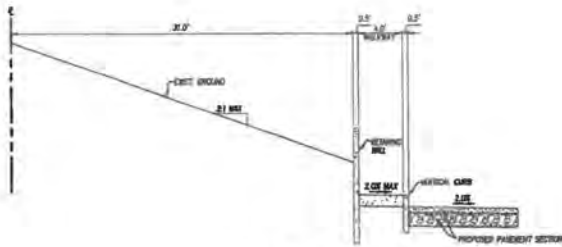
Construction Erosion and Sedimentation

- Minimize erosion and sedimentation during construction.
- Minimize erosion and sedimentation during construction.
- Minimize erosion and sedimentation during construction.

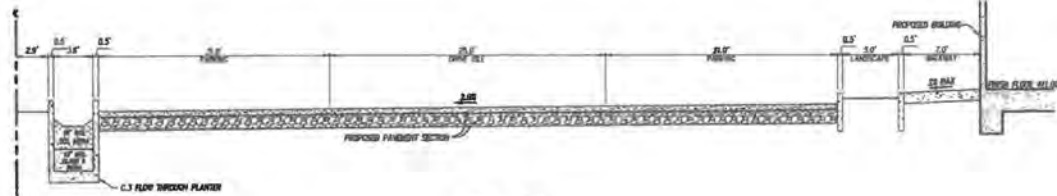
Storm drain polluters may be liable for fines of \$10,000 or more per day!

NO.	DATE	BY	APP.	DATE	REVISIONS

PROJECT: THE OLIVERA ON MARSH CREEK
ADDRESS: 6450 MARSH CREEK ROAD
CITY: MILPITAS
DATE: APRIL 11th 2013
SCALE: AS SHOWN
PROJECT NO.: 11
DATE: 11
REVISIONS: C-0
PROJECT: THE OLIVERA ON MARSH CREEK
ADDRESS: 6450 MARSH CREEK ROAD
CITY: MILPITAS
DATE: APRIL 11th 2013
SCALE: AS SHOWN
PROJECT NO.: 11
DATE: 11
REVISIONS: C-0



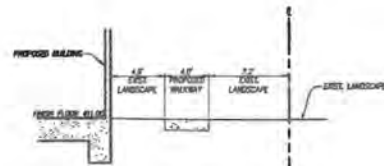
SECTION A
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION B
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION C
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION D
 HORIZ. 1"=3'
 VERT. 1"=2.5'

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 Fax: (925) 674-9179
 Web: www.milaniandassociates.com

JORDAN PROPERTY

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SECTIONS

A.P.S. 119-021-056

CITY OF CLAYTON

CONTRA COSTA COUNTY

CALIFORNIA

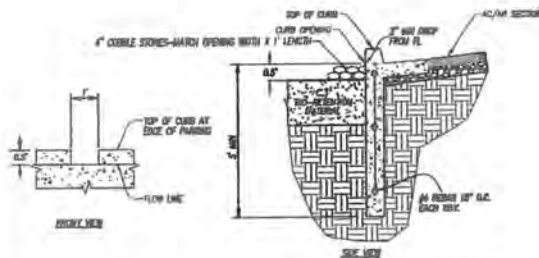
DESIGNED UNDER THE DIRECTION OF:

LEONARDO E. MILANI REGISTERED ARCHITECT	DATE
DESIGNER: JSA	JOB NO. 740
DRAWN: KHANMISAL	DATE: OCTOBER 2010
CHECKED: NEM	SCALE: AS SHOWN

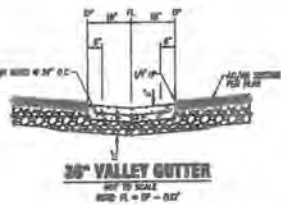


NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-10
					11

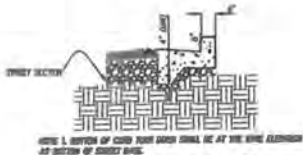
P:\Users\LEONARDO.MILANI\Projects\6450 Marsh Creek\6450 Marsh Creek - Sections C-10 - 11.dwg 10/21/10 02:49:01 PM LeonMilani



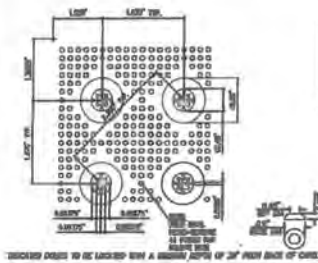
REEPLED CURB AT CS BIO-RETENTION BASINS
NOT TO SCALE



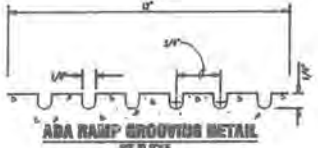
36" VALLEY GUTTER
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CURB H. = 1/2" - 0.5"



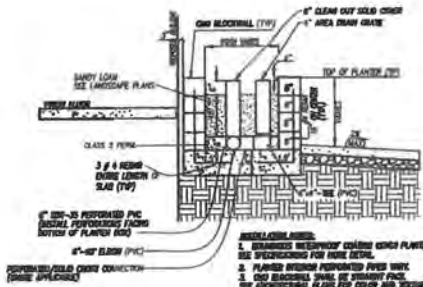
STANDARD 6" CURB & GUTTER
NOT TO SCALE



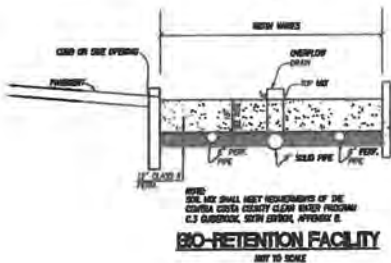
RAISED TRUNCATED DOME DETAILS
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ADA RAMP GROOVING DETAIL
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CS PLANTER
NOT TO SCALE



BIO-RETENTION FACILITY
NOT TO SCALE

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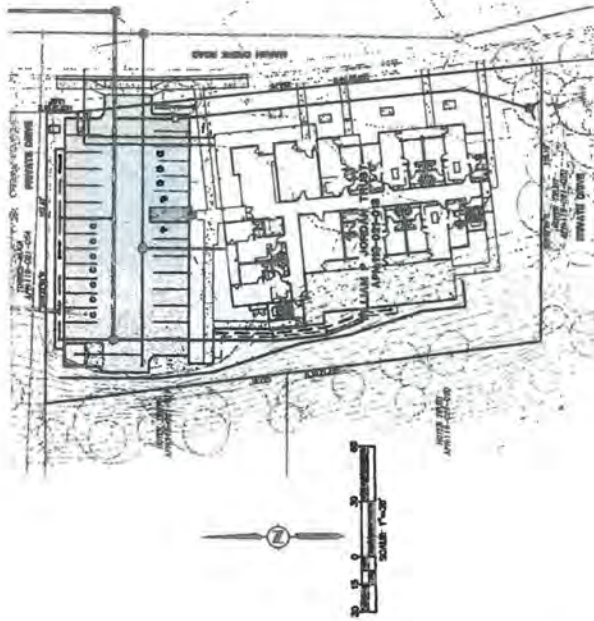
Planning & Mapping Land Development Engineering Civil Engineering Geotechnical Design Environmental Engineering Surveying & Mapping		2028 Howard Drive, Suite 300 Concord, CA 94520 Phone: (925) 671-0200 Fax: (925) 671-0270 Web: www.milaniconsulting.com	JORDAN PROPERTY	THE OLIVIA ON MARSH CREEK 6450 MARSH CREEK ROAD DETAILS	A.P.S. 110-021-055	DESIGNED UNDER THE DIRECTION OF: DONALD W. MILAN P.E., P.L.C. (Professional Seal)	DATE:	NO.	REVISIONS	BY	APP	DATE	SHEET
			CITY OF CLAYTON	CONTRA COSTA COUNTY	CALIFORNIA	CHECKED: MEN	JOSEPH T. BO DESIGN: IRVING/BLANK	DATE: OCTOBER 2019	SCALE: AS SHOWN	C-11	11	SHEETS	

SITE PLAN

THE OLIVIA ON MARSH CREEK

6490 MARSH CREEK ROAD

CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA



SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND SITE REMOVAL PLAN
C-4	ZONING MAP
C-5	GENERAL SITE PLAN
C-6	SITE PLAN-SECTION
C-7	SITE PLAN-DOWN
C-8	C-3 EXHIBIT
C-9	CLAY WAY BLUE PRINT
C-10	SECTIONS
C-11	DETAILS

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
AD	ADULT DAY CARE	AD	ADULT DAY CARE
AG	AGRICULTURE	AG	AGRICULTURE
AL	ALLOTMENT	AL	ALLOTMENT
AM	AMUSEMENT	AM	AMUSEMENT
AN	ANIMAL HUSBANDRY	AN	ANIMAL HUSBANDRY
AP	APARTMENT	AP	APARTMENT
AR	ARTS AND RECREATION	AR	ARTS AND RECREATION
AS	ASSEMBLY	AS	ASSEMBLY
AT	ATTRACTION	AT	ATTRACTION
AV	AUTOMOBILE SALES AND SERVICE	AV	AUTOMOBILE SALES AND SERVICE
AW	AWAY FROM HOME CARE	AW	AWAY FROM HOME CARE
AX	AXIOM	AX	AXIOM
AY	AYER	AY	AYER
B	BUS	B	BUS
BA	BANK	BA	BANK
BB	BUSINESS	BB	BUSINESS
BC	BUSINESS CENTER	BC	BUSINESS CENTER
BD	BUSINESS DEVELOPMENT	BD	BUSINESS DEVELOPMENT
BE	BUSINESS EDUCATION	BE	BUSINESS EDUCATION
BF	BUSINESS FINANCIAL	BF	BUSINESS FINANCIAL
BG	BUSINESS GENERAL	BG	BUSINESS GENERAL
BH	BUSINESS HEALTH	BH	BUSINESS HEALTH
BI	BUSINESS INFORMATION	BI	BUSINESS INFORMATION
BJ	BUSINESS JOURNALISM	BJ	BUSINESS JOURNALISM
BK	BUSINESS KITCHEN	BK	BUSINESS KITCHEN
BL	BUSINESS LABOR	BL	BUSINESS LABOR
BM	BUSINESS MANAGEMENT	BM	BUSINESS MANAGEMENT
BN	BUSINESS NATURE	BN	BUSINESS NATURE
BO	BUSINESS OFFICE	BO	BUSINESS OFFICE
BP	BUSINESS PROFESSIONAL	BP	BUSINESS PROFESSIONAL
BQ	BUSINESS QUARTERS	BQ	BUSINESS QUARTERS
BR	BUSINESS RECREATION	BR	BUSINESS RECREATION
BS	BUSINESS SERVICE	BS	BUSINESS SERVICE
BT	BUSINESS TECHNICAL	BT	BUSINESS TECHNICAL
BV	BUSINESS VEHICLE	BV	BUSINESS VEHICLE
BW	BUSINESS WAREHOUSE	BW	BUSINESS WAREHOUSE
BX	BUSINESS WORK	BX	BUSINESS WORK
BY	BUSINESS YOUTH	BY	BUSINESS YOUTH
BZ	BUSINESS ZONE	BZ	BUSINESS ZONE
CA	CAR	CA	CAR
CB	CAR BUSINESS	CB	CAR BUSINESS
CC	CAR CARE	CC	CAR CARE
CD	CAR DEALERSHIP	CD	CAR DEALERSHIP
CE	CAR EXHIBIT	CE	CAR EXHIBIT
CF	CAR FINANCIAL	CF	CAR FINANCIAL
CG	CAR GENERAL	CG	CAR GENERAL
CH	CAR HEALTH	CH	CAR HEALTH
CI	CAR INFORMATION	CI	CAR INFORMATION
CJ	CAR JOURNALISM	CJ	CAR JOURNALISM
CK	CAR KITCHEN	CK	CAR KITCHEN
CL	CAR LABOR	CL	CAR LABOR
CM	CAR MANAGEMENT	CM	CAR MANAGEMENT
CN	CAR NATURE	CN	CAR NATURE
CO	CAR OFFICE	CO	CAR OFFICE
CP	CAR PROFESSIONAL	CP	CAR PROFESSIONAL
CQ	CAR QUARTERS	CQ	CAR QUARTERS
CR	CAR RECREATION	CR	CAR RECREATION
CS	CAR SERVICE	CS	CAR SERVICE
CT	CAR TECHNICAL	CT	CAR TECHNICAL
CV	CAR VEHICLE	CV	CAR VEHICLE
CW	CAR WAREHOUSE	CW	CAR WAREHOUSE
CX	CAR WORK	CX	CAR WORK
CY	CAR YOUTH	CY	CAR YOUTH
CZ	CAR ZONE	CZ	CAR ZONE

SPECIAL NOTES

1. THE PROPERTY IS LOCATED AT 6490 MARSH CREEK ROAD, CLAYTON, CALIFORNIA. THE PROPERTY IS ZONED AS AN INDUSTRIAL ZONE (I-1).
2. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
3. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
4. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
5. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
6. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
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11. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
12. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
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15. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
16. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
17. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
18. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
19. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.
20. THE PROPERTY IS BOUND BY MARSH CREEK ROAD TO THE NORTH, CLAYTON ROAD TO THE EAST, AND AN UNIDENTIFIED TRAIL TO THE WEST.

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COMMUNITY DEVELOPMENT DEPT.

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NO. 11

SHEET

C-1

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
COVER SHEET

CITY OF CLAYTON
CENTRAL COSTA COUNTY
CALIFORNIA

DATE: OCTOBER 2019
JOB NO. 19-010
SCALE: AS SHOWN

APPROVED FOR THE CITY OF CLAYTON
DATE: OCTOBER 2019
JOB NO. 19-010
SCALE: AS SHOWN

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
COVER SHEET

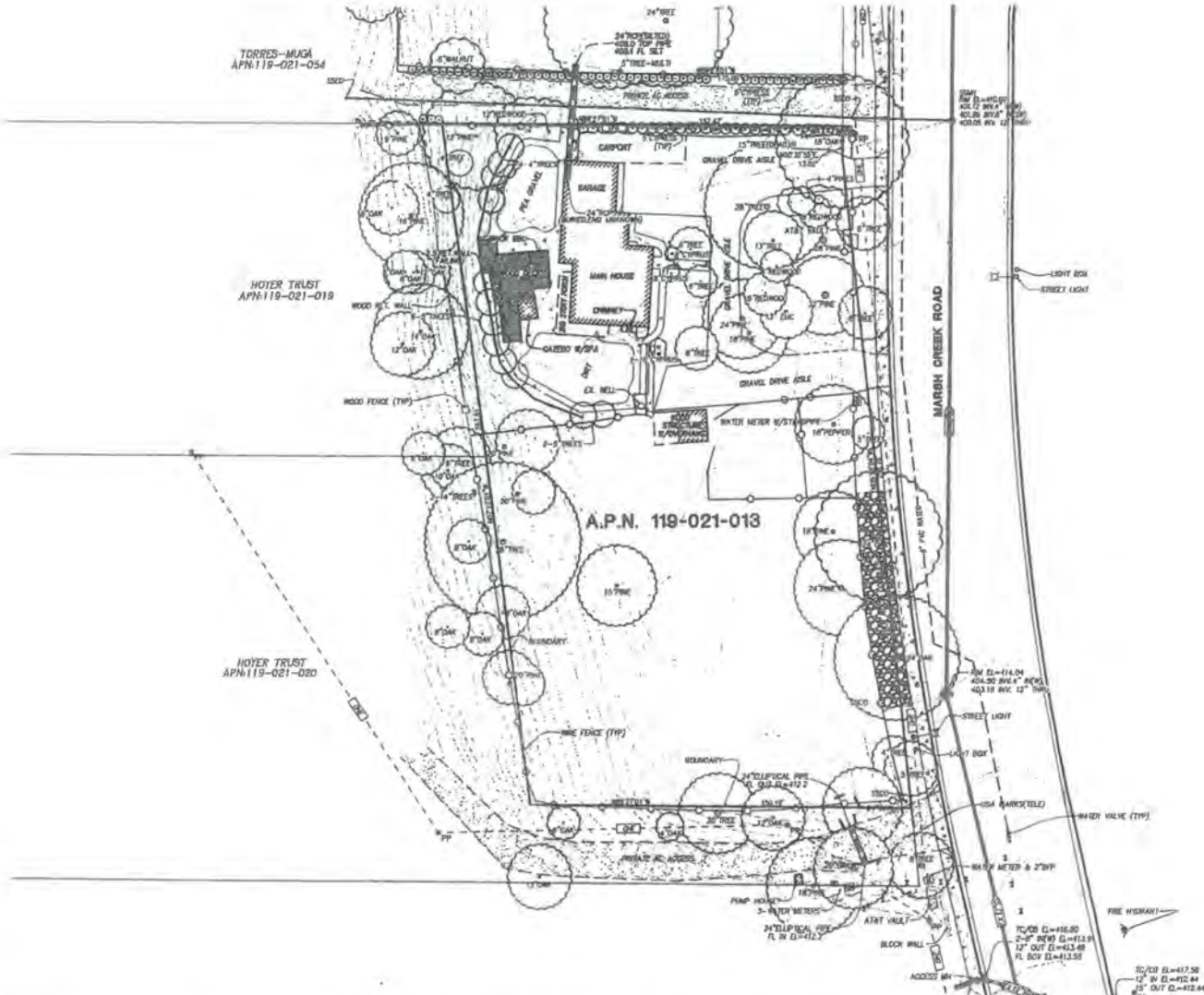
CITY OF CLAYTON
CENTRAL COSTA COUNTY
CALIFORNIA

DATE: OCTOBER 2019
JOB NO. 19-010
SCALE: AS SHOWN

APPROVED FOR THE CITY OF CLAYTON
DATE: OCTOBER 2019
JOB NO. 19-010
SCALE: AS SHOWN



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MILANI
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2000 Elwood Drive, Suite 100
 Concord, CA 94520
 Phone: (925) 676-6025
 Fax: (925) 676-6279
 Web: www.milaniassociates.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
EXISTING SITE CONDITIONS

A.P.N. 119-021-013

CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

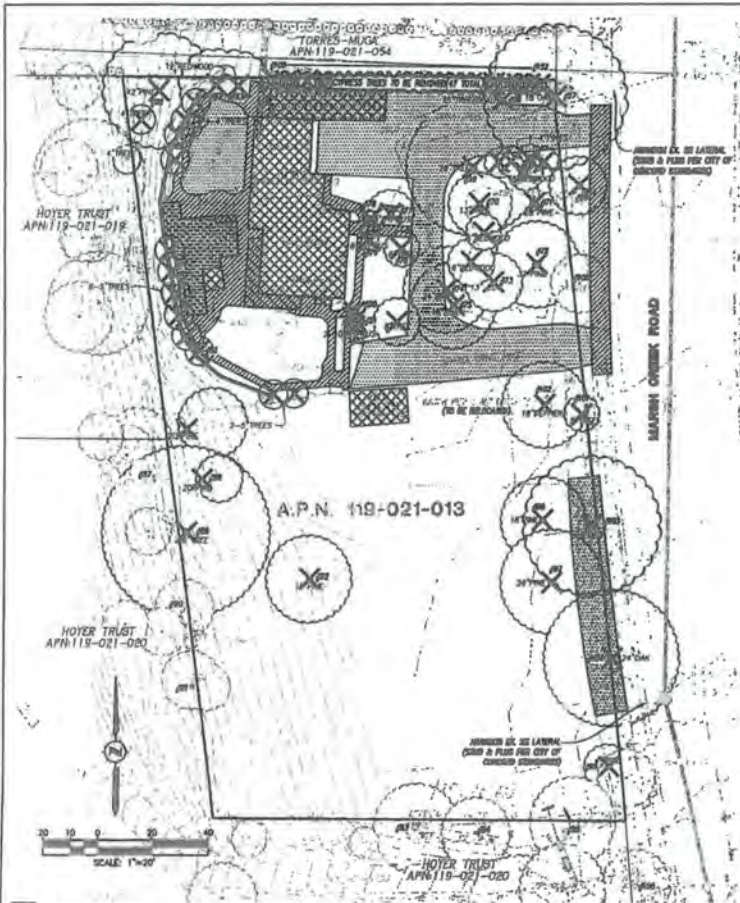
DESIGNED UNDER THE DIRECTION OF:

DEANILE E. MILANI
 REG. NO. 50121 - CIVIL ENGINEER
 DATE: _____

DRAWN BY: JUNA
 JOB NO. 140
 DATE: OCTOBER 2018
 SCALE: AS SHOWN

CHECKED: MEM

NO.	REVISIONS	BY	APP	DATE	SHEET
					C-2
					11



TREE REMOVAL NOTES

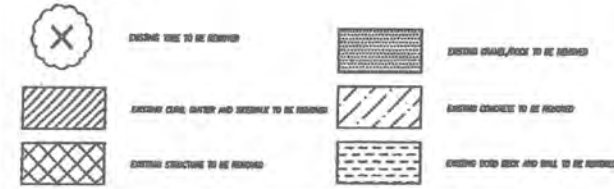
ID	Species Name	Height	DBH	Health	Location	Notes
67	Quercus laevis	12.5	20	45	A	10'
68	Asplenium nidus	12.5	20	20	F	10'
69	Quercus laevis	12.5	20	20	F	10'
70	Quercus laevis	12.5	20	20	F	10'
71	Quercus laevis	12.5	20	20	F	10'
72	Quercus laevis	12.5	20	20	F	10'
73	Quercus laevis	12.5	20	20	F	10'
74	Quercus laevis	12.5	20	20	F	10'
75	Quercus laevis	12.5	20	20	F	10'
76	Quercus laevis	12.5	20	20	F	10'
77	Quercus laevis	12.5	20	20	F	10'
78	Quercus laevis	12.5	20	20	F	10'
79	Quercus laevis	12.5	20	20	F	10'
80	Quercus laevis	12.5	20	20	F	10'
81	Quercus laevis	12.5	20	20	F	10'
82	Quercus laevis	12.5	20	20	F	10'
83	Quercus laevis	12.5	20	20	F	10'
84	Quercus laevis	12.5	20	20	F	10'
85	Quercus laevis	12.5	20	20	F	10'
86	Quercus laevis	12.5	20	20	F	10'
87	Quercus laevis	12.5	20	20	F	10'
88	Quercus laevis	12.5	20	20	F	10'
89	Quercus laevis	12.5	20	20	F	10'
90	Quercus laevis	12.5	20	20	F	10'
91	Quercus laevis	12.5	20	20	F	10'
92	Quercus laevis	12.5	20	20	F	10'
93	Quercus laevis	12.5	20	20	F	10'
94	Quercus laevis	12.5	20	20	F	10'
95	Quercus laevis	12.5	20	20	F	10'
96	Quercus laevis	12.5	20	20	F	10'
97	Quercus laevis	12.5	20	20	F	10'
98	Quercus laevis	12.5	20	20	F	10'
99	Quercus laevis	12.5	20	20	F	10'
100	Quercus laevis	12.5	20	20	F	10'
101	Quercus laevis	12.5	20	20	F	10'
102	Quercus laevis	12.5	20	20	F	10'
103	Quercus laevis	12.5	20	20	F	10'
104	Quercus laevis	12.5	20	20	F	10'
105	Quercus laevis	12.5	20	20	F	10'

* TO BE REMOVED
 ** PROTECTED TREE TO BE REMOVED

ID	Species Name	Height	DBH	Health	Location	Notes
106	Quercus laevis	12.5	20	20	F	10'
107	Quercus laevis	12.5	20	20	F	10'
108	Quercus laevis	12.5	20	20	F	10'
109	Quercus laevis	12.5	20	20	F	10'
110	Quercus laevis	12.5	20	20	F	10'
111	Quercus laevis	12.5	20	20	F	10'
112	Quercus laevis	12.5	20	20	F	10'
113	Quercus laevis	12.5	20	20	F	10'
114	Quercus laevis	12.5	20	20	F	10'
115	Quercus laevis	12.5	20	20	F	10'
116	Quercus laevis	12.5	20	20	F	10'
117	Quercus laevis	12.5	20	20	F	10'
118	Quercus laevis	12.5	20	20	F	10'
119	Quercus laevis	12.5	20	20	F	10'
120	Quercus laevis	12.5	20	20	F	10'
121	Quercus laevis	12.5	20	20	F	10'
122	Quercus laevis	12.5	20	20	F	10'
123	Quercus laevis	12.5	20	20	F	10'
124	Quercus laevis	12.5	20	20	F	10'
125	Quercus laevis	12.5	20	20	F	10'
126	Quercus laevis	12.5	20	20	F	10'
127	Quercus laevis	12.5	20	20	F	10'
128	Quercus laevis	12.5	20	20	F	10'
129	Quercus laevis	12.5	20	20	F	10'
130	Quercus laevis	12.5	20	20	F	10'
131	Quercus laevis	12.5	20	20	F	10'
132	Quercus laevis	12.5	20	20	F	10'
133	Quercus laevis	12.5	20	20	F	10'
134	Quercus laevis	12.5	20	20	F	10'
135	Quercus laevis	12.5	20	20	F	10'
136	Quercus laevis	12.5	20	20	F	10'
137	Quercus laevis	12.5	20	20	F	10'
138	Quercus laevis	12.5	20	20	F	10'
139	Quercus laevis	12.5	20	20	F	10'
140	Quercus laevis	12.5	20	20	F	10'
141	Quercus laevis	12.5	20	20	F	10'
142	Quercus laevis	12.5	20	20	F	10'
143	Quercus laevis	12.5	20	20	F	10'
144	Quercus laevis	12.5	20	20	F	10'
145	Quercus laevis	12.5	20	20	F	10'
146	Quercus laevis	12.5	20	20	F	10'
147	Quercus laevis	12.5	20	20	F	10'
148	Quercus laevis	12.5	20	20	F	10'
149	Quercus laevis	12.5	20	20	F	10'
150	Quercus laevis	12.5	20	20	F	10'
151	Quercus laevis	12.5	20	20	F	10'
152	Quercus laevis	12.5	20	20	F	10'

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DEMOLITION LEGEND



STRUCTURE MATERIAL	QUANTITY
CONCRETE REMOVAL	3,600 SF
CONCRETE REMOVAL	1,750 SF
CONCRETE REMOVAL	5,400 SF
CONCRETE REMOVAL	400 SF
STEEL REMOVAL	300 SF
STEEL REMOVAL	400 SF
STEEL REMOVAL	77 TOTAL

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 Concord, CA 94520
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 Fax: (925) 674-8279
 Web: www.milaniremedial.com

JORGAN PROPERTY

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
DEMOLITION & TREE REMOVAL PLAN

A.P.N. 119-021-013

CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED BY: REMEDIY & MAPPING
 CHECKED BY: JORGAN PROPERTY

DATE: 08/15/2019

PROJECT NO: 19013

SCALE: AS SHOWN

NO.	REVISIONS	BY	APP.	DATE	REVISION
1	ISSUE FOR PERMIT	CA/CM		8/15/2019	

C-3

11 SHEETS

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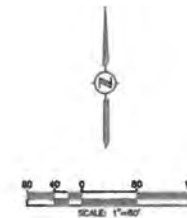


LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- SITE BOUNDARY
- ZONING BOUNDARY



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AGREEMENTS APPLICABLE TO THE

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Land Development Engineering
Hydrolog Engineering
Construction Safety
Environmental Engineering
SWPPP Monitoring & Reporting



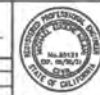
2855 Shiloh Oaks, Suite 105
Concord, CA 94520
Phone: (925) 674-9023
Fax: (925) 674-9279
Web: www.milaniconstruction.com

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CITY OF CLAYTON

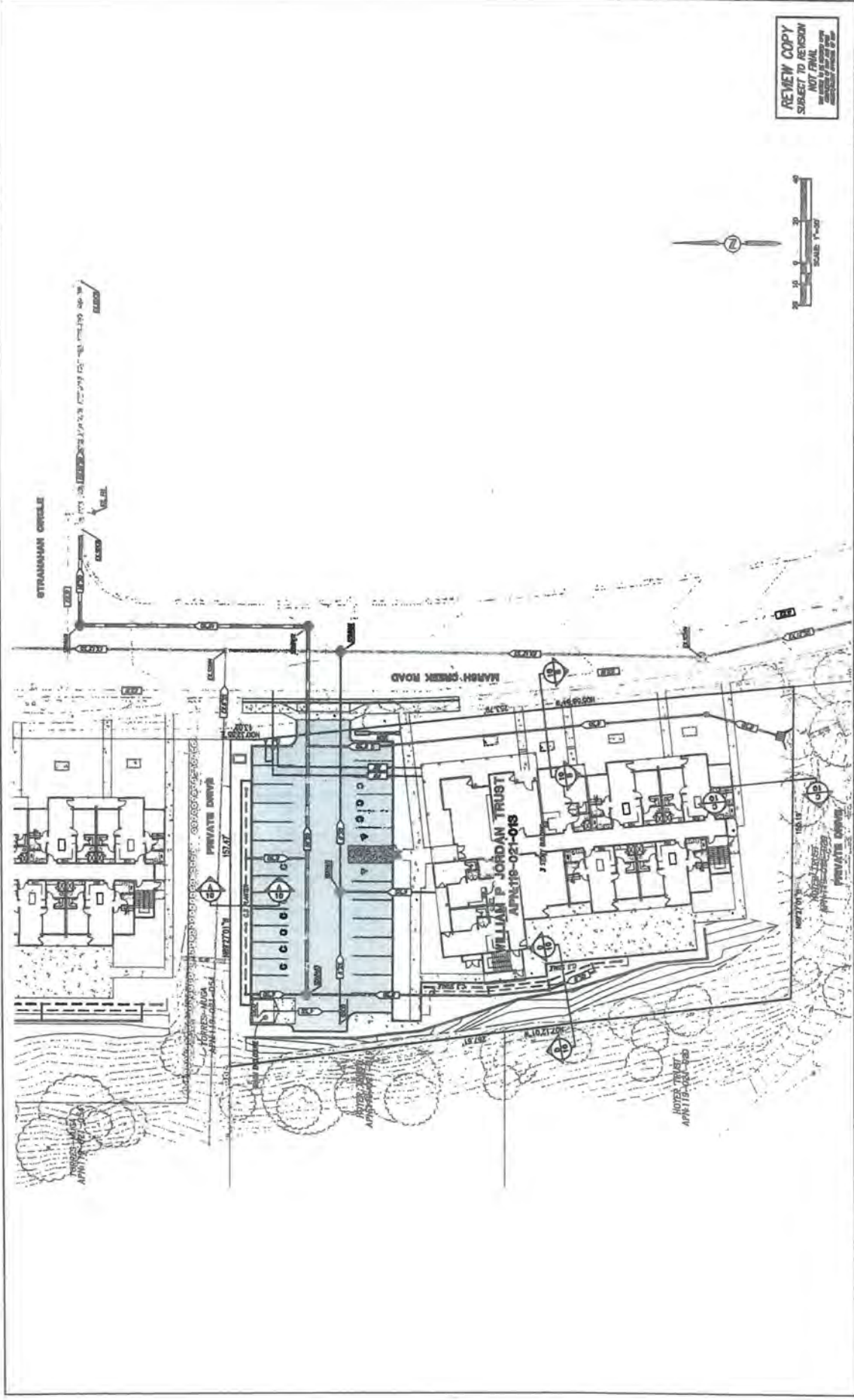
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
ZONING EXHIBIT
CONTRA COSTA COUNTY

A.P.N. 119-021-013
CALIFORNIA

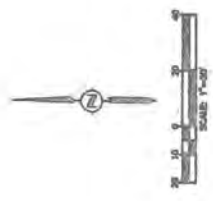
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. HEALY
REGISTERED PROFESSIONAL ENGINEER
DATE: _____
DRAWN BY: RYAN M. GILMAN
DATE: OCTOBER 2019
CHECKED BY: MRM
SCALE: AS SHOWN



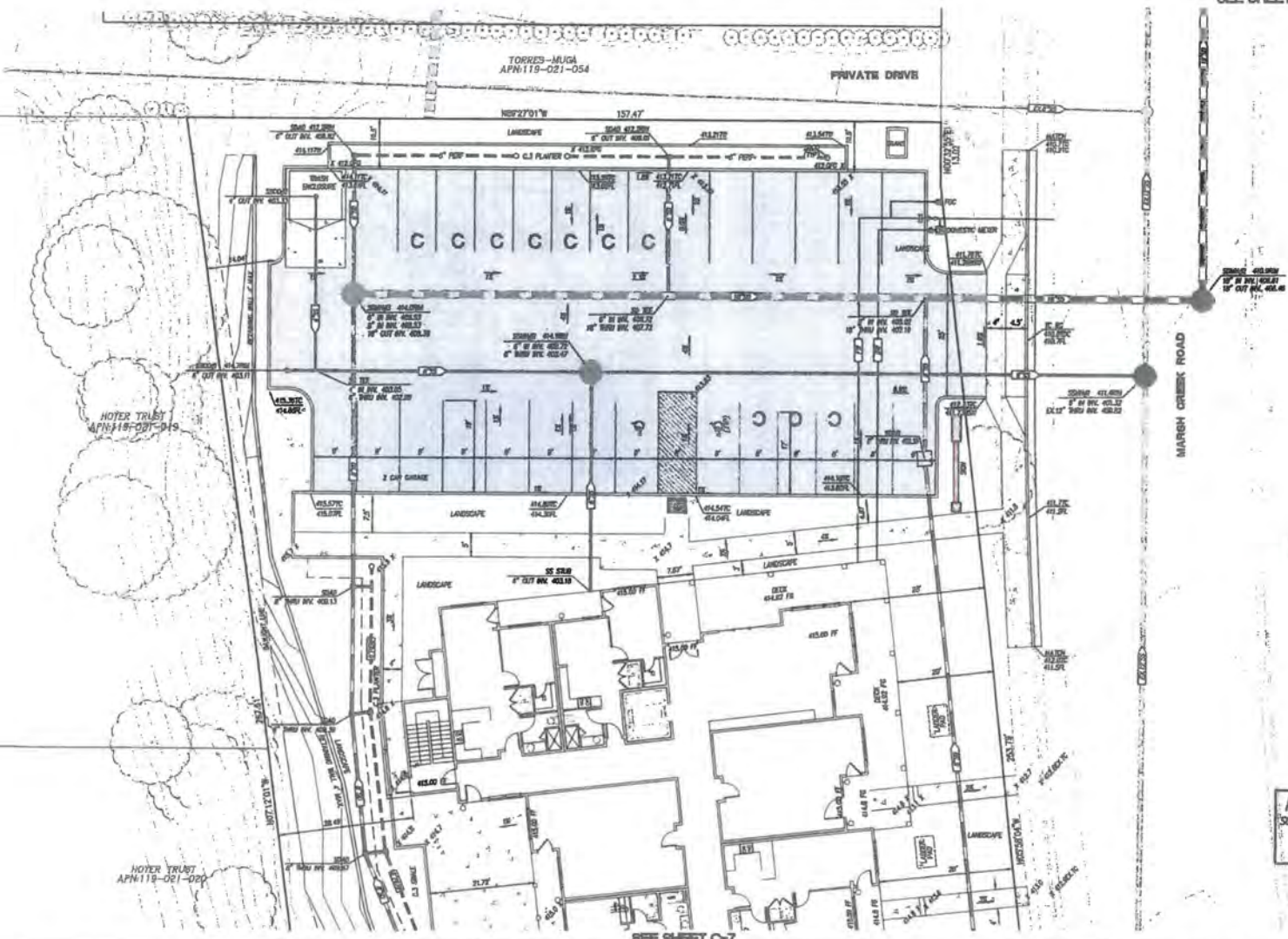
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					OF SHEETS



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	NO.	REVISIONS	REV.	DATE	BY
<p>APPROVED FOR CONSTRUCTION BY:</p> <p>DATE: _____</p> <p>SCALE: AS SHOWN</p>					
<p>THE OLIVIA ON MARSH CREEK 6490 MARSH CREEK ROAD OVERALL SITE PLAN</p>					
<p>PROJECT PROPERTY: CENTRAL CREEK COUNTRY CITY OF CLAYTON A.P.N. 118-001-010</p>					
<p>2000, Mililani Blvd., Suite 100 Mililani, CA 94533 Phone: (408) 671-1111 Fax: (408) 671-9979 Web: www.mililani.com</p>					
<p>MILITANI & ASSOCIATES ARCHITECTS</p>					



SEE SHEET C-7



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 COMPLETION OF THE AND OTHER
 NECESSARY APPROVALS OF THE

SEE SHEET C-7

Planning
 Surveying & Mapping
 Land Development Engineering
 Municipal Engineering
 Construction Staking
 Environmental Engineering
 GIS/PPP Monitoring & Reporting



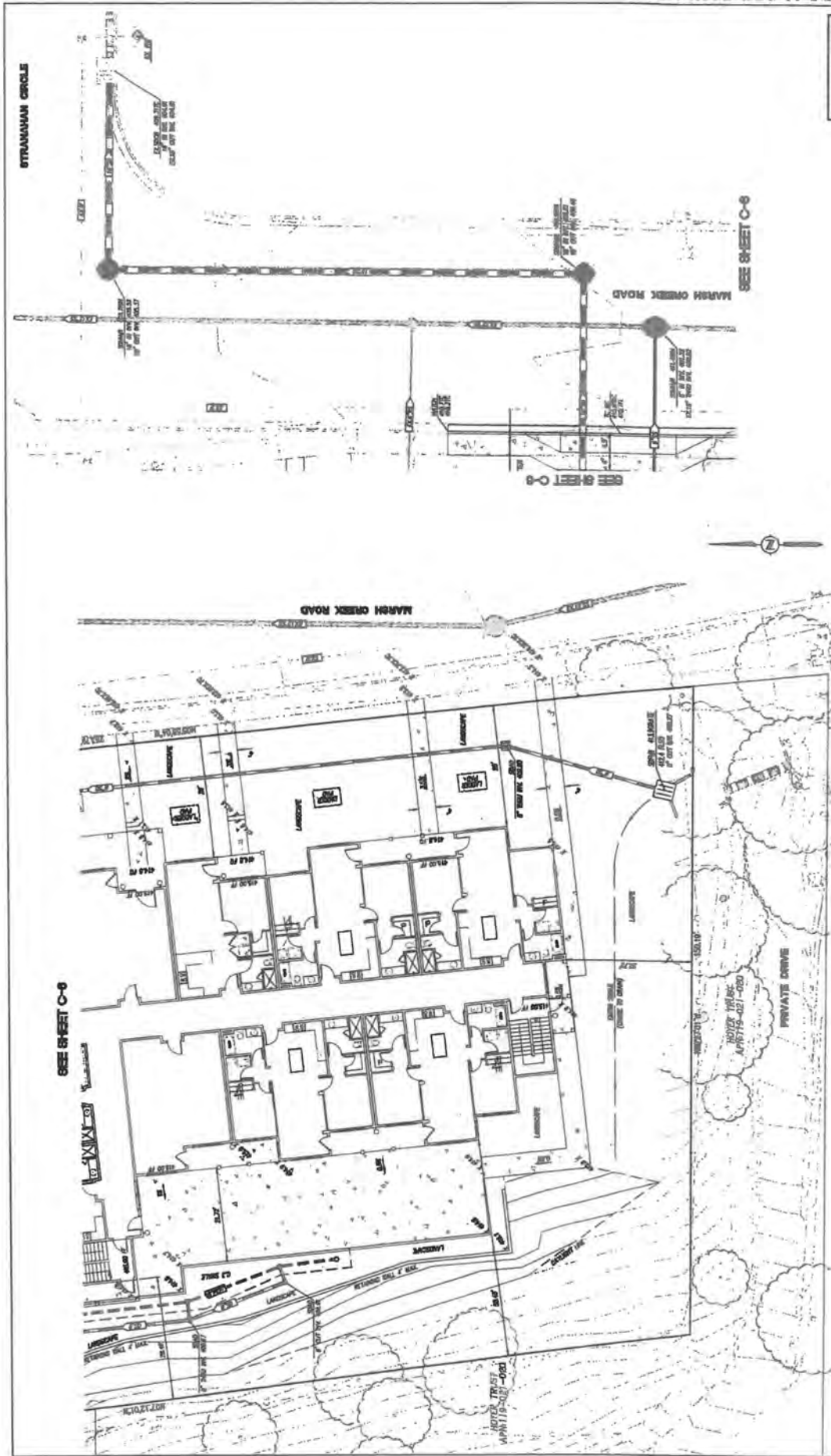
2055 Stonewall Oaks, Suite 105
 Concord, CA 94520
 Phone: (925) 674-0800
 Fax: (925) 674-0279
 Web: www.milaniassociates.com

JOB/RA PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SITE PLAN-NORTH
 A.P.N. 119-021-013
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL S. TOLAN
 SCALE: AS SHOWN
 DESIGNER: KPA
 DRAWN: KVASHMALA
 CHECKED: MEN
 DATE: OCTOBER 2018
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-6
					11
					OF 11 SHEETS



REVIEW COPY
 SUBJECT TO REVISION
 NOT FINAL
 ANY CHANGES MUST BE MADE BY THE CLIENT

NO.	DATE	BY	REVISIONS



DESIGNED BY	DATE	SCALE
CHECKED BY	DATE	SCALE
DRAWN BY	DATE	SCALE
PROJECT NO.	DATE	SCALE

THE OLIVIA ON MARSH CREEK
 6490 MARSH CREEK ROAD
 SITE PLAN-SOUTH
 DUSTIN OREGA SOCIETY

CITY OF OLIVIA
 ADDRESS PERMIT
 A.P.A. 118-261-873

MILANI
 ARCHITECTS & ENGINEERS
 2400 Shreve Drive, Suite 100
 Dallas, TX 75201
 Phone (972) 241-0000
 Fax (972) 241-0078
 Web: www.milaniarchitects.com

TORRES-MUGA
APN 119-021-054

HOYER TRUST
APN 119-021-019

HOYER TRUST
APN 119-021-020

HOYER TRUST
APN 119-021-020

MARSH CREEK ROAD



Project Name: Clayton Center Housing North Site 3
Project Type: Treatment Only
APN: 119-021-019
Drainage Area: 45,003
Mean Annual Precipitation: 16.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	2,017
DMA2	1,019
DMA3	1,019
DMA11	1,019
DMA12	1,019
DMA14	2,038

IV. Areas Draining to IMPs

IMP Name: IMP1
IMP Type: Flow-Through Planter

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Rating Factor	Run Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA2	1,019	Concrete or Asphalt	1.00	1,019				
DMA3	1,019	Concrete or Asphalt	1.00	1,019				
DMA4	1,019	Concrete or Asphalt	1.00	1,019				
DMA5	1,019	Concrete or Asphalt	1.00	1,019				
DMA6	2,118	Concrete or Asphalt	1.00	2,118				
DMA3	1,019	Concrete or Asphalt	1.00	1,019				
Total				8,342				
				Area	1.00	1.00	375	484

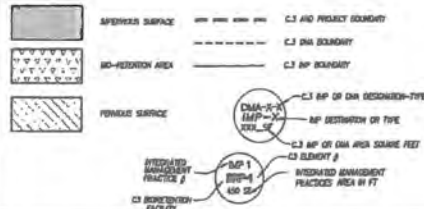
IMP Name: IMP2

IMP Type: Stormwater Facility

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Rating Factor	Run Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA11	1,019	Concrete or Asphalt	1.00	1,019				
DMA12	2,400	Concrete or Asphalt	1.00	2,400				
Total				3,419				
				Area	1.00	1.00	50	155

Report generated on 10/20/19 12:20:42 AM by the Contra Costa Clean Water Program IMP Rating Tool software (version 1.3.1.2).

LEGEND



NOTES

1. SITE HYDROLOGIC SOIL TYPE: D
2. GROUNDWATER ENCOUNTERED AT A DEPTH OF 11 to 24 FEET
3. CONTRACTOR SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM TPA ACTION

ABBREVIATIONS:

- BP BOREHOLE FACILITY
- CPV CATCH BASIN
- EX EXISTING
- DMA DRAINAGE MANAGEMENT AREA
- F/C FACE OF CURB
- NO NO RETURN
- IMP INTEGRATED MANAGEMENT PRACTICES
- L LANDSCAPE
- IMP & F/C AREA EXCLUDED FROM C.3 REQUIREMENTS
- P PRECIPITATION
- PL PLANTER
- ROOF ROOF
- RP RP IMP
- ROOF OF IMP ROOF OF IMP
- SC SCOUR FEET
- SE SELF TREATING
- ST ST
- S/W SIDEWALK
- V VENT

Planning
Surveying & Mapping
Land Development Engineering
Hydrological Engineering
Construction Staking
Environmental Engineering
GIS/VP Monitoring & Reporting



2950 Stranwell Drive, Suite 102
Concord, CA 94520
Phone: (925) 874-4022
Fax: (925) 874-5270
Web: www.milaniconsultants.com

JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
C.3 COMPLIANCE EXHIBIT

A.P.N. 119-021-013
CONTRA COSTA COUNTY
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL S. NEARS
REGISTERED PROFESSIONAL ENGINEER
NO. 51434
DESIGNER: HSM
CHECKED: ARM

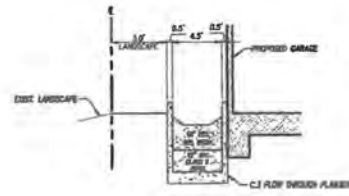
DATE: _____
JOB NO. 740
DATE: OCTOBER 2019
SCALE: AS SHOWN



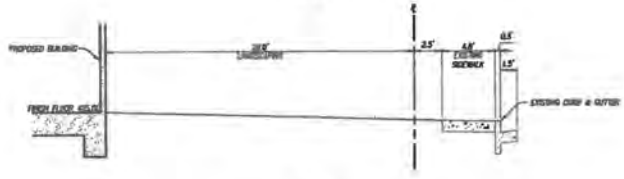
NO.	REVISIONS	BY	APP	DATE	SHEET
					C-8
					11

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Use solely for informational purposes. No warranty is made by the engineer or architect for any use other than that intended.

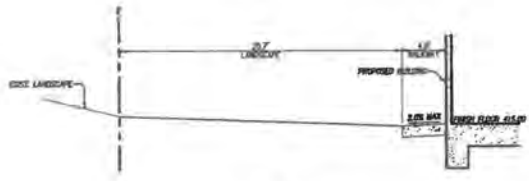
P:\Users\MUGA\OneDrive - Home - 3/19/2019 10:14:08 AM 119-021-019 C-8 11 OF 11 SHEETS



SECTION A
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION B
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION C
 HORIZ. 1"=3'
 VERT. 1"=2.5'



SECTION D
 HORIZ. 1"=3'
 VERT. 1"=2.5'

REVIEW COPY
 SUBJECT TO REVISION
 NOT FINAL
 SEE BACK TO BE SURE AND
 CORRECT OF ALL AND END
 (NO) (DATE) (TIME) (BY)

Planning & Mapping
 Land Development Engineering
 Geotechnical Engineering
 Environmental Engineering
 SOPPP Monitoring & Reporting



2055 Shinnick Oaks, Suite 105
 Concord, CA 94520
 Phone: (925) 874-0292
 Fax: (925) 874-0278
 Web: www.milaniandassociates.com

JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SECTIONS
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

A.P.N. 119-021-013 DESIGNED UNDER THE DIRECTION OF:

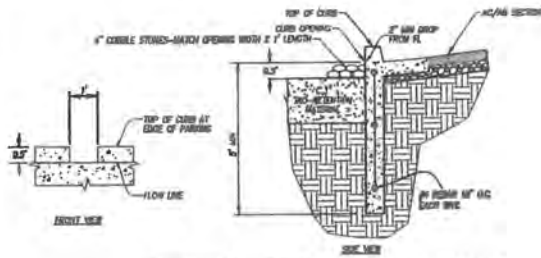
MICHAEL S. KELLY
 P.O. Box 98121 EXP. 09/28/2011 DATE

DESIGNER: JSM JOB NO: 740
 DRAWING: 004/04/2010 DATE: OCTOBER 2010
 CHECKED: MSA SCALE: AS SHOWN

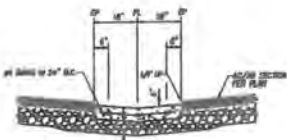


NO.	REVISIONS	BY	APP	DATE	SHEET
					C-10
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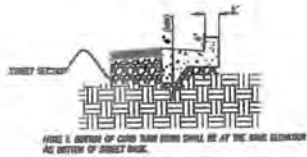
P:\Projects\1000_Plan\1000_Plan\1000_Plan-1.dwg Section C-10 10-01-10 02:16:27 PM SamO'Shaw



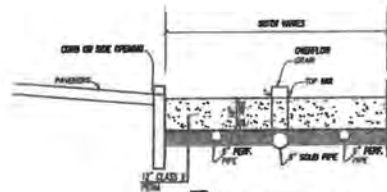
DEEPEDED CURB AT CS BIO-RETENTION BASINS
NOT TO SCALE



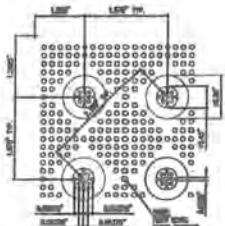
36° VALLEY GUTTER
NOT TO SCALE
NOTE: R = 12" - 60"



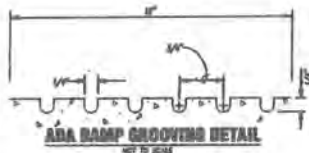
STANDARD 6" CURB & GUTTER
NOT TO SCALE



BIO-RETENTION FACILITY
NOT TO SCALE



RAISED TRUNCATED DOME DETAILS
NOT TO SCALE



ADA RAMP GROOVING DETAIL
NOT TO SCALE

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REPRESENTATION OF THE
DESIGN.

Planning
Surveying & Mapping
Land Development Engineering
Mechanical Engineering
Civil Engineering
Structural Engineering
Soil & Foundation Engineering
Site Planning & Design



2000 Howard Drive, Suite 100
Covina, CA 91724
Phone: (951) 974-4000
Fax: (951) 974-4272
Web: www.milaniengineers.com

OWNER PROPERTY

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
DETAILS

A.P.S. 118-021-013

CITY OF CLAYTON

SOUTHERN COAST COUNTY

CALIFORNIA

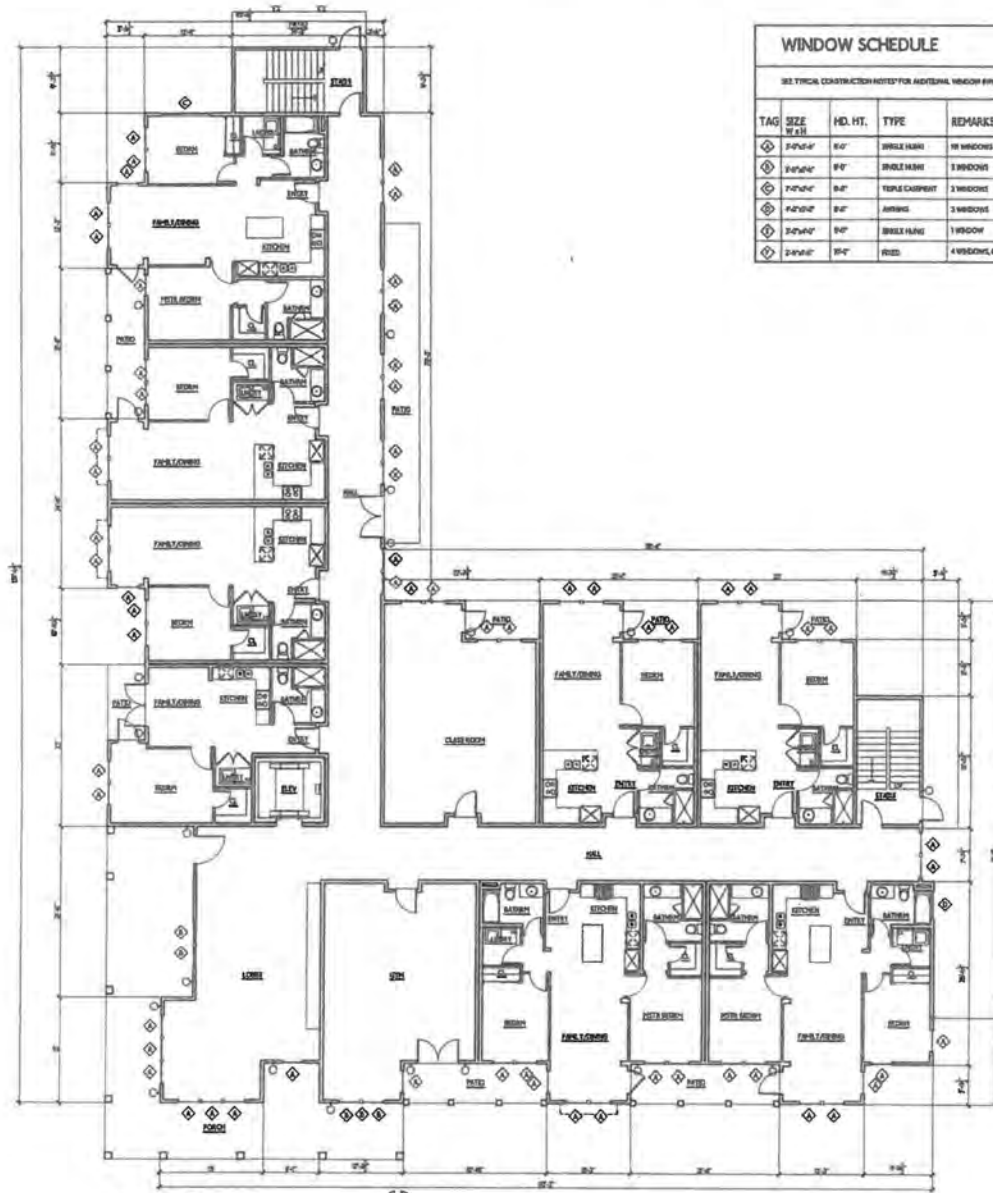
DISKED LAYOUT THE DIRECTION OF:

DESIGNED BY: [Signature]
CHECKED BY: MIRA
DATE: OCTOBER 2010
SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	DATE

C-11
11
OF 11 SHEETS



WINDOW SCHEDULE				
SEE TYPICAL CONSTRUCTION NOTES FOR MATERIAL WINDOW FINISHES				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
W-001	6'-0"	6'-0"	BRICK HANG	18 WINDOWS
W-002	6'-0"	6'-0"	BRICK HANG	3 WINDOWS
W-003	6'-0"	6'-0"	TRIPLE CASSETTE	3 WINDOWS
W-004	6'-0"	6'-0"	AWNING	3 WINDOWS
W-005	6'-0"	6'-0"	BRICK HANG	1 WINDOW
W-006	6'-0"	6'-0"	WED.	4 WINDOWS, CUSTOM SEE SCHEDULE

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6170 High St.
Clayton, CA 94517
APN: 019-029-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

1st FLOOR PLAN

REVISION		
No.	Description	Date
1	DESIGN REV	1/22/11

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/11

A2.0

ELECTRICAL PLAN LEGEND
NOTE: ELECTRICAL SYMBOLS TO BE RELEVANT BY OWNER UNLESS OTHERWISE NOTED
1. SEE GENERAL NOTES
2. SEE GENERAL NOTES
3. SEE GENERAL NOTES
4. SEE GENERAL NOTES
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98. SEE GENERAL NOTES
99. SEE GENERAL NOTES
100. SEE GENERAL NOTES

1st FLOOR PLAN
SCALE: 1/8" = 1'-0"
TOTAL SHEET NO. 1 OF 1
DATE: 10/11

William Jordan
Design & Development
PO Box 507
Clayton, CA 94527
(925) 877-7299

"The Olive on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
10000 Marsh Creek Rd.
Clayton, CA 94527
APN: 19-021-063

OWNER:
William Jordan
P.O. Box 507
Clayton, CA 94527
(925) 877-7299

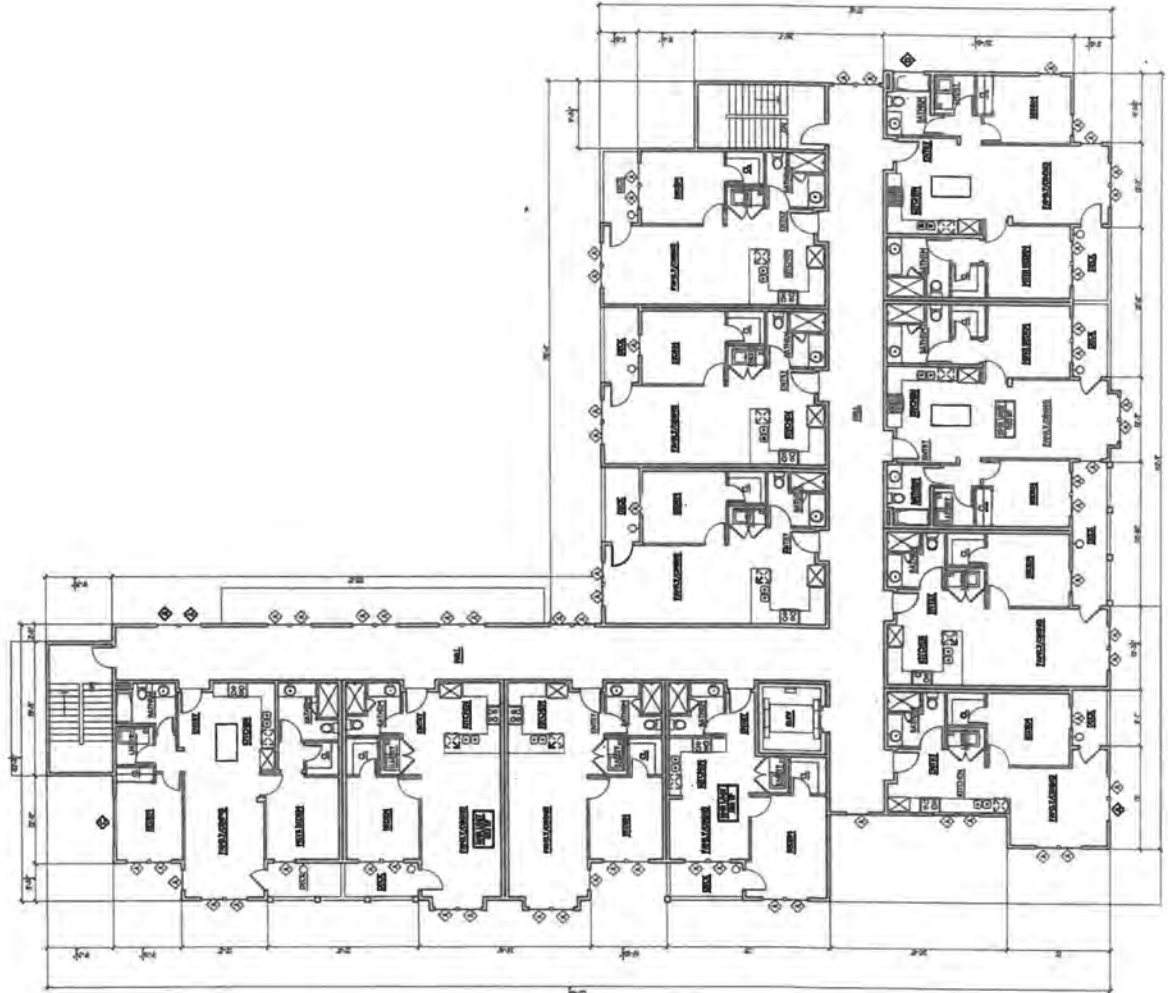
2nd FLOOR PLAN

REVISION

No.	Description	Date
1	ISSUED	1/27/09

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE:

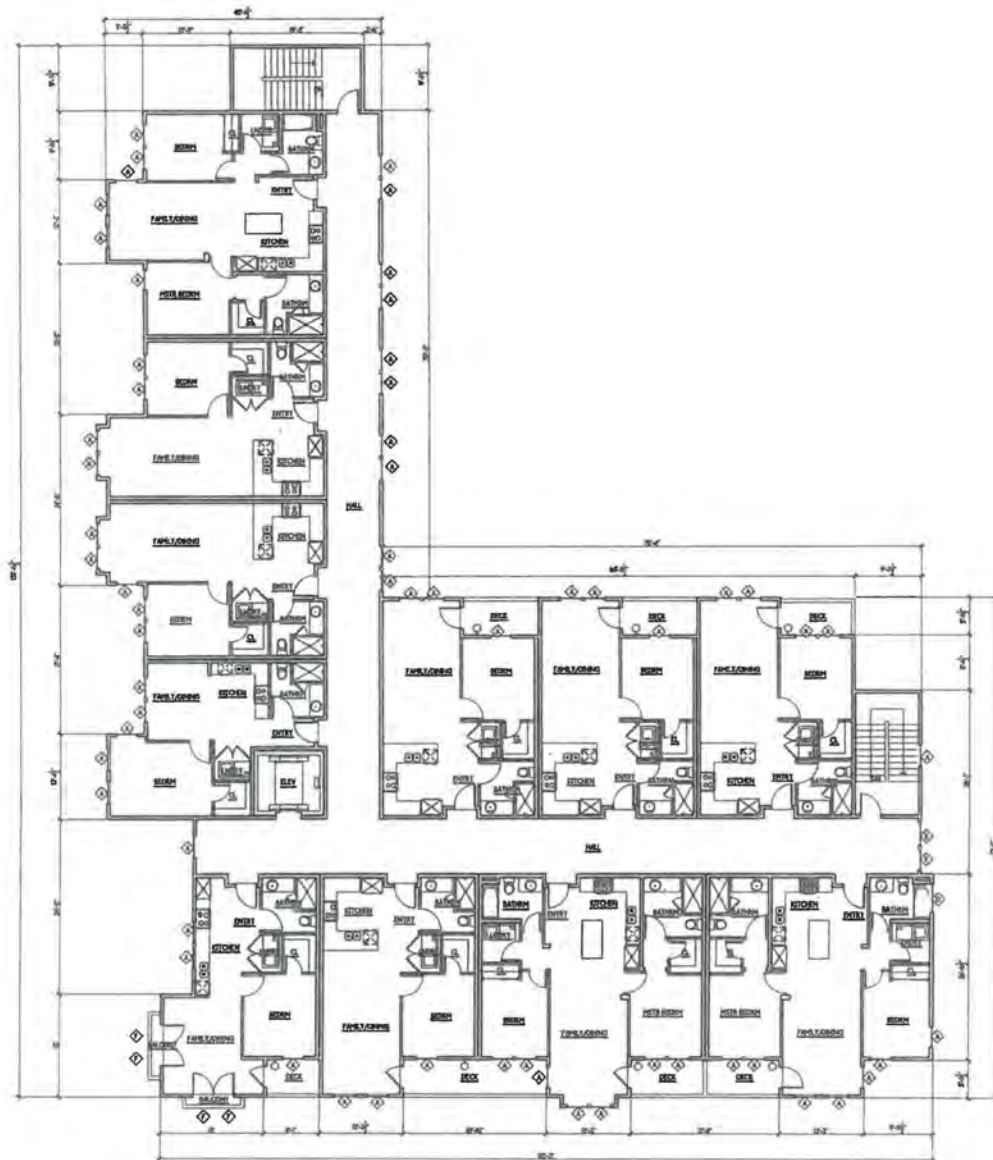
A2.1



ELECTRICAL PLAN LEGEND

1. All electrical work shall be in accordance with the National Electrical Code (NEC) and the applicable local codes.
2. All electrical work shall be done in accordance with the manufacturer's instructions.

2nd FLOOR PLAN
1/27/09



ELECTRICAL PLAN LEGEND
 REFER TO ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 AND AS PER CDS SHEET
 1. All electrical light fixture symbols have typical details. The dimensions of any fixture
 to be used must be provided to the electrical engineer for coordination.

3rd FLOOR PLAN
 1/2" = 1'-0" 3/16" = 1'-0" 1/8" = 1'-0"

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia on Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6170 High St.
 Clayton, CA 94517
 APN: 119-021-063

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

3rd FLOOR PLAN

REVISION		
No.	Description	Date
1	DESIGN REV	1/21/19

PROJECT No.:
 DRAWN BY: WJY
 CHECKED BY: WJY
 DATE: 01/21/19

A2.2

William Jordan
 Design & Development
 PO Box 507
 Clayton, CA 94527
 (925) 875-7899

"The Olive on Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS
 - 6770 High St.
 Clayton, CA 94527
 PHN: 925-858-9453

OWNER
 William Jordan
 PO Box 507
 Clayton, CA 94527
 PHN: 925-7289

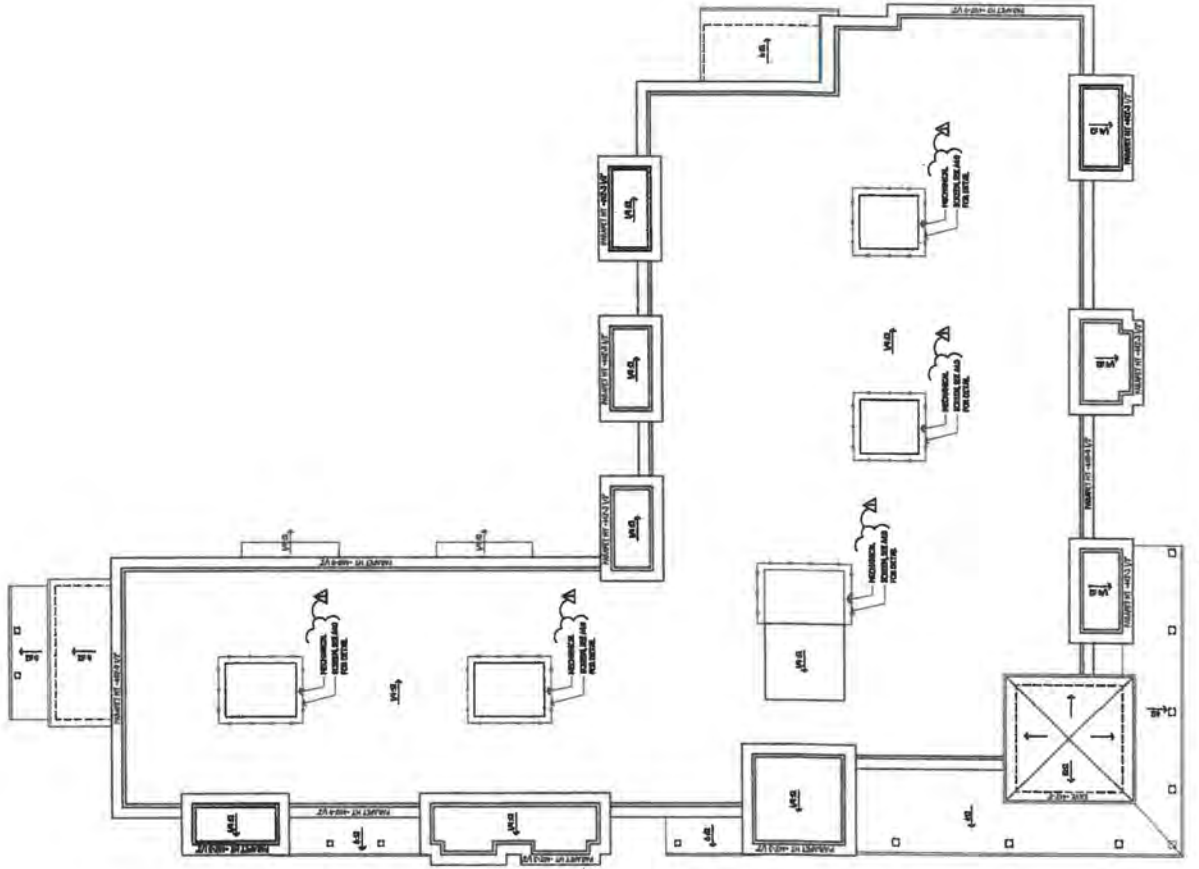
ROOF PLAN

REVISION

No.	Description	Date
1	DESIGN BY	1/2/99

PROJECT No.:
 DRAWN BY:
 CHECKED BY:
 DATE:

A2.3



ROOF PLAN
 1/2/99

William Jordan
Design & Development
PO Box 547
Clayton, CA 94527
(925) 872-7149

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
3701 Marsh
Clayton, CA 94527
APN: 179-021-063

OWNER:
William Jordan
PO Box 547
Clayton, CA 94527
(925) 872-7149

LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

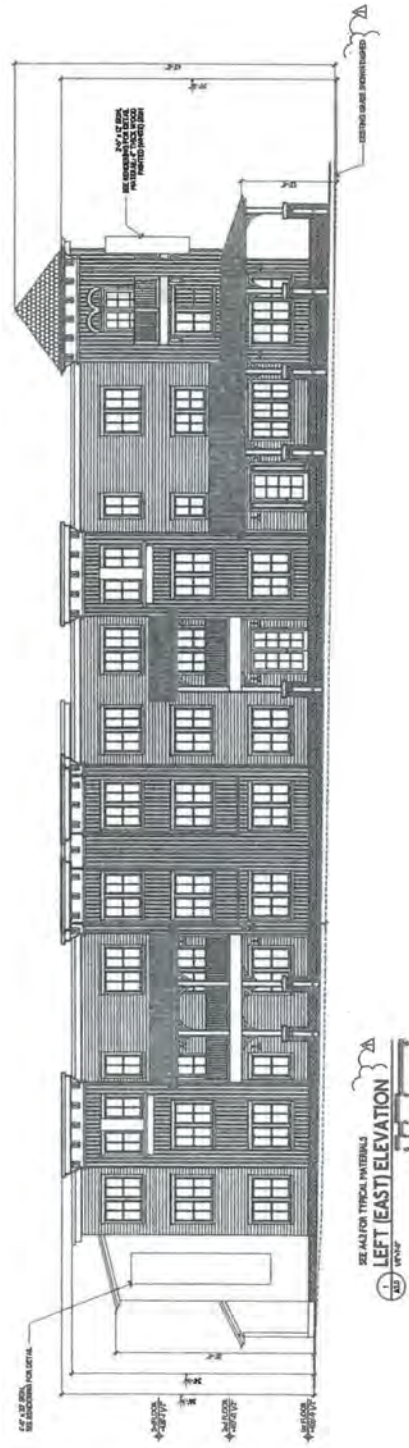
No.	Description	Date
1	DESIGN KEY	1/21/19

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE:

972
JPL
JPL/BJL
A3.0



SEE SECTION FOR TYPICAL INTERIORS
REAR (SOUTH) ELEVATION
1" = 1/8" = 1/16"



SEE SECTION FOR TYPICAL INTERIORS
LEFT (EAST) ELEVATION
1" = 1/8" = 1/16"

William Jordan
Design & Development
PO Box 547
Clayton, CA 94527
(925) 872-7249

"The Olive on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6700 High St.
Clayton, CA 94527
AKS 19-03-003

OWNER:
William Jordan
Design & Development
Clayton, CA 94527
(925) 872-7249

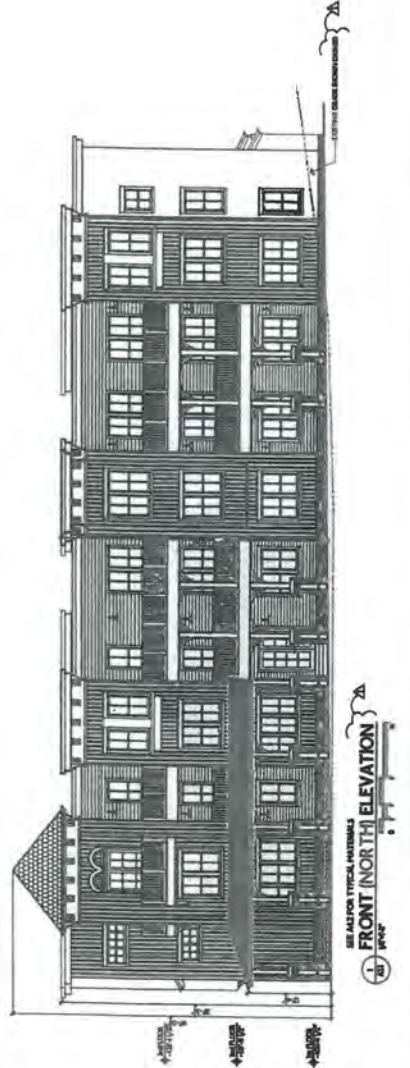
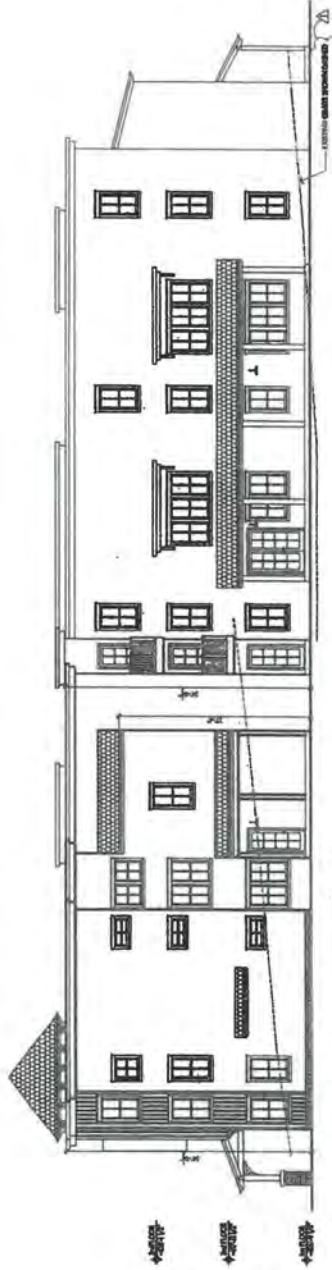
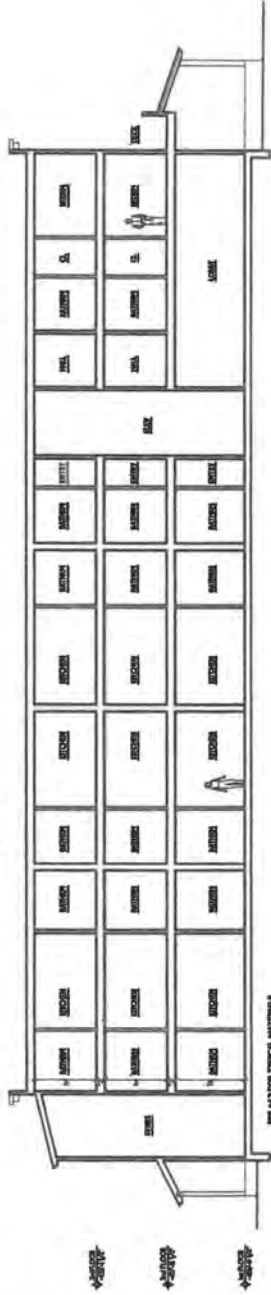
FRONT (NORTH-
RIGHT (WEST)
ELEVATIONS &
SECTION

REVISION

No.	Description	Date
1	ISSUED FOR PERMIT	1/20/19

PROJECT No. 1
DRAWING BY: WJL
CHECKED BY: WJL
DATE: 1/20/19

A3.1



William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olvia on Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6170 High St.
 Clayton, CA 94517
 APR: 119-023-003

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

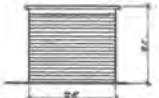
TRASH BIN ENC.
 FLOOR PLANS &
 ELEVATIONS

REVISION

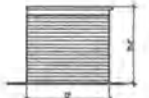
No.	Description	Date
1	DESIGN KEY	1/22/19

PROJECT No.:
 DRAWN BY: WJL
 CHECKED BY: WJL
 DATE: 1/22/19

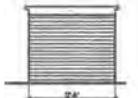
A3.2



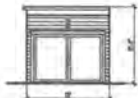
3 BIN TRASH ENCLOSURE
 LEFT ELEVATION
 1
 WJL



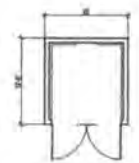
3 BIN TRASH ENCLOSURE
 REAR ELEVATION
 1
 WJL



3 BIN TRASH ENCLOSURE
 RIGHT ELEVATION
 1
 WJL



3 BIN TRASH ENCLOSURE
 FRONT ELEVATION
 1
 WJL



3 BIN TRASH ENCLOSURE
 FLOOR PLAN
 1
 WJL TRASHING REP

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6870 High St.
Clayton, CA 94517
APR: 19-02-063

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**MATERIAL &
COLOR BOARD**

REVISION

No.	Description	Date
1	DESIGN REV	1/21/99

PROJECT No. 1
DRAWN BY: WJL
CHECKED BY: WJL
DATE: 10/11/99

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF



RETAINING WALL

**COLORS
(KELLY MOORE PAINTS)**



TRIM COLOR



Oxford Brown
417
TOWER WALL COLOR



Sequoia Redwood
159
WALL COLOR



White Cloud
W200
WALL COLOR



Railroad Ties
KMA67
ROOF COLOR



1381 SHELL LN = 28' TALL



1754-1756 INDIAN WELLS WAY = 30' TALL



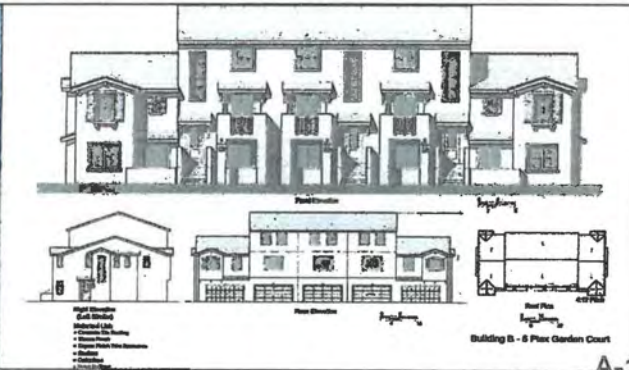
1784-1786 INDIAN WELLS WAY = 32' TALL



4805 KELLER RIDGE = 26' TALL



6061 CLAYTON VIEW = 42' TALL (4-STORIES)



CLAYTON CITY HALL
6000 HERITAGE TRAIL = 40' TALL



6024 HIGH ST = 34' TALL

William Jordan
Design & Development
PO Box 507
Clayton, CA 94507
(925) 872-7249

"The Olive on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6070 High St.
Clayton, CA 94507
AP# 09-024-063

OWNER:
William Jordan
P.O. Box 507
Clayton, CA 94507
(925) 872-7249

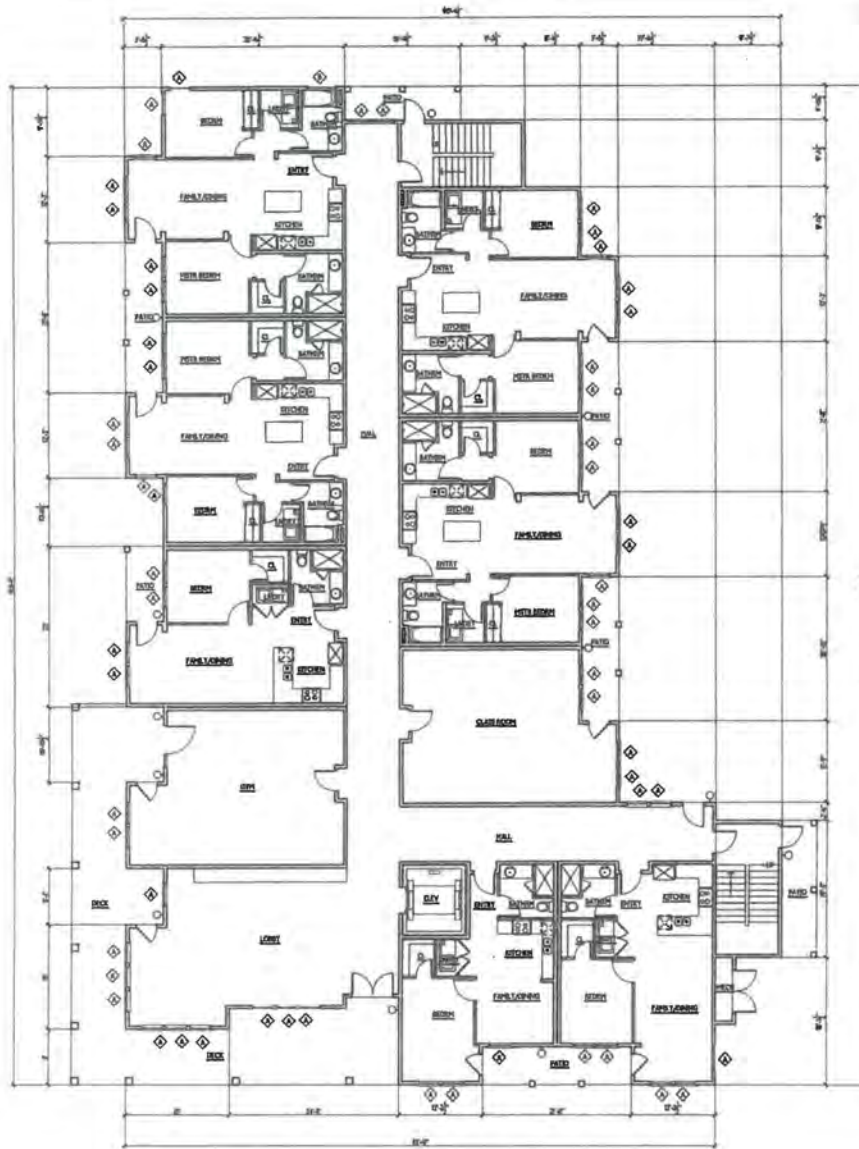
HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date
Δ	DESIGN REV	1/2/19

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 1/2/19

A5.0



ELECTRICAL PLAN LEGEND
 SOME ELECTRICAL SYMBOLS TO BE INTERPRETED BY OWNER. CHECK THESE WITH ARCHITECT
 SEE ALSO FOR CUT SHEET
 ALL dimensions are in feet unless noted otherwise. ALL measurements are in feet unless
 otherwise noted. (1/4" = 1'-0")

1st FLOOR PLAN
 1/4" = 1'-0" TOTAL SHEET
 TRUE NORTH

WINDOW SCHEDULE				
SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
⊕	2'-0" x 4'-0"	8'-0"	DOUBLE HUNG	11 WINDOWS
⊕	4'-0" x 4'-0"	8'-0"	DOUBLE HUNG	3 WINDOWS
⊕	4'-0" x 4'-0"	8'-0"	FIXED	1 WINDOW

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia On Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6450 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 171-021-055

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

1st FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
 DRAWN BY: WJ
 CHECKED BY: WJ
 DATE: 10/18

A2.0

William Jordan
Design & Development
PO Box 507
Cayenne, CA 94522
(925) 875-7249

"The Office On Marsh
Creek"
A 55-Community

PROJECT ADDRESS:
6500 Marsh Creek Rd.
Cayenne, CA 94527
APN: T14081-055

OWNER:
William Jordan
PO Box 507
Cayenne, CA 94527
(925) 875-7249

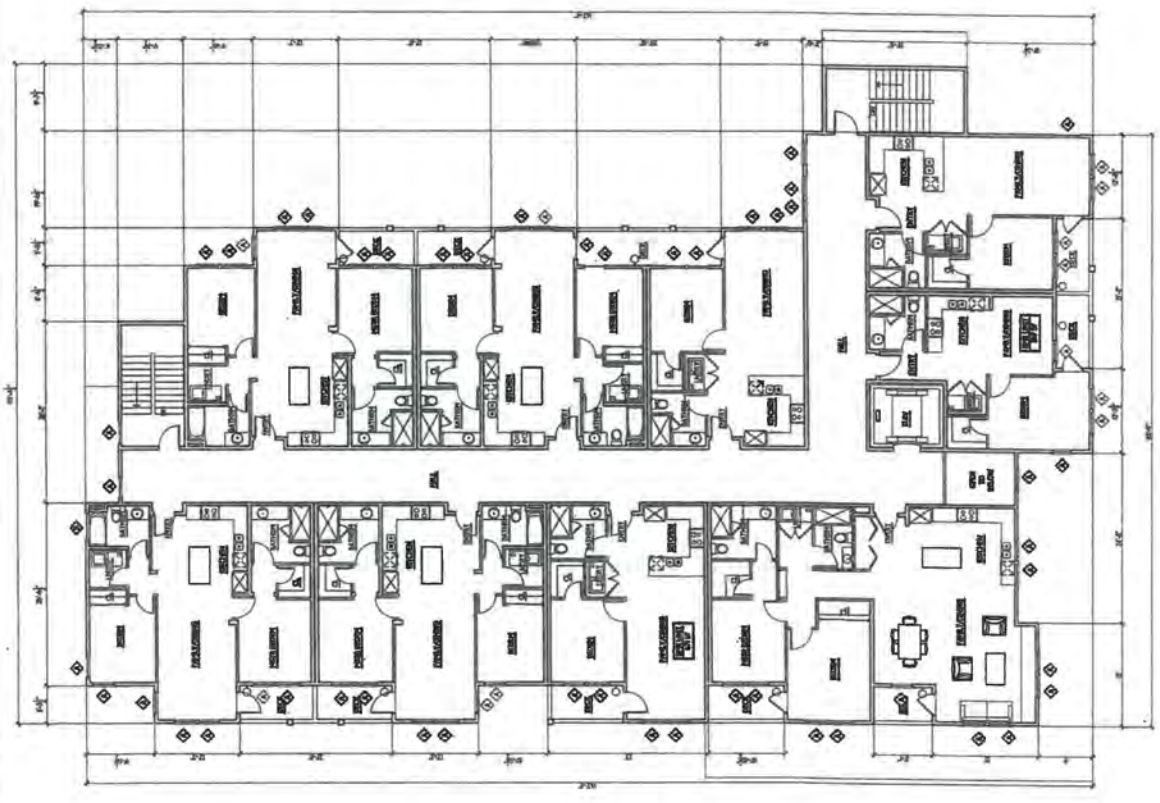
2nd FLOOR PLAN

REVISION

No.	Description	Date

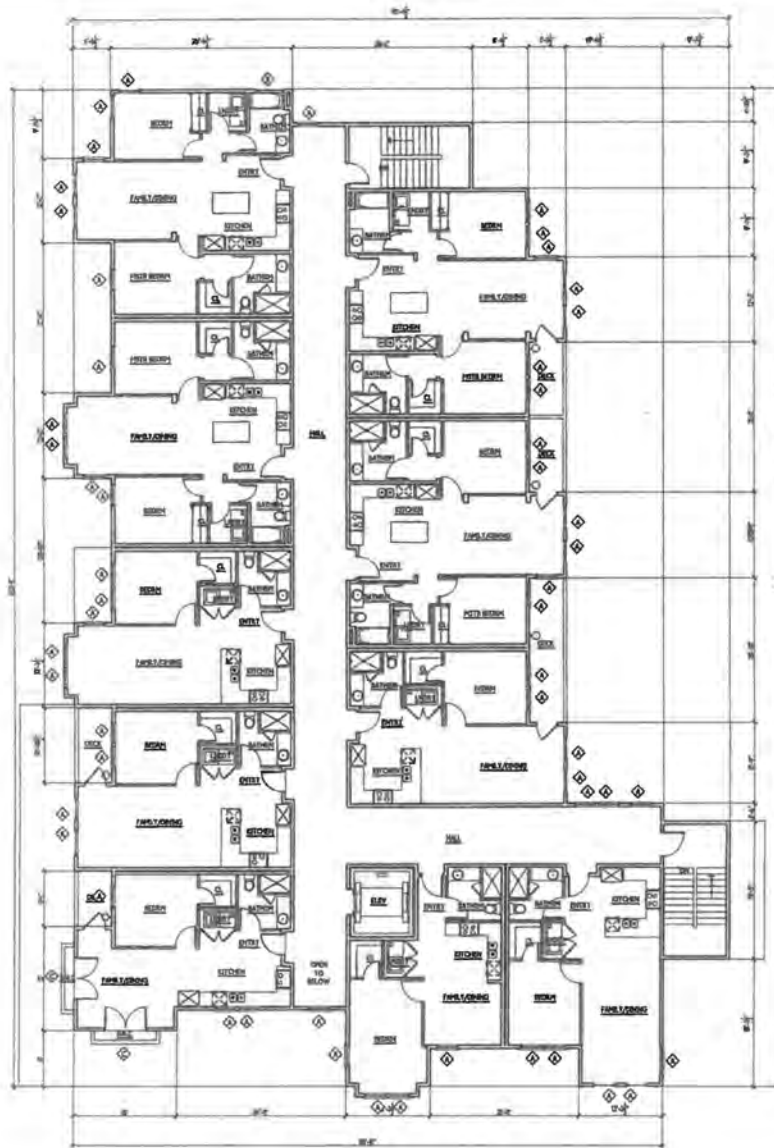
PROJECT No.:
DRAWN BY: WJZ
CHECKED BY: WJZ
DATE: 08/21/11

A2.1



2nd FLOOR PLAN
DATE: 08/21/11

ELECTRICAL PLAN LEGEND
 ALL ELECTRICAL SYMBOLS ARE BASED ON THE NATIONAL ELECTRICAL CODE
 UNLESS NOTED OTHERWISE
 Q: All equipment shall be shown with the manufacturer's name and model number



ELECTRICAL PLAN LEGEND

ALL ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE SCHEDULE FOR SIZES
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

3rd FLOOR PLAN
 1/2" = 1'-0"

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The OUMA On Marsh
 Creek"
 A 55+ Community

PROJECT ADDRESS:
 6450 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 179-021-055

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

3rd FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No: 1
 DRAWN BY: WJZ
 CHECKED BY: WJZ
 DATE: 10/21/18

A2.2

William Jordan
 Designer & Development
 PO Box 507
 Clayton, CA 94527
 (925) 875-7449

"The Oaks On Marsh
 Creek"
 A 55-Community

PROJECT ADDRESS:
 6500 Marsh Creek Rd.
 Clayton, CA 94527
 APN: 174-02-025

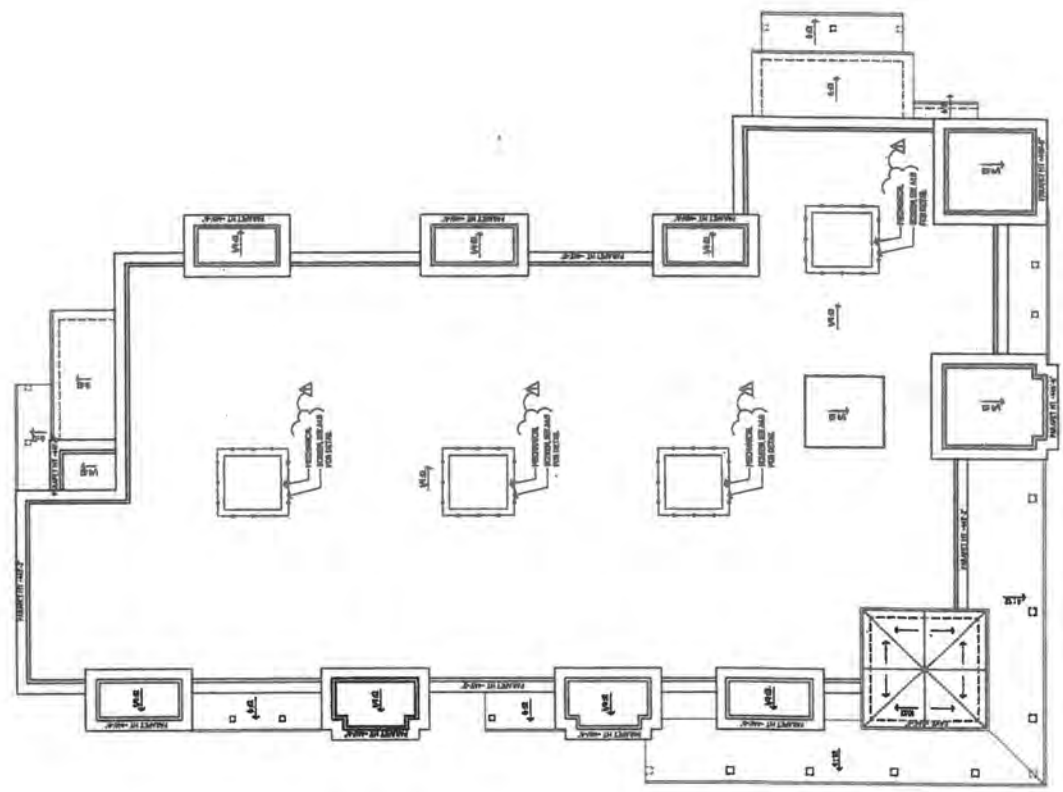
OWNER:
 William Jordan
 PO Box 507
 Clayton, CA 94527
 (925) 875-7449

ROOF PLAN

REVISION	
No.	Description

PROJECT No.: 1972
 DRAWN BY: JBJ
 CHECKED BY: JBJ
 DATE: 11/20/02

A2.3



ROOF PLAN
 SCALE: 1/8" = 1'-0"



William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN 119-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJZ
CHECKED BY: WJZ
DATE: 10/2/18

A3.0

William Jordan
Design & Development
PO Box 547
Clayton, CA 94527
(925) 872-7499

"The Oliva On Marsh
Creek"
A 55-Community

PROJECT ADDRESS:
660 North Creek & L.A.
Clayton, CA 94527
APN: 19-09-053

OWNER:
William Jordan
660 North Creek & L.A.
Clayton, CA 94527
(925) 872-7499

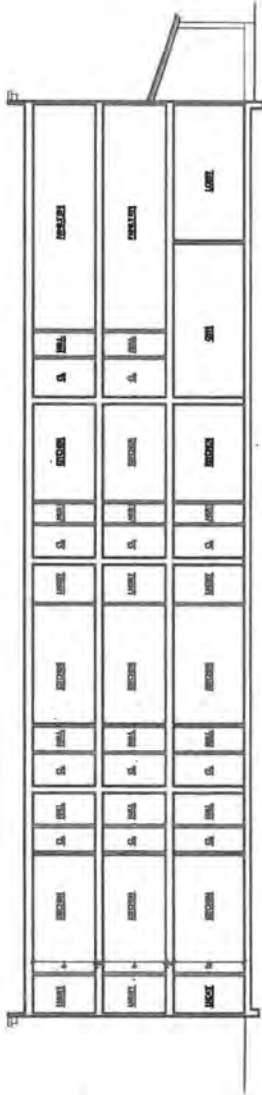
FRONT SOUTH,
RIGHT (EAST)
ELEVATIONS &
SECTION

REVISION

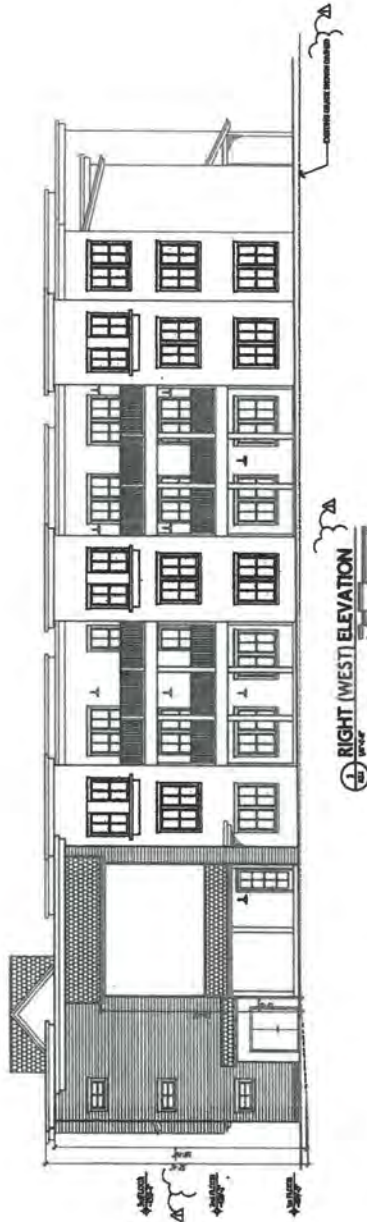
No.	Description	Date

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE:

A3.1



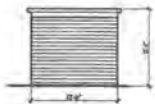
SECTION
1/8" = 1'-0"



RIGHT (WEST) ELEVATION
1/8" = 1'-0"

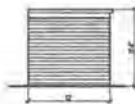


FRONT (NORTH) ELEVATION
1/8" = 1'-0"



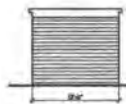
3 BIN TRASH ENCLOSURE
LEFT ELEVATION

1
ALL 1/20/18



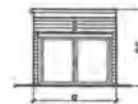
3 BIN TRASH ENCLOSURE
REAR ELEVATION

1
ALL 1/20/18



3 BIN TRASH ENCLOSURE
RIGHT ELEVATION

1
ALL 1/20/18



3 BIN TRASH ENCLOSURE
FRONT ELEVATION

1
ALL 1/20/18



3 BIN TRASH ENCLOSURE
FLOOR PLAN

1
ALL 1/20/18

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olvia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 179-029-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

TRASH BIN ENC.
FLOOR PLANS &
ELEVATIONS

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJM
CHECKED BY: WJM
DATE: 1/20/18

A3.2

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
9450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

MATERIAL &
COLOR BOARD

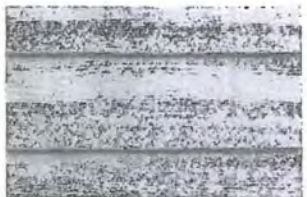
REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/7/18

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

COLORS
(KELLY MOORE PAINTS)



WALL COLOR



WALL COLOR



TOWER WALL COLOR



TRIM COLOR

Whitest White
KMW43

WALL COLOR



TERRA-COTTA
METAL ROOF COLOR



SHINGLE ROOF COLOR



RETAINING WALL



1381 SHELL LN = 28' TALL

1754-1756 INDIAN WELLS WAY = 30' TALL

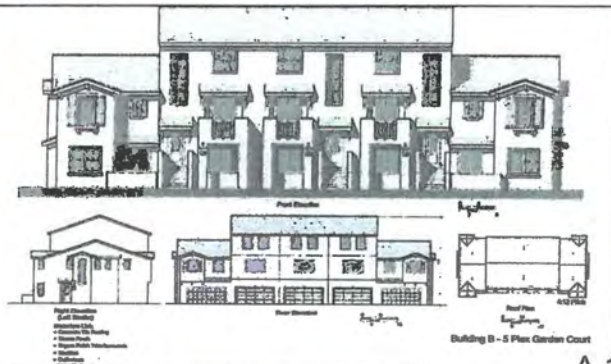


1784-1786 INDIAN WELLS WAY = 32' TALL

4805 KELLER RIDGE = 26' TALL



6061 CLAYTON VIEW = 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD = 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL = 40' TALL



6024 HIGH ST = 34' TALL

William Jordan -
Design & Development
PO Box 547
Clayton, CA 94537
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94537
AP# 19-024-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94537
(925) 872-7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT.

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/18

A5.0

"THE OLIVIA ON MARSH CREEK" A 55+ COMMUNITY 6490 Marsh Creek Rd. Clayton, CA 94517

CONSULTANTS

Structural Engineer:
AG Schmidt
Peter Schmidt
4921 Council Rd
Concord, CA 94520
(925) 889-9100

Consultant:
John Houston
3885 Telegraph Ave, Suite A
Oakland, CA 94609
jphouston@PISCglobal.com
JHouston@PISCglobal.com
Attn: John Houston / John Houston

Civil Engineer:
H&M and Associates Engineering
2565 Somerset Dr. #715
Concord, CA 94520
Eduardo@h&m-eng.com
Attn: Ken Marsh

HD Planning, Landscape Architects Inc.
920 North Broadway, Suite 300
Walnut Creek, CA 94596
H&M@hdpai.com
Attn: Michael Potholopoulos/Don Ho

Planning Consultant:
PlanWorks
8333 Street Ave. #200
San Diego, CA 92121
Creswell@planworks.com
Attn: Charlie Duce

Engineer:
Oberling Environmental Inc.
(Water and Sanitation and Permitting)
3701 Corner Canyon Plaza, Suite 200
San Ramon, CA 94583
Jeff@oberling-engineers.com

Soils Engineer:
Peter Associates Incorporated
Geotechnical and Seismic
2015 Nicholson Street
San Leandro, CA 94577
Peter@pait.com
Attn: John Peter

Historic:
Theodore Associates
2080 Baker Road
Contra Costa, CA 94516
Dylan@theodore.com
Attn: Susan Theodore

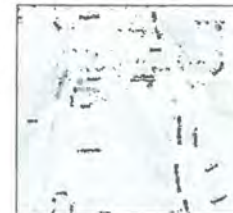
Traffic Engineer:
Oakley Hill
4637 Chabot Drive Suite 200
Pleasanton, CA 94566
Ben@oakleyhill.com
Attn: Ben Hill

Light Electrical Engineering:
200 Tenthredin Blvd of
West Sacramento, CA 95691
Jenny@lightelec.com
Attn: Jim Lacy

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan when applicable. Authenticity was a word we kept going back to when we were looking at elevations. The project could not be expressed only by using historical, long, narrow front siding, tall windows, project roof styles, porches, heavy timber windows, dark shutters, and other details that are present in a combination of an old Victorian or King town architecture style. The building fits within the downtown with other features of neighborhood commercial development. The development will cater to adults who are ready to discover as well as working professionals. The project will have good access and drive. The units will have luxury finishes that fit the demographic market. It will fit the up and coming market for the residential market to rent or to sell to white-collar class to finally and their existing work life. The project will enhance and activate a downtown that is known for shopping, business and recreation. A walkability corridor will be forthcoming on the project for future use.

VICINITY MAP



William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6490 High St., Clayton
6490 Marsh Creek Rd., Clayton
6490 Marsh Creek Rd., Clayton
Special Plan Designation: 1488 Family High Density (FHD)
Zoning: Planned Development (PD)
Neighborhood Specific Plan (for 6490 High St. only)
Applicable City of Clayton Policy
City of Clayton Housing Element 2015-2023
Applicable Laws
Clayton Municipal Code
California Density Bonus Law
Housing Accessibility Act

General Info:
6490 High St Lot Size: 63,378 SF
6490 Marsh Creek Rd Lot Size: 42,384 SF
6490 Marsh Creek Rd Lot Size: 46,600 SF
Base number of units: 39 units
Density Bonus Law for 30% increase for 7 very low income units
Total number of units: 46
Number of units per lot:
6490 High St: 25 units
6490 Marsh Creek Rd: 25 units
6490 Marsh Creek Rd: 25 units
Units:
6490 High St:
2 bedrooms 2 bath units: 9
1 bedroom 1 bath units: 9
See 1911/1/1

Class name 1:
Phase name 1
Residential single 1
6490 Marsh Creek Rd, 1A
2 bedrooms 2 bath units 13
1 bedroom 1 bath units 13
See 1911/1/1

Class name 1:
Phase name 1
Residential single 1
6490 Marsh Creek Rd, 1A
2 bedrooms 2 bath units 16
1 bedroom 1 bath units 9
See 1911/1/1

Class name 1:
Phase name 1
Residential single 1
See 1911/1/1

Special Part of Building:
6490 High St.: 25,000 SF
6490 Marsh Creek Rd: 37,000 SF
6490 Marsh Creek Rd: 37,000 SF
Building Height: Minimum
49 feet
Building Height via Density Bonus Law Waiver:
6490 High St.: 37'-2"
6490 Marsh Creek Rd: 37'-6"
6490 Marsh Creek Rd: 37'-6"

Includes via Density Bonus Law Waiver:
See Civil plans and Landscape plans

Parking Required:
See Civil plans and Landscape plans

Lot Coverage Plan: 80%
Lot Coverage
See Civil plans and Landscape plans

SHEET INDEX

- A10 COVER SHEET, PROJECT INFO, & REFERENCING
- A11 1st FLOOR PLAN
- A12 2nd FLOOR PLAN
- A13 3RD FLOOR PLAN
- A14 4TH FLOOR PLAN
- A15 1ST AND 2ND ELEVATIONS
- A16 3RD AND 4TH ELEVATIONS
- A17 1st AND 2nd FLOOR ELEVATIONS
- A18 3RD AND 4TH FLOOR ELEVATIONS
- A19 1st AND 2nd ELEVATIONS
- A20 REFERENCED CONTEXT

"The Olivia on
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 191-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

COVER SHEET,
PROJECT INFO,
& REFERENCING

REVISION

No.	Description	Date
1	DESIGN KEY	10/9/19

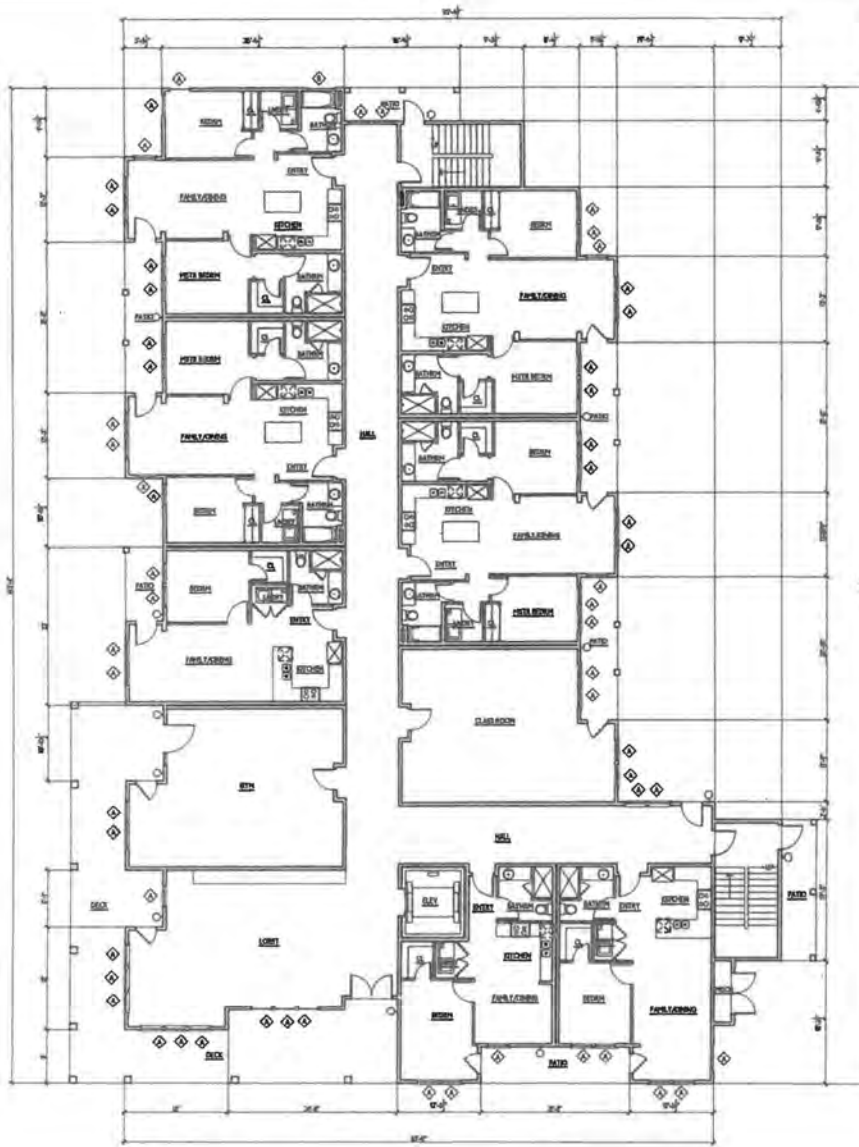
PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/21/19

A1.0



1 VIEW FROM MARSH CREEK RD TOWER VIEW RENDERING

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.



WINDOW SCHEDULE				
IS TYPICAL, CONTRIBUTE NOTES FOR ADDITIONAL WINDOW INFORMATION				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
⊕	14'-0" x 6'-0"	6'-0"	BRIDGE KING	04 WINDOWS
⊕	14'-0" x 6'-0"	6'-0"	BRIDGE	3 WINDOWS
⊕	6'-0" x 6'-0"	6'-0"	ROUND	7 WINDOWS

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: TR-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

1st FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/2/18

PROJECT No.:
DRAWN BY: WJF
CHECKED BY: WJF
DATE: 12/2/18

A2.0

ELECTRICAL PLAN LEGEND
 NOTES: ELECTRICAL SYMBOLS TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED.
 SEE 104 FOR CLIP SHEET.
 1. All work shall be in accordance with the latest editions of the National Electrical Code (NEC) and all applicable local codes.
 2. All work shall be in accordance with the latest editions of the International Building Code (IBC) and all applicable local codes.

1st FLOOR PLAN
 1/8" = 1'-0" SEE PLAN FOR TOTAL GRID SIZE
 TRUE NORTH

William Jordan
 Designer & Development
 PO Box 547
 Clayton, CA 94527
 (925) 872-7289

"The Olive On
 Marsh Creek"
 A 55+ Community

PROJECT ADDRESS
 4400 Marsh Creek Rd.
 Clayton, CA 94527
 PH: 925-855-6005

OWNER:
 William Jordan
 Designer & Development
 Clayton, CA 94527
 (925) 872-7289

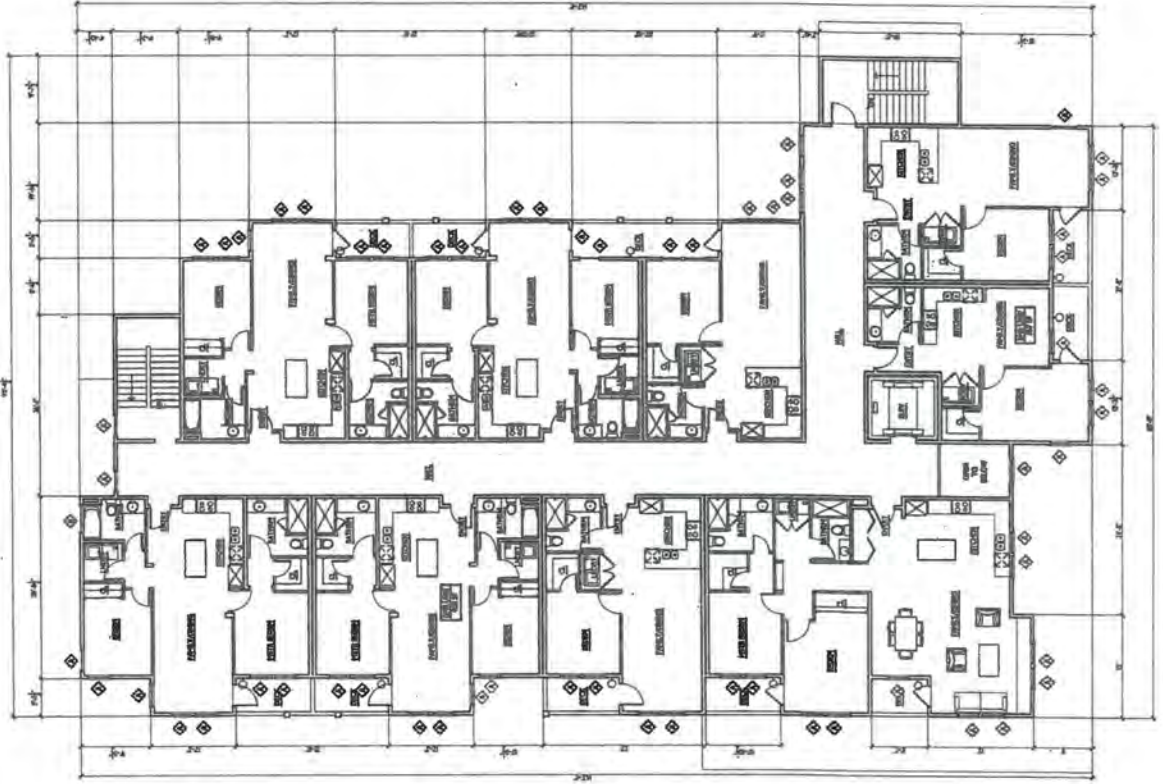
2nd FLOOR PLAN

REVISION

No.	Description	Date
1	DISCOVERY	12/09

PROJECT No. _____
 DRAWN BY: WJ
 CHECKED BY: WJ
 DATE: 12/12

A2.1



2nd FLOOR PLAN
 12/12/09

ELECTRICAL PLAN LEGEND
 ALL ELECTRICAL SYMBOLS AND NOTATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).
 1. ALL ELECTRICAL SYMBOLS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72).



William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 19-021-053

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872 7249

LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date
1	DESIGN REV	Q/3/18

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/1/18

A3.0

William Jordan
Design & Development
PO Box 347
Clayton, CA 94527
(925) 872-7197

"The Olive On
Marsh Creek"
A 35+ Community

PROJECT ADDRESS:
6901 Marsh Creek Rd.
Clayton, CA 94527
APN: 19-029-003

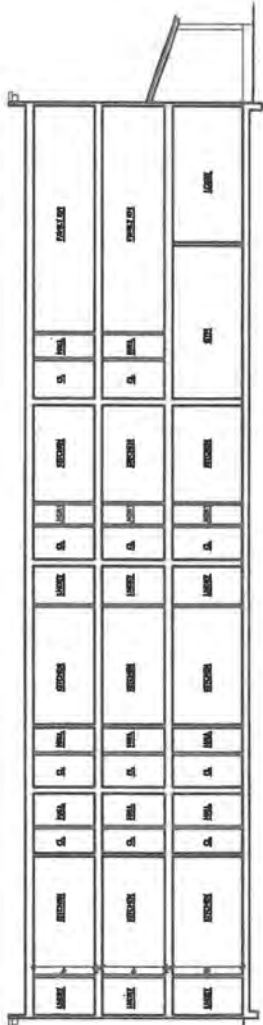
OWNER:
William Jordan
6901 Marsh Creek Rd.
Clayton, CA 94527
(925) 872-7197

FRONT SOUTH &
RIGHT (EAST)
ELEVATIONS, &
SECTION

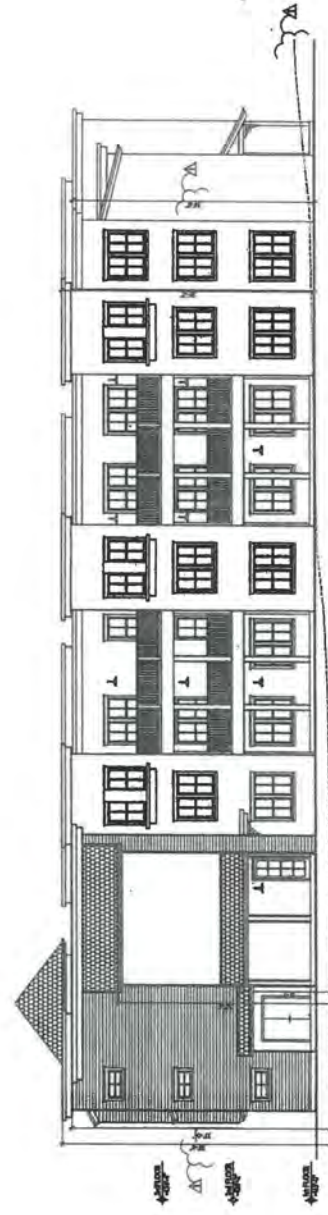
REVISION	
No.	Date
1	12/4/98

PROJECT No. 197
DRAWN BY: 197
CHECKED BY: 197
DATE: 10/2/02

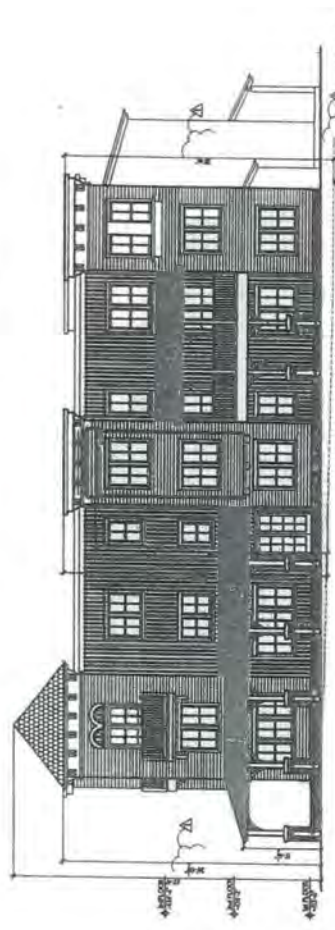
A3.1



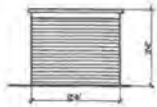
SECTION
1/2" = 1'-0"



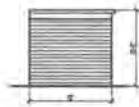
RIGHT (WEST) ELEVATION
1/2" = 1'-0"



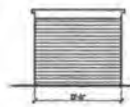
FRONT (NORTH) ELEVATION
1/2" = 1'-0"



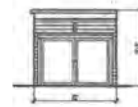
3 BIN TRASH ENCLOSURE
LEFT ELEVATION
A3.1 WJ/JC



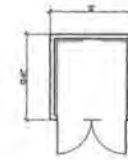
3 BIN TRASH ENCLOSURE
REAR ELEVATION
A3.2 WJ/JC



3 BIN TRASH ENCLOSURE
RIGHT ELEVATION
A3.3 WJ/JC



3 BIN TRASH ENCLOSURE
FRONT ELEVATION
A3.4 WJ/JC



3 BIN TRASH ENCLOSURE
FLOOR PLAN
A3.5 WJ/JC

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olives On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APR: 19-02-013

DWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

TRASH BIN ENC.
FLOOR PLANS &
ELEVATIONS

REVISION

No.	Description	Date
1	DESIGN REV	12/5/08

PROJECT No.:
DRAWN BY: WJ/JC
CHECKED BY: WJ/JC
DATE: 10/7/10

A3.2

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-025-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**MATERIAL &
COLOR BOARD**

REVISION

No.	Description	Date
1	DESIGN REV	12/3/19

PROJECT No.:
DRAWN BY: WJL
CHECKED BY: WJL
DATE: 10/19

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

**COLORS
(KELLY MOORE & BENJAMIN MOORE PAINTS)**



WALL COLOR



WALL COLOR



TOWER WALL COLOR



TRIM COLOR



ZINC GREY
METAL ROOF COLOR



SHINGLE ROOF COLOR



RETAINING WALL



1381 SHELL LN= 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



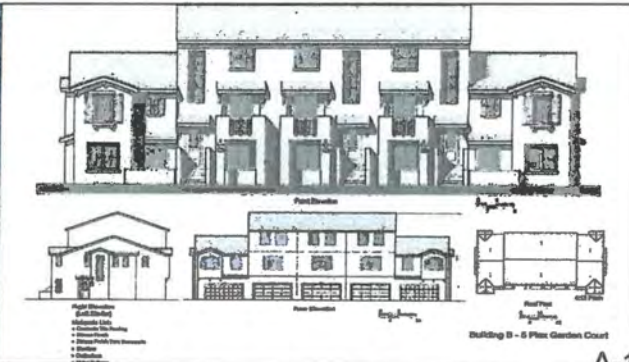
1784-1786 INDIAN WELLS WAY=32' TALL



4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD= 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

William Jordan
Design & Development

PO Box 547
Clayton, CA 94527
(925) 872-7249

"The Olive On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6499 Marsh Creek Rd.
Clayton, CA 94527
APN: 119-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94527
(925) 872-7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date
1	DESIGN BY	11/4/08

PROJECT No.:
DRAWN BY: WJ
CHECKED BY: WJ
DATE: 10/11/08

A5.0

SITE 1

The Olivia on Marsh Creek

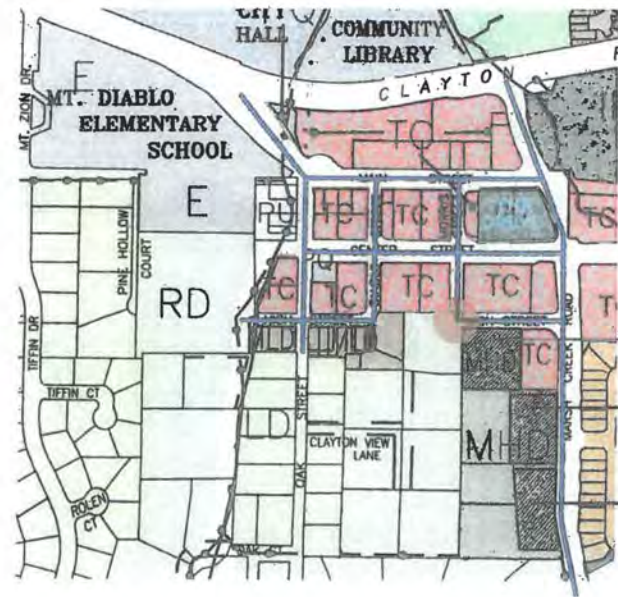
6170 High Street
Clayton, CA 94517



SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek

SITE 3
The Olivia on
Marsh Creek



SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek

SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

- BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
- PROPOSED PROJECT

CONNECTIVITY DIAGRAM

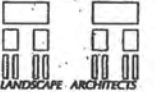
- PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
- NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



1702 South Shoreline, Suite 200
Walpole Creek, CA 94598
Telephone: 925-228-2000
Email: info@mdfotheringham.com
www.mdfotheringham.com

Landscape



Clayton

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA

SITE 1
6170 High Street
Clayton, CA 94517

Client

William F. Jordan Trust

Sheet Title

**CONTEXT
PLAN**

Preliminary Design Submitted #2

Scale

As Shown on Plans

Designed by

ACF

Drawn by

BRP/ACF

Checked by

ACF

Titleblock

City of Clayton
Community Development Dept.

Sheet Title: SITE 1, 2019

Issue Date: OCTOBER 7, 2019

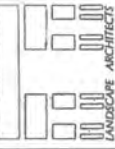
Project Number

1707

Sheet Number

L-1

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS
11500 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.274.1111
www.mdfatheringham.com



Client:

Project:
THE OLIVIA ON
MARSH CREEK

Location:
Clayton, CA
SITE 1
at Pagan Street
Clayton, CA 94923

Client:
William P. Jordan Trust

Scale: 1/8" = 1'-0"

SITE 1 LOCATION PLAN

Preliminary Design, Submittal #2

Date:
11/15/2017

Designed By:
MDF

Drawn By:
BDF/MDF

Checked By:
MDF

Scale:

Revision:

Revision:

Revision:

Revision:

Revision:

Revision:

Revision:

Revision:

Revision:

Revision:

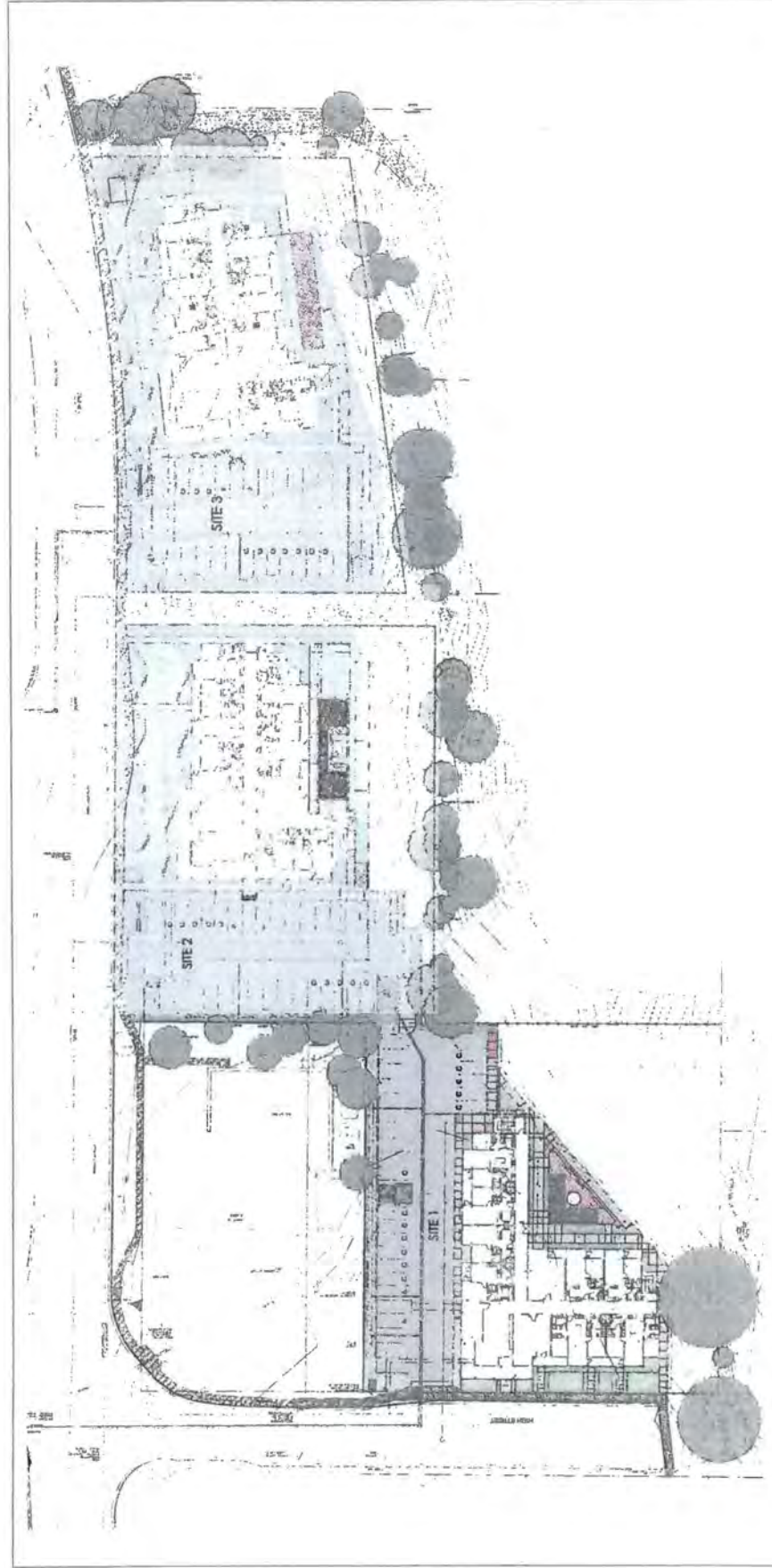
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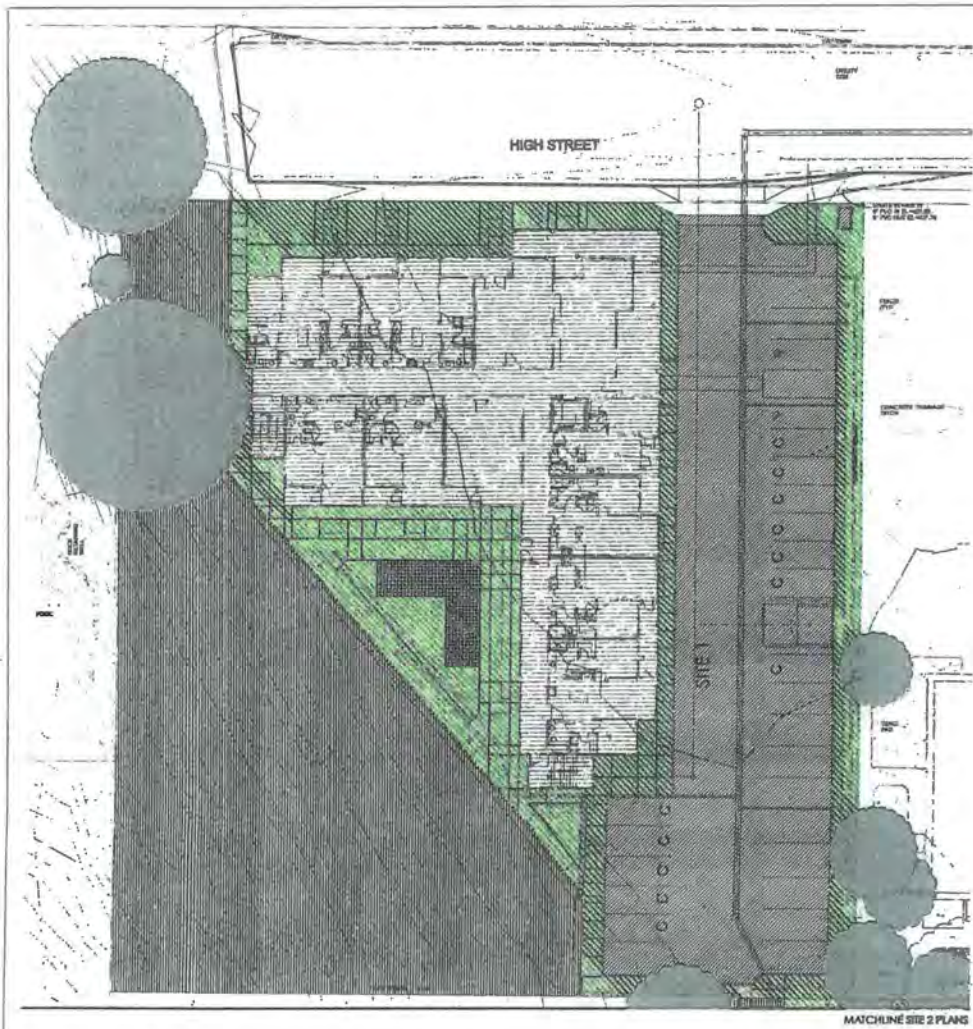
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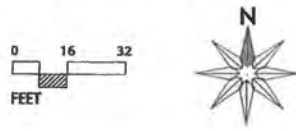


SITE 1
LOCATION PLAN





**SITE 1
OPEN SPACES PLAN VIEW**



SITE 1 LAND ACCOUNT

-  BUILDING FOOTPRINT: 11,659 SF
-  PARKING/UTILITY PAVEMENT: 10,721 SF
-  ACTIVE OPEN SPACE: 9,716 SF
-  PASSIVE OPEN SPACE/SLOPE AREA: 16,282 SF

TOTAL: 48,378 SF

17.30.150 Item C
 Minimum Landscape Area Required = 20% of 48,378 SF = 9,676 SF
 Landscape Area Provided = 21,447 SF (44.3%)
 Minimum Vegetated Landscape Required = 75% of 9,676 SF = 7,257 SF
 Vegetated Landscape Provided = 21,447 SF

17.28.100
 Minimum Open Space Required = 20% of 48,378 SF = 9,676 SF
 Open Space Provided = 25,998 SF (54%)
 Minimum Active Open Space Required = 51% of 9,676 SF = 4,935 SF
 Active Open Space Provided = 9,716 SF

**OLVIA - Site 1 High Street
LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
SITE 1	
Building Footprint	11,659 SF
Garage Footprint	0 SF
Parking	10,697 SF
Utility Enclosure	24 SF
Extra Sign Wall	32 LF
Sealcoat	171 LF
CI Pavers & Boint	1,136 SF
Shrub Planting Areas	3,423 SF
Lawn	604 SF
Sloped Open Space Restoration	5,430 SF
Sloped Open Space Reserve	10,247 SF
Production Circulation	4,456 SF
Asphalt pavement Island	48,328 SF
TOTAL LANDSCAPE AREA	15,061 SF
TOTAL OPEN SPACE AREA	31,428 SF
TOTAL LOT AREA	48,378 SF
OPEN SPACE AREA PERCENTAGE	64.98%
LANDSCAPE AREA PERCENTAGE	31.11%

M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS

1700 North Broadway, Suite 200
 Walnut Creek, CA 94597
 Telephone 925-938-6215
 Fax 925-938-6216
 www.mdfatheringham.com



Project:
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA
SITE 1
 4170 High Street
 Clayton, CA 94517

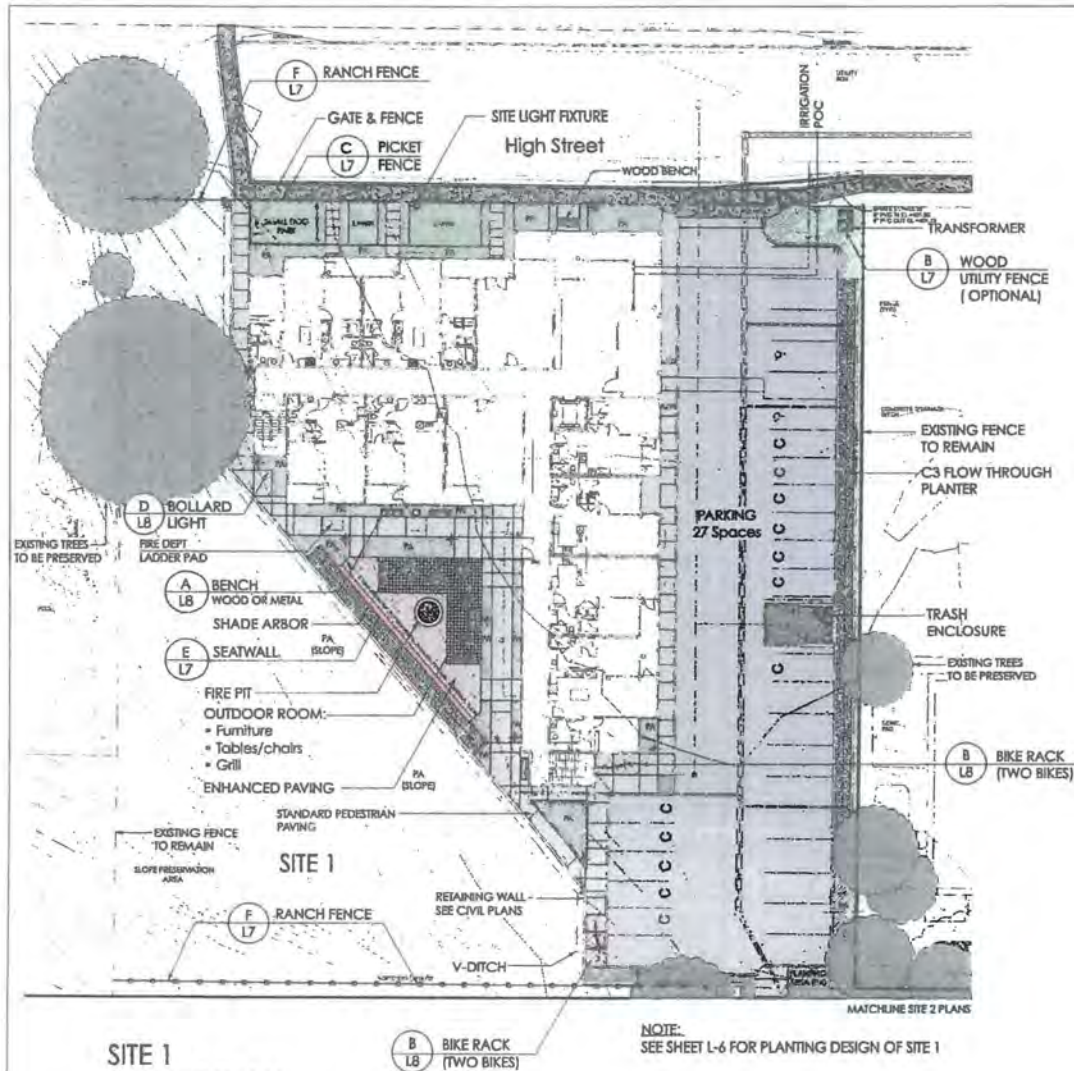
Client:
 William P. Jordan Trust

Sheet Title:
**OPEN SPACE
CALCULATIONS**

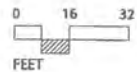
Preliminary Design Submittal #2

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 Checked by: [Signature]
 Date: [Date]

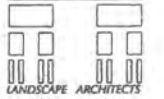
Print Date: JUNE 1, 2019
 Issue Date: OCTOBER 7, 2019
 Project Number: 1707
 Sheet Number: L-3



SITE 1 LAYOUT PLAN



M. D. FOTHERINGHAM



1700 North Broadway, Suite 200
Walton Creek, CA 94596
Clayton, CA 94517
Phone: 415-550-0200
www: www.mdfatheringham.com



Contractor

THE OLIVIA ON MARSH CREEK

Clayton, CA
SITE 1
4170 High Street
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

LAYOUT PLAN

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MEP

Drawn by
MSP, MEP

Checked by
MEP

Revised

2. Revised Site & Vegetation Area: 10/9/17

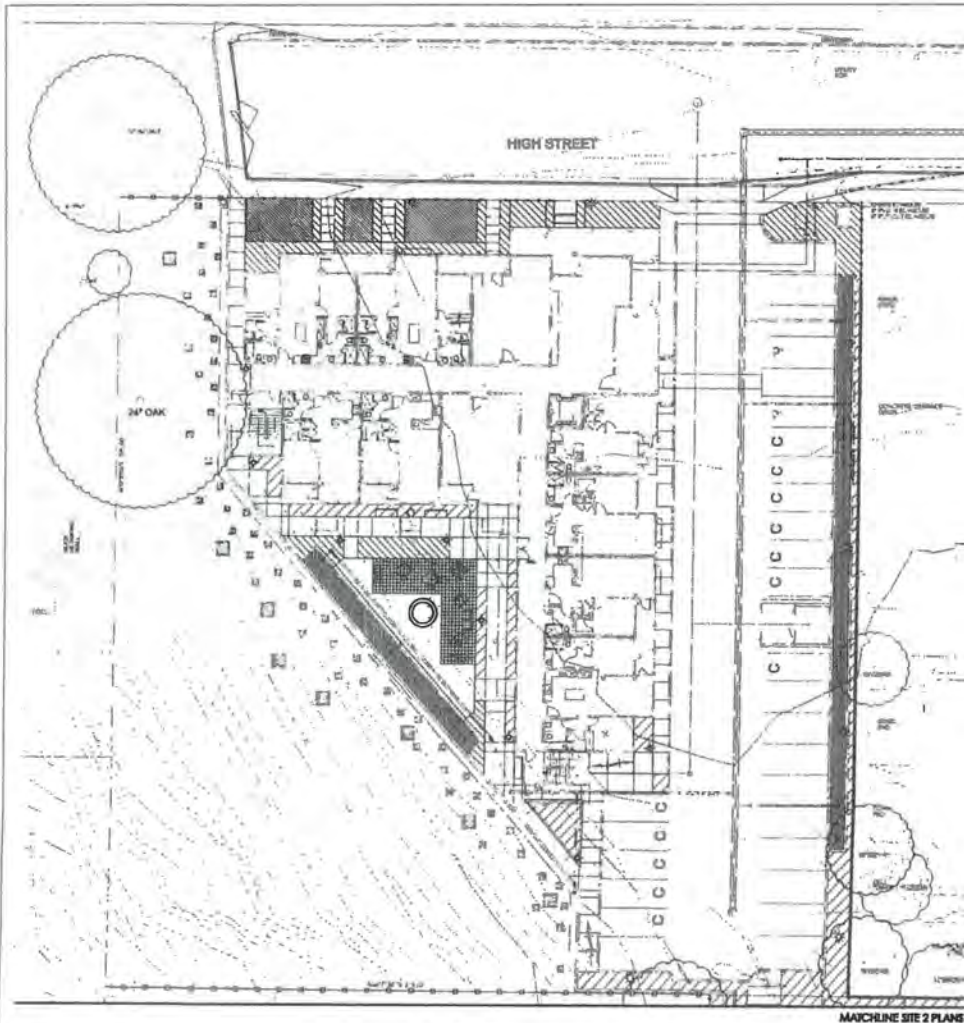
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Issue Date: OCTOBER 7, 2018

Project Number
1702

Sheet Number

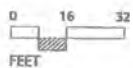
L-4



HYDROZONE LEGEND

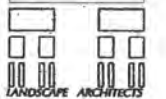
- S/W PLANTING - LOW WATER DEMAND
- N/E PLANTING - MODERATE WATER DEMAND
- LAWN/TURF/ANNUALS - HIGH WATER DEMAND
- C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
- C3 SWALE PLANTING - MODERATE WATER DEMAND
- SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

**SITE 1
HYDROZONE PLAN**



MATCHLINE SITE 2 PLANS

M. D. FOTHERINGHAM



1700 North Shoreline, Suite 300
Walnut Creek, CA 94597
Telephone 925-938-0200
Fax 925-938-0201
www.mdfatheringham.com

Landscape



California

for
**THE OLIVA ON
MARSH CREEK**

Clayton, CA

SITE 1
4170 High Street
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet 05A

**HYDROZONE
PLAN**

Preliminary Design Submittal #2

Date
As Shown on Plan

Designed by
MEP

Drawn by
MDF/MDF

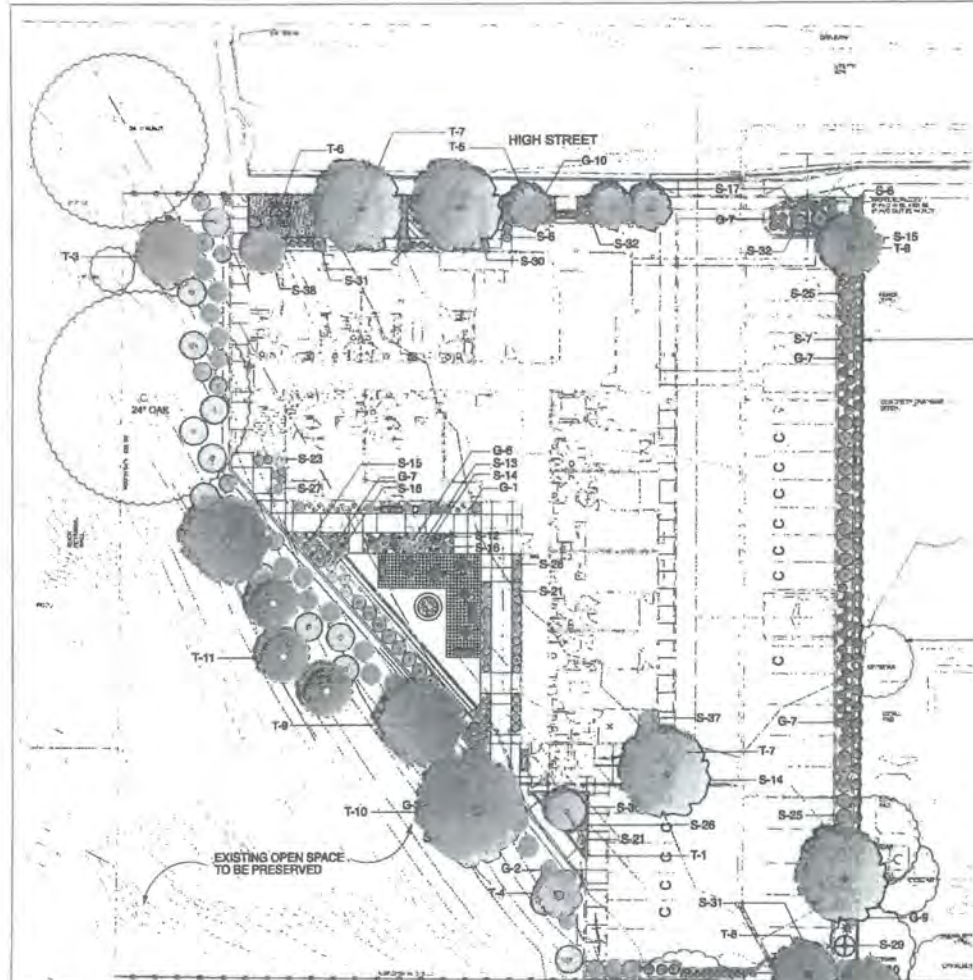
Checked by
MEP

Revised

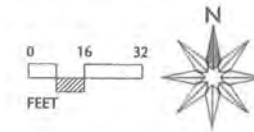
Drawn Date: 2/26/11, 2/28/11
Revised Date: OCTOBER 7, 2011

Project Number
1200

Sheet Number



SITE 1 PLANTING PLAN



NOTE: SHRUB & GROUND COVER PLANTING IS INDICATIVE OF SPACING AND MATURE GROWTH EXPECTATIONS. NOT ALL PLANTS IN THE PLANT SCHEDULE ARE LABELED ON THESE PLANS.

TREE REPLACEMENT CHART		SITE 1	
Existing Trees - Removal Data		New Trees	
Number	Trunk Inches Removed	Required Replacement	Required Replacement
Produced Trees Removed	7	104.5	
Tree Type	L.S. & P. 404	Required Replacement	Required Replacement
Other Trees Removed	8	84-inch Bas (ins. 1.79' caliper) 36-inch Bas (ins. 8.33' caliper) 48-inch Bas (ins. 4.8' caliper)	
Tree Type	16, 16, 16, 16, 16		
Tree Removal Impacts	13	124.0	41
New Trees		18	11
Required Replacement Trunk Inches Mitigation Tree Replacement		42.00 inches	18.33 inches
		18	11
			7
			6
			0.00 inches
			9

OLIVIA - Site 1 High Street LANDSCAPE REQUIREMENTS

ITEM	AREA/RATIO
SITE 1	
Parking Lot Area	10,721 SF
Landscaping Area of Parking Lot	2,857 SF
Percentage of Landscaping Required	10%
Percentage of Landscaping Provided	27%
Total Landscaping Area (parking)	5,449 SF
Required Trees of 1 per 300 SF	18
Provided Trees	18
Required Landscaping Area of parking	1,310 SF
Required Trees of 1 per 150 SF	8
Provided Trees	8
Required Trees of 1 per 3 parking spaces (27)	7
Provided Trees	7
Classified due to C3 facility of perimeter	2

TREE REPLACEMENT ANALYSIS	SITE 1			SITE 2			SITE 3		
	Quantity	Replacement Value	Replacement Value as % of 2017	Quantity	Replacement Value	Replacement Value as % of 2017	Quantity	Replacement Value	Replacement Value as % of 2017
Produced Trees Removed	7			13			18		
Planned Trees	102*	24*	62*	202.5*	102*	162*	120*	160*	
Net Trees	18	1.8*	0.24*	87	8.7*	1.27*	41	4.1*	0.57*

Table 6 - Root ball diameters - field grown trees

Caliper	Type 1 and Type 2 Slender Trees		Type 3 and Type 4 Small Upright and Small Spreading Trees	
	Minimum diameter root ball	Maximum diameter	Caliper (1/2" and over)	Minimum diameter root ball
1/2 in.	12 in.	2 ft.	2 in.	10 in.
3/4 in.	14 in.	3 ft.	3 in.	12 in.
1 in.	16 in.	4 ft.	4 in.	14 in.
1 1/4 in.	18 in.	5 ft.	5 in.	16 in.
1 1/2 in.	20 in.	6 ft.	6 in.	18 in.
1 3/4 in.	22 in.	7 ft.	7 in.	19 in.
2 in.	24 in.	8 ft.	8 in.	20 in.
2 1/4 in.	26 in.	9 ft.	9 in.	22 in.
2 1/2 in.	28 in.	10 ft.	10 in.	24 in.
2 3/4 in.	30 in.	11 ft.	11 in.	26 in.
3 in.	32 in.	12 ft.	12 in.	28 in.
3 1/4 in.	34 in.	13 ft.	13 in.	30 in.
3 1/2 in.	36 in.	14 ft.	14 in.	32 in.
3 3/4 in.	38 in.	15 ft.	15 in.	34 in.
4 in.	40 in.	16 ft.	16 in.	36 in.
4 1/4 in.	42 in.	17 ft.	17 in.	38 in.
4 1/2 in.	44 in.	18 ft.	18 in.	40 in.
4 3/4 in.	46 in.	19 ft.	19 in.	42 in.
5 in.	48 in.	20 ft.	20 in.	44 in.
5 1/4 in.	50 in.	21 ft.	21 in.	46 in.
5 1/2 in.	52 in.	22 ft.	22 in.	48 in.
5 3/4 in.	54 in.	23 ft.	23 in.	50 in.
6 in.	56 in.	24 ft.	24 in.	52 in.
6 1/4 in.	58 in.	25 ft.	25 in.	54 in.
6 1/2 in.	60 in.	26 ft.	26 in.	56 in.
6 3/4 in.	62 in.	27 ft.	27 in.	58 in.
7 in.	64 in.	28 ft.	28 in.	60 in.
7 1/4 in.	66 in.	29 ft.	29 in.	62 in.
7 1/2 in.	68 in.	30 ft.	30 in.	64 in.
7 3/4 in.	70 in.	31 ft.	31 in.	66 in.
8 in.	72 in.	32 ft.	32 in.	68 in.

PRELIMINARY PLANT LIST

Symbol	Botanical Name	Common Name	Quantity	Species	Size	Water	Special Plant Material
T-1	Arbutus Menziesii	Western Redwood Tree	1	Medium	12-18"	Low	None
T-2	Quercus douglasii	Douglas Oak	1	Medium	12-18"	Low	None
T-3	Pinus ponderosa	Ponderosa Pine	1	Medium	12-18"	Low	None
T-4	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
T-5	Chamaecyparis nivalis	Western White Pine	1	Medium	12-18"	Low	None
T-6	Larix laricina	Laricina Cedar	1	Medium	12-18"	Low	None
T-7	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
T-8	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
T-9	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
T-10	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
T-11	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-1	Arbutus Menziesii	Western Redwood Tree	1	Medium	12-18"	Low	None
S-2	Quercus douglasii	Douglas Oak	1	Medium	12-18"	Low	None
S-3	Pinus ponderosa	Ponderosa Pine	1	Medium	12-18"	Low	None
S-4	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-5	Chamaecyparis nivalis	Western White Pine	1	Medium	12-18"	Low	None
S-6	Larix laricina	Laricina Cedar	1	Medium	12-18"	Low	None
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S-8	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-9	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-10	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-11	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-12	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-13	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-14	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-15	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-16	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-17	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-18	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-19	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-20	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-21	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-22	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-23	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-24	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-25	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-26	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-27	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-28	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-29	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-30	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-31	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-32	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-33	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-34	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-35	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-36	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
S-37	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-1	Arbutus Menziesii	Western Redwood Tree	1	Medium	12-18"	Low	None
G-2	Quercus douglasii	Douglas Oak	1	Medium	12-18"	Low	None
G-3	Pinus ponderosa	Ponderosa Pine	1	Medium	12-18"	Low	None
G-4	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-5	Chamaecyparis nivalis	Western White Pine	1	Medium	12-18"	Low	None
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G-8	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-9	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-10	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-11	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-12	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-13	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None
G-14	Thuja occidentalis	Western Red Cedar	1	Medium	12-18"	Low	None

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS



Project: **THE OLIVIA ON MARSH CREEK**
Clayton, CA
SITE 1
4170 High Street
Clayton, CA 94517

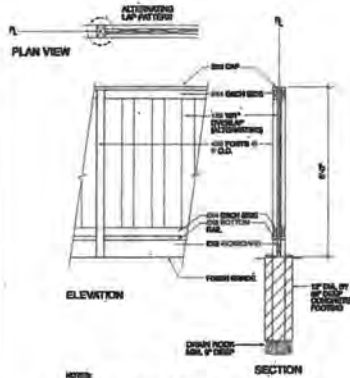
Client: **William P. Jordan Trust**

PLANTING PLAN

Preliminary Design Submittal #2

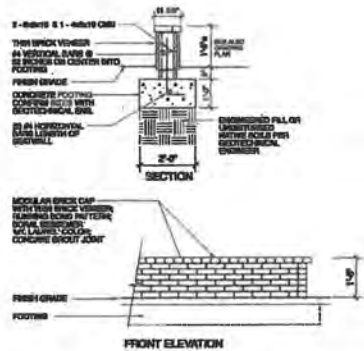
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Designed by: MFP
Checked by: MFP/ANP
Date: 1/20/24

Project Number: 1707
Scale: As Shown
L-6

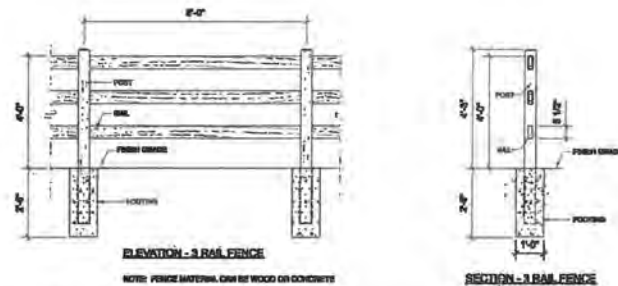


D
L7
GOOD NEIGHBOR FENCE
12' x 1'-0"

NOTES:
1. ALL BRICK VENEER MUST BE LAYED ON APPROVED FORM.
2. ALL BRICK MUST BE SET IN MORTAR PER ANSI A2.1.1.
3. ALL BRICK AND FOOTINGS SHALL BE SET IN PROPER GRADATION.

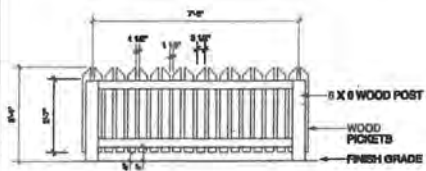


E
L7
BRICK VENEER SEAT WALL
12' x 1'-0"

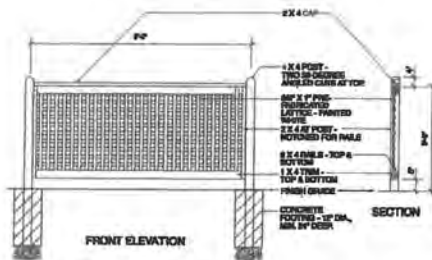


F
L7
RANCH FENCE
12' x 1'-0"

NOTE: FENCE MATERIAL CAN BE WOOD OR CONCRETE



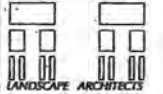
C
L7
40 IN. HIGH PICKET FENCE
12' x 1'-0"



B
L7
WOOD UTILITY SCREEN
12' x 1'-0"

NOTE:
1. USE ONE CENTER POST FOR SCREENS 10'-0\"/>

M. D. FOTHERINGHAM



1800 North Broadway, Suite 100
Walpole, NH 03606
Tel: 603.882.2222
Fax: 603.882.2222
www.mdfatheringham.com

Landscape



Clayton, CA

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA

SITE 1
6170 High Street
Clayton, CA 94517

Client

William P. Jordan Trust

Sheet Title

**CONSTRUCTION
DETAILS 1**

Preliminary Design Submitted #2

Scale

As Shown on Plan

Designed by

MEP

Drawn by

HW/PA/CF

Checked by

MEP

Revised



Scale Date: 1/24/11, 2012

Sheet Date: OCTOBER 7, 2011

Project Number

1797

Sheet Number

L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE PERFORMANCE PROJECT SUMMARY

prepared by
M/D Fotheringham, Landscape Architects, Inc.
1700 South Shoreline, Suite 200
Clayton, CA 94520
925-455-4252

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/27/19

CITY OF: Clayton ETS Location: Concord

LANDSCAPE ARCHITECT: M/D FOTHERINGHAM, LANDSCAPE ARCHITECTS (L.A.S.)

Total Irrigated Area (SIA) 5,221 Total Special Landscape Area (SLA) 0

Annual ETS Budget: 43.3 Total Estimated Irrigation Expense: \$

INCLUDED IN THIS PROJECT BUDGET (INDICATE BY CHECKING IN BELOW CATEGORIES)

	per/linear foot with 1/2" drip	per/linear foot with 1/4" drip	per/linear foot with 1/2" drip
1. Minimum Applied Water Allowance	77,000	77,000	77,000
2. Reduced Turf Water Use	84,877	84,877	0
3. Special Irrigation (Electric Perennials)	0	0	0
4. Special Irrigation (Perennials)	11,582	11,582	71,000
5. Special Irrigation (Perennials)	11,582	11,582	71,000

- Items to be designed and installed and the ETS will be provided by the contractor, the Client/Property Owner. Detailed information should be provided for each item.
- 1. Hydrozone Report
 - 2. Soil Profile Analysis
 - 3. Grading/Drain Plan
 - 4. Planting/Design Plan
 - 5. Irrigation Design Plan
 - 6. Irrigation System
- PROPOSED IRRIGATION SYSTEM:
- A. Micro-sprinkler
 - B. Drip Irrigation
 - C. Other (Specify in schedule)
 - D. Other (Specify in schedule)
 - E. Other (Specify in schedule)
 - F. Other (Specify in schedule)
 - G. Other (Specify in schedule)
 - H. Other (Specify in schedule)

WELO MAXIMUM APPLIED WATER ALLOWANCE

prepared by
M/D Fotheringham, Landscape Architects, Inc.
1700 South Shoreline, Suite 200
Clayton, CA 94520
925-455-4252

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/27/19

CITY OF: Clayton ETS Location: Concord

SECTION 01 MAXIMUM APPLIED WATER ALLOWANCE
MAXWA = ETS x .82 + (.55 x 100) + (.45 x SIA)

YEARLY ETS: 43.3
CONVERSION FACTOR: 0.82
ET ADJUSTMENT FACTOR: 0.55
TOTAL IRRIGATED LANDSCAPE AREA (SIA) IN SQUARE FEET: 5,221
SPECIAL LANDSCAPE AREA (SLA) IN SQUARE FEET: 0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,000
TOTAL ACRE FEET: 0.24

CALCULATIONS:
43.3 x 0.82 + 0.55 x 100 + 0.45 x 0 = 77,000

Effective Precipitation (EPT) Use 20% of annual precipitation in the following equation:
MAXWA = (EPT - EPT₀) x .82 + (.55 x 100) + (.45 x SIA)

YEARLY ETS: 43.3
EFFECTIVE PRECIPITATION (EPT) = 30.12 IN x .20 = 6.02
NET ETS: 43.3 - 6.02 = 37.28
CONVERSION FACTOR: 0.82
ET ADJUSTMENT FACTOR: 0.55
TOTAL IRRIGATED LANDSCAPE AREA (SIA) IN SQUARE FEET: 5,221
SPECIAL LANDSCAPE AREA (SLA) IN SQUARE FEET: 0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,000
TOTAL ACRE FEET: 0.24

CALCULATIONS:
37.28 x 0.82 + 0.55 x 100 + 0.45 x 0 = 77,000

RESULTS: Irrigation reductions by adding precipitation (gallons/year): 0

WELO ESTIMATED TOTAL WATER USE

prepared by
M/D Fotheringham, Landscape Architects, Inc.
1700 South Shoreline, Suite 200
Clayton, CA 94520
925-455-4252

PROJECT NAME: The Oliva at Marsh Creek - Site 1 Date: 10/27/19

CITY OF: Clayton ETS Location: Concord

SECTION 02 ESTIMATED TOTAL WATER USE (ETWU, gallons per year)
ETWU = ETS x .82 + (.55 x 100) + (.45 x SIA)

Calculations for following for each Hydrozone (HZ):

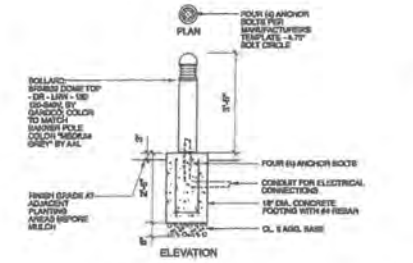
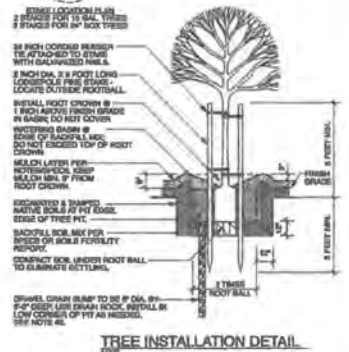
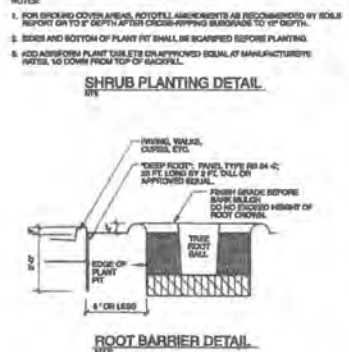
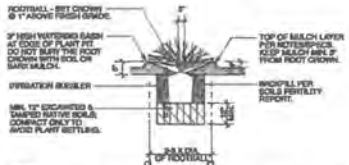
YEARLY ETS (inches per year): 43.3
CONVERSION FACTOR (to gallons per square foot): 0.82
AVG. IPI - PLANT FACTOR (gallons water consumed, defined for each treatment): 0.4
TOTAL IRRIGATED LANDSCAPE AREA (SIA) IN SQUARE FEET: 5,221
SPECIAL LANDSCAPE AREA (SLA) IN SQUARE FEET: 0
AVG. IPI - IRRIGATION EFFICIENCY FACTOR (minimum .75): 0.80
TOTAL ESTIMATED TOTAL WATER USE (gallons/year): 84,877
TOTAL ACRE FEET: 0.25

CALCULATIONS:

PLANT SPECIES	PLANT FACTOR	IRRIGATION EFFICIENCY FACTOR	ETWU (gallons/year)	ETWU (acre feet)
ALB 1.00 1	0.80	0.80	0.00	0.00
ALB 1.00 2	0.80	0.80	0.00	0.00
ALB 1.00 3	0.80	0.80	0.00	0.00
ALB 1.00 4	0.80	0.80	0.00	0.00
ALB 1.00 5	0.80	0.80	0.00	0.00
ALB 1.00 6	0.80	0.80	0.00	0.00
ALB 1.00 7	0.80	0.80	0.00	0.00
ALB 1.00 8	0.80	0.80	0.00	0.00
ALB 1.00 9	0.80	0.80	0.00	0.00
ALB 1.00 10	0.80	0.80	0.00	0.00

WELO ESTIMATED TOTAL WATER USE (ETWU, gallons per year)

ETWU (gallons/year)	ETWU (acre feet)
84,877	0.25

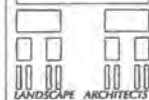


D LB LIGHT BOLLARD
10" x 14"



A LB BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)

M/D FOTHERINGHAM



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Clayton, CA

THE OLIVA ON MARSH CREEK

Clayton, CA
SITE 1
1170 High Street
Clayton, CA 94517

Class
William P. Jordan Turt

Sheet Title

CONSTRUCTION DETAILS 2 & WELO CALCULATIONS

Preliminary Design Submitted #2

Scale: As Shown on Plan

Designed by: M/D

Checked by: M/D

Drawn by: M/D

Date: JUNE 1, 2019

Sheet Number: 12/27

Sheet Number: 12/27

Sheet Number: 12/27

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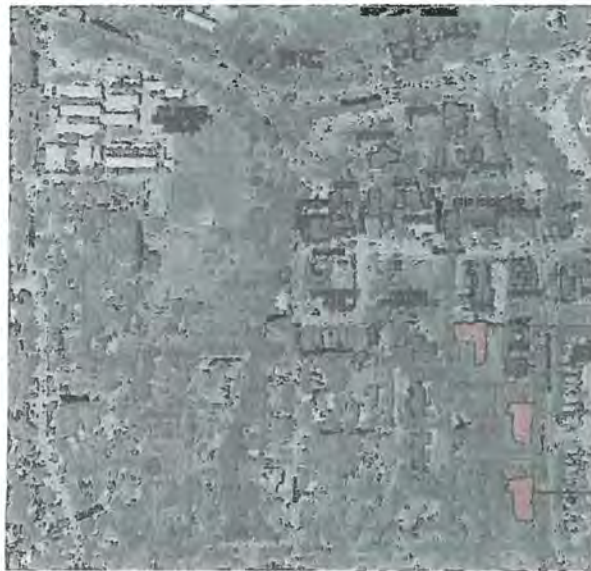
Sheet Number: 12/27

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SITE 2

The Olivia on Marsh Creek

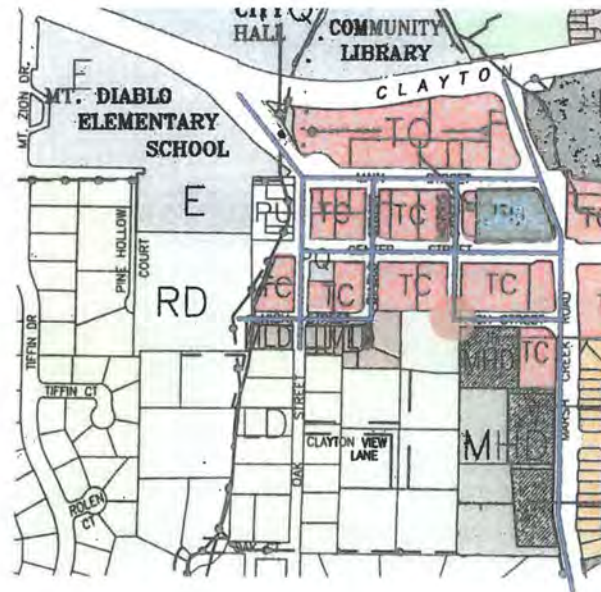
6450 Marsh Creek Road
Clayton, CA 94517



- SITE 1
The Olivia on Marsh Creek
- SITE 2
The Olivia on Marsh Creek
- SITE 3
The Olivia on Marsh Creek

DOWNTOWN DISTRICT

- BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
- PROPOSED PROJECT



CONNECTIVITY DIAGRAM

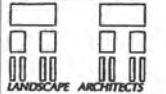
- PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
- NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



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Landscape Group



Clayton

Project
THE OLIVIA ON MARSH CREEK

Clayton, CA

SITE 2
6450 Marsh Creek Road
Clayton, CA 94517

Client

William F. Jordan Trust

Sheet Title

CONTEXT PLAN

Preliminary Design Submitted #2

Scale
As Shown on Plan

Designed by
JCF

Drawn by
B/C/P/J/M/J

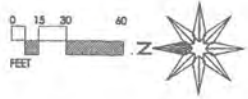
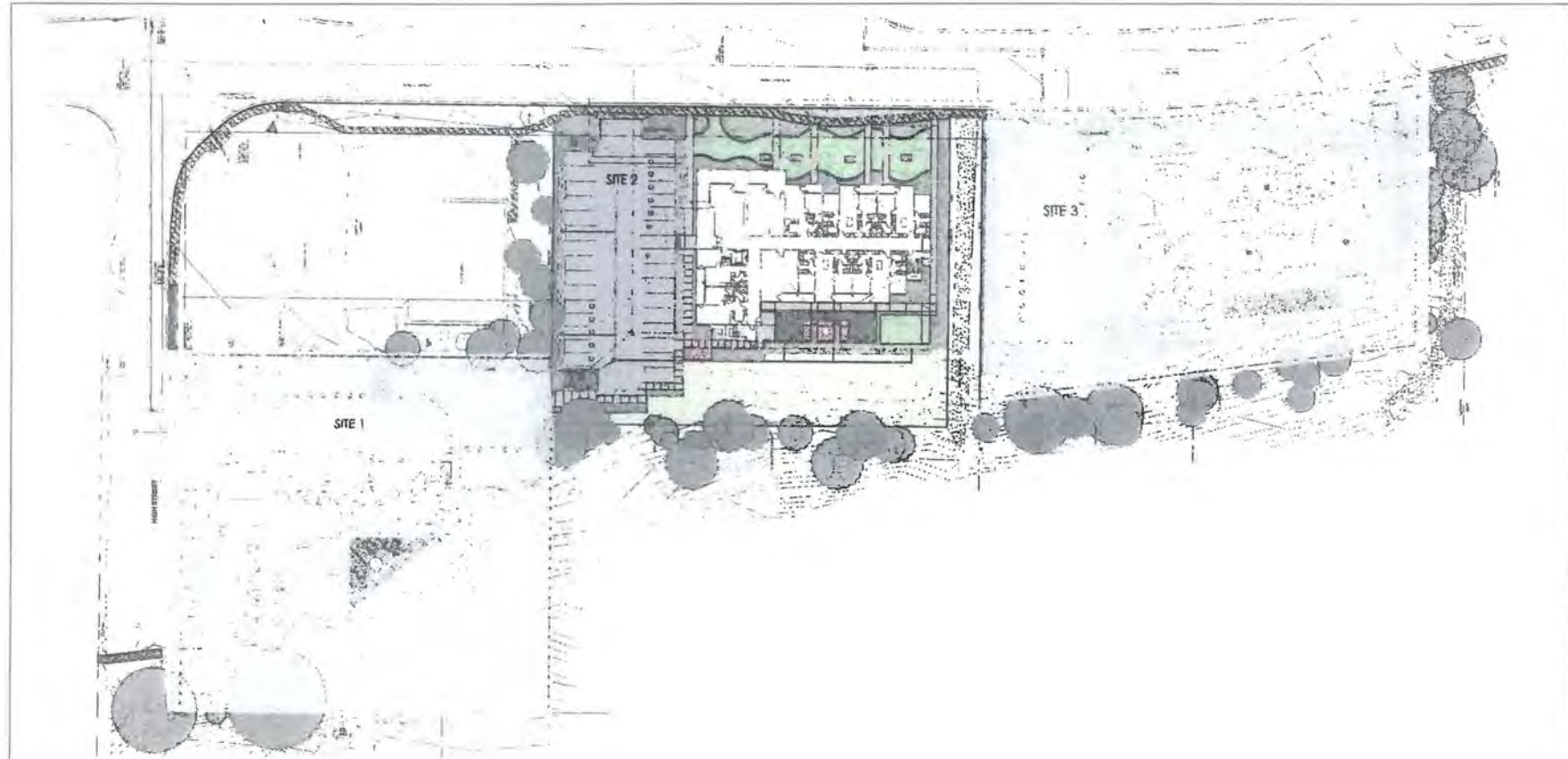
Checked by
JCF

Reviewed

Issue Date: JUNE 1, 2014
Issue Date: OCTOBER 7, 2019

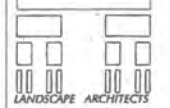
Project Number
1707

Sheet Number



**SITE 2
LOCATION PLAN**

M. D. FOTHERINGHAM



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License No.



Consultant

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA

SITE 2
4450 Marsh Creek Road
Clayton, CA 94517

Client
William F. Jordan Trust

Sheet Title

**SITE 2
LOCATION
PLAN**

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
MDF/MDF

Checked by
MDF

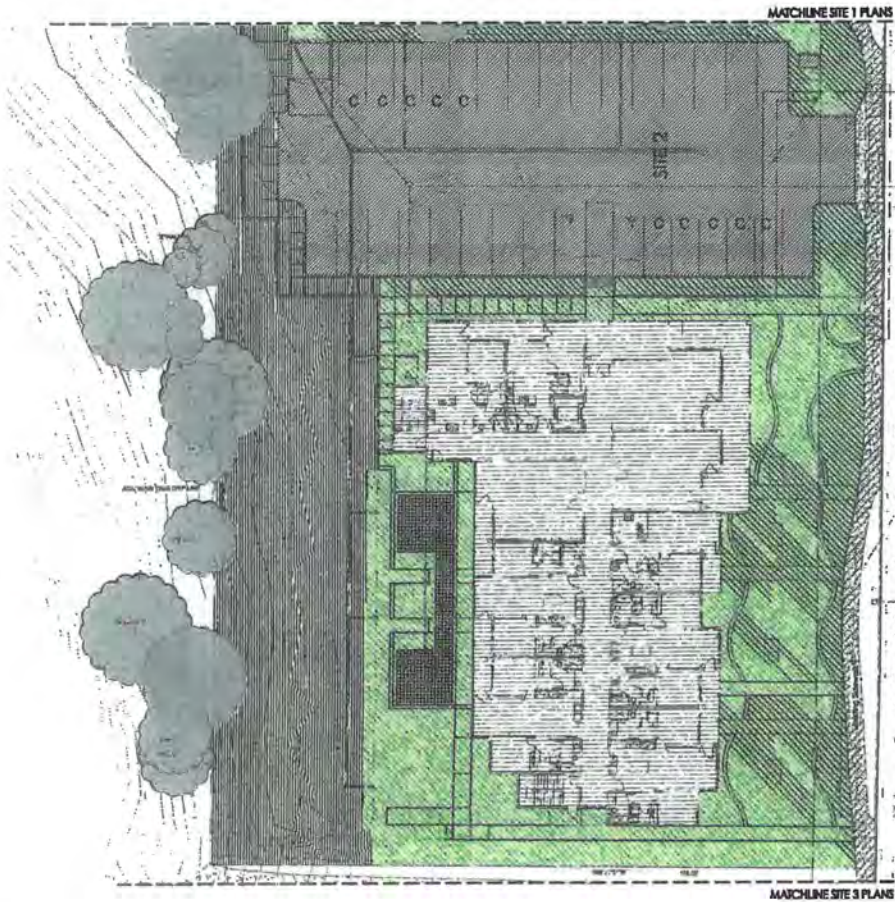
Revisions



Plot Date: **JUNE 1, 2018**
Issue Date: **OCTOBER 7, 2018**

Project Number
1707

Sheet Title



SITE 2 LAND ACCOUNT

-  BUILDING FOOTPRINT: 10,966 SF
-  PARKING/UTILITY PAVEMENT: 10,336 SF
-  ACTIVE OPEN SPACE: 12,863 SF
-  PASSIVE OPEN SPACE/SLOPE AREA: 8,196 SF

TOTAL LOT AREA: 42,361 SF (Does not include offsite)

17.20.150 Item C
 Minimum Landscape Area Required = 20% of 42,361 SF = 8,472 SF
 Landscape Area Provided = 19,338 SF (45.7%)
 Minimum Vegetated Landscape Required = 75% of 8,472 SF = 6,354 SF
 Vegetated Landscape Provided = 14,643 SF

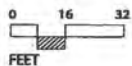
17.28.100
 Minimum Open Space Required = 20% of 42,361 SF = 8,472 SF
 Open Space Provided = 21,059 SF (49.7%)
 Minimum Active Open Space Required = 51% of 8,472 SF = 4,321 SF
 Active Open Space Provided = 12,863 SF

**THE OLIVIA ON MARSH CREEK - SITE 2
 LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
Building Footprint	10,966 SF
Garage Footprint	0 SF
Parking	10,336 SF
Driveway	1,263 SF
Utility Enclosure	30 SF
CA Pavers & Seals	947 SF
Shrub Planting Area (includes offsite)	5,381 SF
Lawn	3,451 SF
Shaded Open Space Rehabilitation	2,265 SF
Shaded Open Space Reserve	5,055 SF
Meadowland	351 SF
Vegetation Calculation	6,722 SF
Actual number labeled (Excludes offsite)	44,714 SF
TOTAL LANDSCAPE AREA	19,338 SF
TOTAL OPEN SPACE AREA	21,059 SF
TOTAL LOT AREA	42,361 SF
OPEN SPACE AREA PERCENTAGE	50.34%
LANDSCAPE AREA PERCENTAGE	47.64%

NOTE: The landscape improvements listed above include offsite improvements along the Marsh Creek Road bridge.

**SITE 2
 OPEN SPACES PLAN VIEW**



M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS

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 email: mdfotheringham@redwood.com

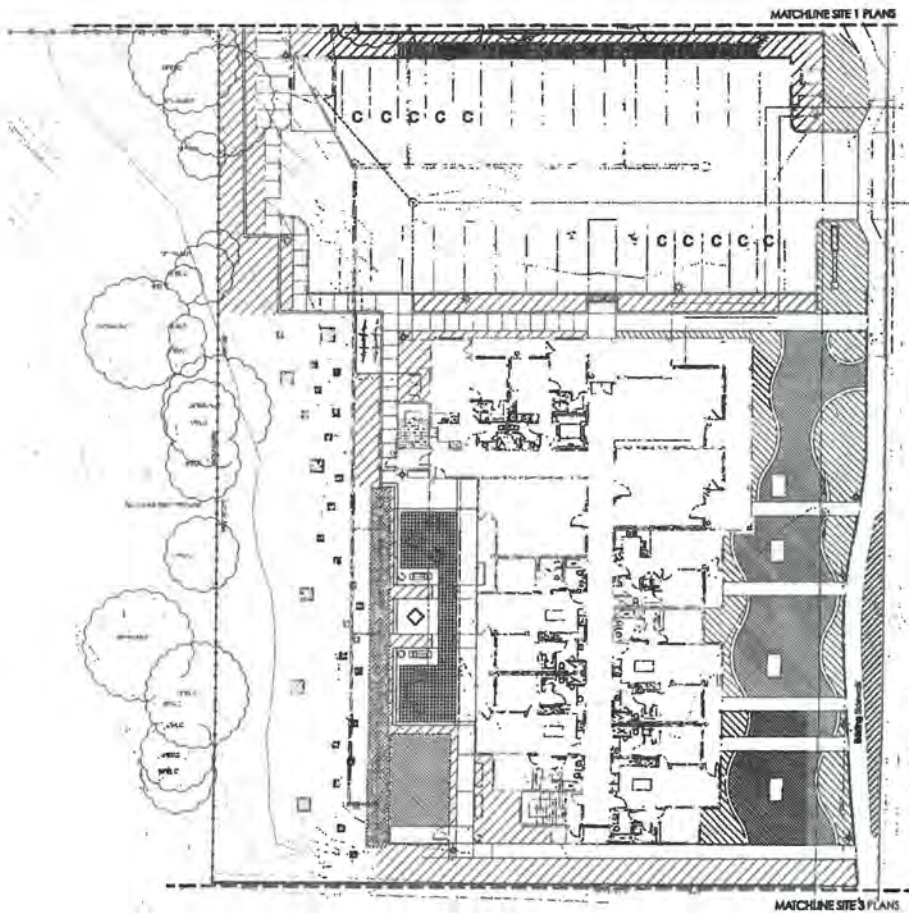


Project
**THE OLIVIA ON
 MARSH CREEK**
 Clayton, CA
SITE 2
 640 Marsh Creek Road
 Clayton, CA 94517
 Client
 William P. Jordan Trust

**OPEN SPACE
 CALCULATIONS**

Preliminary Design Submittal #2
 Date
 As Shown on Plan
 Designed by
 MCF
 Drawn by
 SURNAME
 Checked by
 MCF
 Date

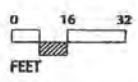
Issue Date: 2/28/11, 3/8/11
 Issue Date: OCTOBER 7, 2011
 Project Number:
 1702
 Sheet Number:



HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND
-  PARKWAY STRIP PLANTING - LOW WATER DEMAND

**SITE 2
HYDROZONE PLAN**



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Clayton, CA

Project
**THE OLIVA ON
MARSH CREEK**

Clayton, CA
SITE 2
4450 Marsh Creek Road
Clayton, CA 94527

Client
William F. Jordan Trust

Sheet Title

**HYDROZONE
PLAN**

Preliminary Design Submittal #2
Date
As Shown on Plans

Designed by
MDF

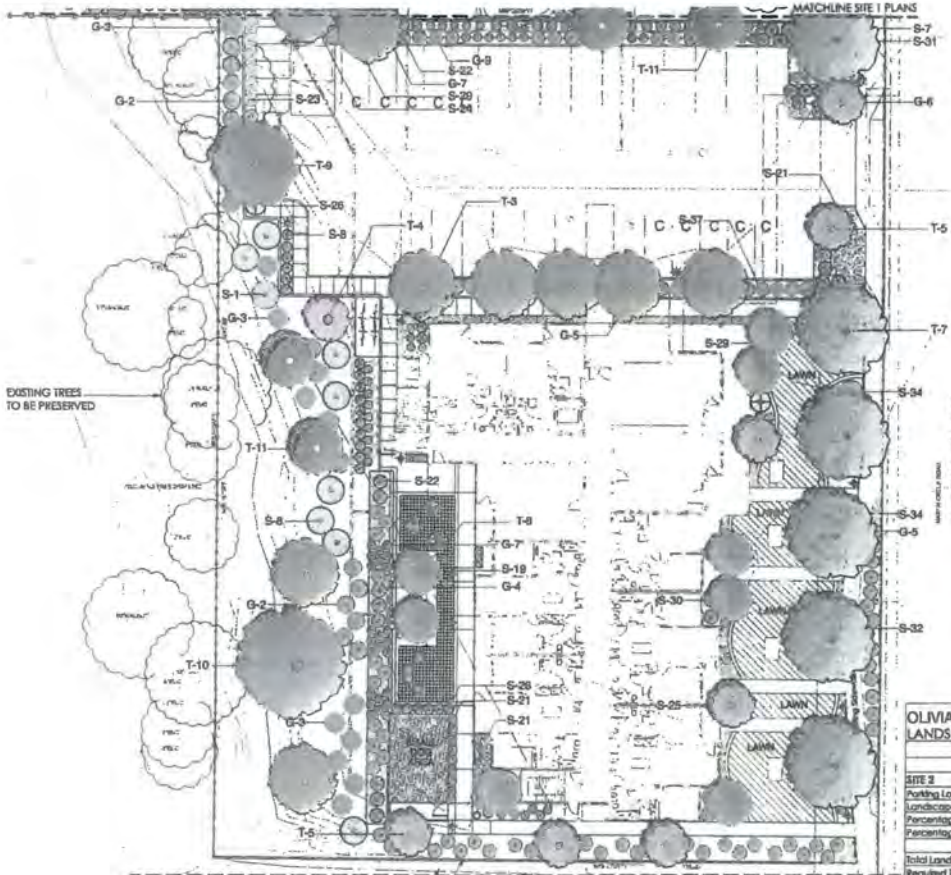
Drawn by
MDF/MDF

Checked by
MDF

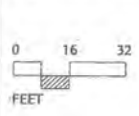
Scale

Run Date: JUNE 1, 2010
Issue Date: OCTOBER 7, 2010
Project Number:
1707
Sheet Number

NOTE:
SHRUB & GROUND COVER PLANTING IS INDICATIVE OF SPACING AND MATURE GROWTH EXPECTATIONS. NOT ALL PLANTS IN THE PLANT SCHEDULE ARE LABELED ON THESE PLANS.



**SITE 2
PLANTING PLAN**



**OLVIA - Site 2 Marsh Creek Road
LANDSCAPE REQUIREMENTS**

ITEM	AREA/RATIO
SITE 2	
Parking Lot Area	10,306 SF
Landscaped Area of Parking Lot	2,097 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	20%
Hard Landscape Area (Ingot)	11,058 SF
Required trees of 1 per 300 SF	37
Provided trees	37
Existing Onsite Trees Preserved	2
Parking Perimeter Landscape Area*	827 SF
Required trees of 1 per 150 SF	5
Provided trees*	4
Required trees of 1 per 3 parking spaces (21)	10
Provided trees*	4
Required trees of 1 per 300 SF	4
Provided trees	4

**TREE REPLACEMENT CHART
SITE 2**

Existing Trees - Removed Data	New Trees			
	Number	Trunk Inches Removed	Replacement Ratio	Process Trees
Protected Trees Removed	0	0	0	0
Tree Type	0L, 0A, 0E, 0F, 0G, 0H	0	0	0
Other Trees Removed	0	0	0	0
Tree Type	0I, 0J, 0K, 0L, 0M, 0N, 0O, 0P, 0Q, 0R, 0S, 0T, 0U, 0V, 0W, 0X, 0Y, 0Z	0	0	0
Trees Removed Impacts	0	0	0	0
New Trees	10	40 inches	36	0
Required Replacement Trunk Inches:	64 inches	50 inches	0 inches	0 inches
Mitigation Tree Replacement	40	36	0	0

Table 4 - Root ball diameters - field grown trees

Type 1 and Type 2 Shade Trees		Type 3 and Type 4 Small Upright and Small Uprighting Trees	
Caliper	Minimum diameter root ball	Small Upright and Small Uprighting Trees Caliper 10" and over	Minimum diameter root ball
12 in.	12 in.	2 1/2 in.	10 in.
14 in.	14 in.	3 in.	12 in.
16 in.	16 in.	4 in.	14 in.
18 in.	18 in.	3 in.	16 in.
20 in.	20 in.	3 1/2 in.	18 in.
22 in.	22 in.	1 in.	18 in.
24 in.	24 in.	1 1/2 in.	19 in.
26 in.	26 in.	1 1/2 in.	20 in.
28 in.	28 in.	1 1/2 in.	22 in.
30 in.	30 in.	2 in.	24 in.
32 in.	32 in.	2 1/2 in.	26 in.
34 in.	34 in.	2 1/2 in.	28 in.
36 in.	36 in.	3 in.	30 in.
38 in.	38 in.	3 in.	32 in.
40 in.	40 in.	3 1/2 in.	34 in.
42 in.	42 in.	4 in.	36 in.
44 in.	44 in.	4 1/2 in.	38 in.
46 in.	46 in.	4 1/2 in.	40 in.
48 in.	48 in.	5 in.	42 in.
50 in.	50 in.	5 in.	44 in.
52 in.	52 in.	5 1/2 in.	46 in.
54 in.	54 in.	5 1/2 in.	48 in.
56 in.	56 in.	6 in.	50 in.
58 in.	58 in.	6 in.	52 in.
60 in.	60 in.	6 1/2 in.	54 in.
62 in.	62 in.	6 1/2 in.	56 in.
64 in.	64 in.	7 in.	58 in.
66 in.	66 in.	7 in.	60 in.
68 in.	68 in.	7 1/2 in.	62 in.
70 in.	70 in.	7 1/2 in.	64 in.
72 in.	72 in.	8 in.	66 in.
74 in.	74 in.	8 in.	68 in.
76 in.	76 in.	8 1/2 in.	70 in.
78 in.	78 in.	8 1/2 in.	72 in.
80 in.	80 in.	9 in.	74 in.
82 in.	82 in.	9 in.	76 in.
84 in.	84 in.	9 1/2 in.	78 in.
86 in.	86 in.	9 1/2 in.	80 in.

PRELIMINARY PLANT LIST

Item #	Common Name	Scientific Name	Minimum Root Ball	Minimum Caliper	Plant Notes
T-11	Adiantum species	Adiantum species	12 in.	12 in.	See Planting Chart
T-12	Adiantum species	Adiantum species	14 in.	14 in.	See Planting Chart
T-13	Adiantum species	Adiantum species	16 in.	16 in.	See Planting Chart
T-14	Adiantum species	Adiantum species	18 in.	18 in.	See Planting Chart
T-15	Adiantum species	Adiantum species	20 in.	20 in.	See Planting Chart
T-16	Adiantum species	Adiantum species	22 in.	22 in.	See Planting Chart
T-17	Adiantum species	Adiantum species	24 in.	24 in.	See Planting Chart
T-18	Adiantum species	Adiantum species	26 in.	26 in.	See Planting Chart
T-19	Adiantum species	Adiantum species	28 in.	28 in.	See Planting Chart
T-20	Adiantum species	Adiantum species	30 in.	30 in.	See Planting Chart
T-21	Adiantum species	Adiantum species	32 in.	32 in.	See Planting Chart
T-22	Adiantum species	Adiantum species	34 in.	34 in.	See Planting Chart
T-23	Adiantum species	Adiantum species	36 in.	36 in.	See Planting Chart
T-24	Adiantum species	Adiantum species	38 in.	38 in.	See Planting Chart
T-25	Adiantum species	Adiantum species	40 in.	40 in.	See Planting Chart
T-26	Adiantum species	Adiantum species	42 in.	42 in.	See Planting Chart
T-27	Adiantum species	Adiantum species	44 in.	44 in.	See Planting Chart
T-28	Adiantum species	Adiantum species	46 in.	46 in.	See Planting Chart
T-29	Adiantum species	Adiantum species	48 in.	48 in.	See Planting Chart
T-30	Adiantum species	Adiantum species	50 in.	50 in.	See Planting Chart
T-31	Adiantum species	Adiantum species	52 in.	52 in.	See Planting Chart
T-32	Adiantum species	Adiantum species	54 in.	54 in.	See Planting Chart
T-33	Adiantum species	Adiantum species	56 in.	56 in.	See Planting Chart
T-34	Adiantum species	Adiantum species	58 in.	58 in.	See Planting Chart
T-35	Adiantum species	Adiantum species	60 in.	60 in.	See Planting Chart
T-36	Adiantum species	Adiantum species	62 in.	62 in.	See Planting Chart
T-37	Adiantum species	Adiantum species	64 in.	64 in.	See Planting Chart
T-38	Adiantum species	Adiantum species	66 in.	66 in.	See Planting Chart
T-39	Adiantum species	Adiantum species	68 in.	68 in.	See Planting Chart
T-40	Adiantum species	Adiantum species	70 in.	70 in.	See Planting Chart
T-41	Adiantum species	Adiantum species	72 in.	72 in.	See Planting Chart
T-42	Adiantum species	Adiantum species	74 in.	74 in.	See Planting Chart
T-43	Adiantum species	Adiantum species	76 in.	76 in.	See Planting Chart
T-44	Adiantum species	Adiantum species	78 in.	78 in.	See Planting Chart
T-45	Adiantum species	Adiantum species	80 in.	80 in.	See Planting Chart
T-46	Adiantum species	Adiantum species	82 in.	82 in.	See Planting Chart
T-47	Adiantum species	Adiantum species	84 in.	84 in.	See Planting Chart
T-48	Adiantum species	Adiantum species	86 in.	86 in.	See Planting Chart
T-49	Adiantum species	Adiantum species	88 in.	88 in.	See Planting Chart
T-50	Adiantum species	Adiantum species	90 in.	90 in.	See Planting Chart
T-51	Adiantum species	Adiantum species	92 in.	92 in.	See Planting Chart
T-52	Adiantum species	Adiantum species	94 in.	94 in.	See Planting Chart
T-53	Adiantum species	Adiantum species	96 in.	96 in.	See Planting Chart
T-54	Adiantum species	Adiantum species	98 in.	98 in.	See Planting Chart
T-55	Adiantum species	Adiantum species	100 in.	100 in.	See Planting Chart

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS



**THE OLVIA ON
MARSH CREEK**
Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517

**PLANTING
PLAN**

Preliminary Design Submittal #2

As Shown on Plan

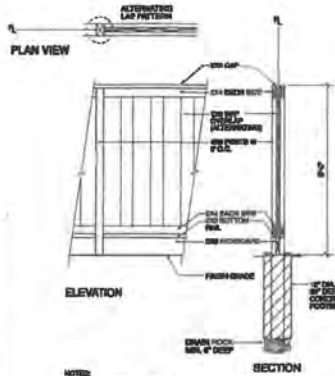
Designed by
MDF

Drawn by
BSP/MDF

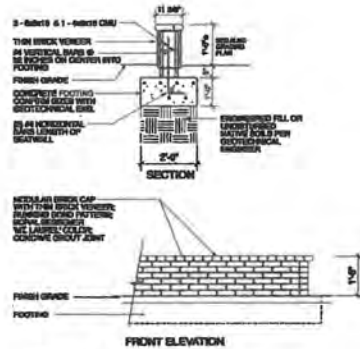
Checked by
MDF

Scale
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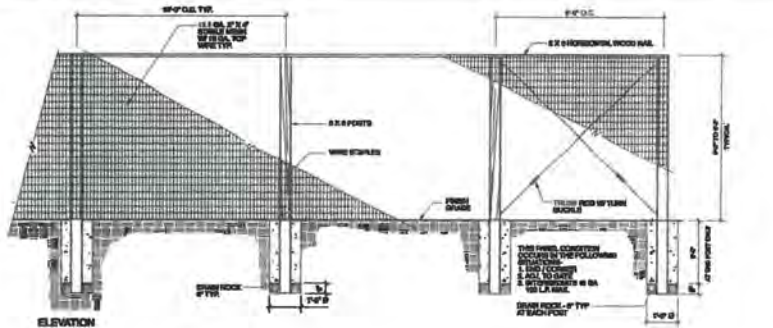
Sheet Number
1702



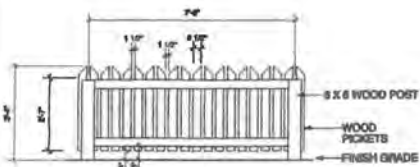
D
L7 **GOOD NEIGHBOR FENCE**
10' = 1'-0"



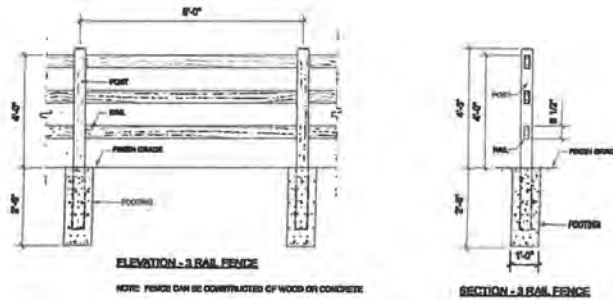
E
L7 **BRICK VENEER SEAT WALL**
10' = 1'-0"



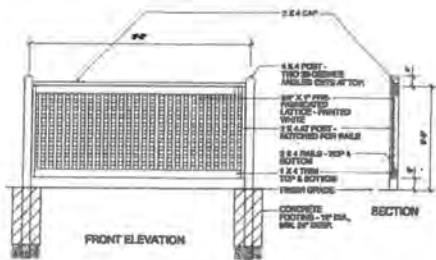
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L7 **DEER FENCE**
20' = 1'-0"



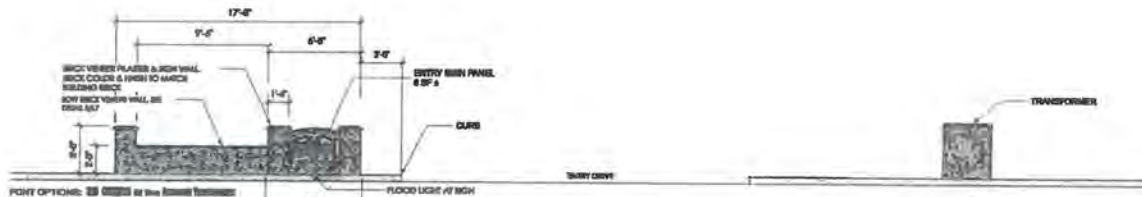
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L7 **40 IN. HIGH PICKET FENCE**
10' = 1'-0"



F
L7 **RANCH FENCE**
10' = 1'-0"



B
L7 **WOOD UTILITY SCREEN**
10' = 1'-0"



A
L7 **SECTION AT ENTRY SIGN**
14' = 1'-0"

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS
1700 North Sacramento, Suite 200
Walnut Creek, CA 94597
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Fax: 925-939-6299
www.mdfatheringham.com
Landscape



Chairman

Project
THE OLIVIA ON MARSH CREEK

Clayton, CA

SITE 2

4400 Marsh Creek Road
Clayton, CA 94517

Client

William P. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 1

Preliminary Design Submitted #2

Scale

As Shown on Plan

Designed by

MDP

Drawn by

MDP/MDP

Checked by

MDP

Scale

Scale

Plot Date: JUNE 1, 2011

Plot Date: OCTOBER 7, 2011

Project Number

170

Sheet Number

L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDINANCE PROJECT SUMMARY

PROJECT NAME: City Clerk at South Creek - Site 2 Date: 10/17/18
 CITY OF: Clayton
 ESTABLISHED: 1969
 LANDSCAPE ARCHITECT: Michael D. Fojthringham, Landscape Architects, Inc.
 TOTAL LANDSCAPE AREA (SQ. FT.): 177,654
 TOTAL IRRIGATED LANDSCAPE AREA (SQ. FT.): 177,654
 SPECIAL LANDSCAPE AREA (SQ. FT.): 0

REQUIREMENTS FOR THIS PROJECT (SPECIAL REQUIREMENTS):

Item	Minimum Applied Water Allowance (gallons/year/ft ²)	Calculated Water Allowance (gallons/year/ft ²)	Notes
1 Maximum Applied Water Allowance	177,654	177,654	177,654
2 Estimated Irrigation Demand	159,271	159,271	
3 Maximum Irrigation Demand	177,654	177,654	
4 Estimated Water Savings	18,383	18,383	177,654
5 Annual Water Savings	6,498	6,498	177,654

- NOTES: If the design assumes that a goal or the ETWa will be provided by precipitation, the following specifications should be included on the project and approved by the City:
- 1 Irrigation Report
 - 2 Soil Profile Analysis
 - 3 Final Planting Plan
 - 4 Final Planting Schedule
 - 5 Final Planting List
 - 6 Final Planting Budget
 - 7 Irrigation System Design
 - 8 Final Planting List
 - 9 Final Planting Budget
 - 10 Final Planting Schedule
 - 11 Final Planting List
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 - 97 Final Planting Schedule
 - 98 Final Planting List
 - 99 Final Planting Budget
 - 100 Final Planting Schedule

WELO MAXIMUM APPLIED WATER ALLOWANCE

PROJECT NAME: The Oliva @ Marsh Creek - Site 2 Date: 10/17/18
 CITY OF: Clayton
 ESTABLISHED: 1969

SECTION 8.1 MAXIMUM APPLIED WATER ALLOWANCE
 $MAWA = (E_{Twa} \times 0.92 \times (SA + (SA \times SA))) \div (4.0 \times SA)$

YEARLY ET_w: 43.2
 CONVERSION FACTOR: 0.92
 ET ADJUSTMENT FACTOR: 0.50
 TOTAL IRRIGATED LANDSCAPE AREA (PLAIN SQUARE FEET): 177,654
 SPECIAL LANDSCAPE AREA (PLAIN SQUARE FEET): 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 177,654
 TOTAL ACRES FEET: 0.54

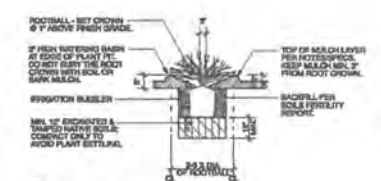
CALCULATION:
 $43.2 \times 0.92 \times 0.50 \div 4.0 \div 177,654 = 0.54 \text{ AF}$

ETWATER TRANSMISSION LOSS (ET_L)
 USE 25% OF ANNUAL PRECIPITATION TO BE SUBTRACTED FROM MAWA:
 $MAWA = (E_{Twa} - ET_L) \times 0.92 \times (SA + (SA \times SA)) \div (4.0 \times SA)$

YEARLY ET_w: 43.2
 EFFECTIVE PRECIPITATION (ET_L) = 30.00 (INCHES) = 20
 NET ET_w: 13.2
 CONVERSION FACTOR: 0.92
 ET ADJUSTMENT FACTOR: 0.50
 TOTAL IRRIGATED LANDSCAPE AREA (PLAIN SQUARE FEET): 177,654
 SPECIAL LANDSCAPE AREA (PLAIN SQUARE FEET): 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 177,654
 TOTAL ACRES FEET: 0.54

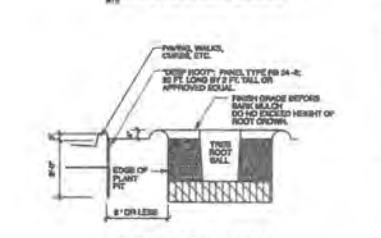
CALCULATION:
 $13.2 \times 0.92 \times 0.50 \div 4.0 \div 177,654 = 0.41 \text{ AF}$

RESULTS: Irrigation reductions by adding precipitation (optional) = 0



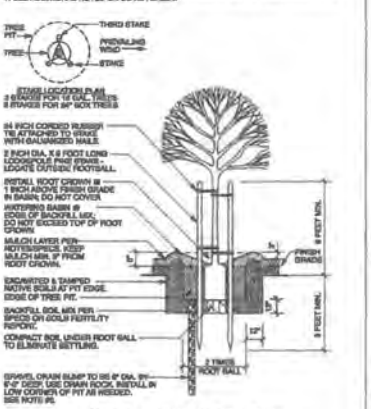
SHRUB PLANTING DETAIL

NOTES:
 1. FOR GROUND COVER AREAS, TOTAL TRANSMISSION LOSS IS RECOMMENDED BY SOIL REPORT OR TO 0\"/>



TREE INSTALLATION DETAIL

NOTES:
 1. PLACE STAKE PLUMB & ANCHOR IN STAKE LOCATION PLANT.
 2. TREES SHALL NOT BE ROOT-BARRIERS. CAREFULLY SCRUB FOOTBALL BEFORE PLANTING.
 3. BARRIERS WATER BARRIERS SHALL BE PLANTED IN LEANS.
 4. USE WOOD STAKES FOR 18 GALLON & 24\"/>



WELO ESTIMATED TOTAL WATER USE

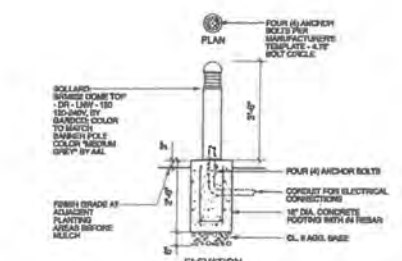
PROJECT NAME: The Oliva @ Marsh Creek - Site 2 Date: 10/17/18
 CITY OF: Clayton
 ESTABLISHED: 1969

SECTION 8.1 ESTIMATED TOTAL WATER USE (GALLONS PER YEAR)
 $ETWa = (E_{Twa} \times 0.92 \times (SA + (SA \times SA))) \div (4.0 \times SA)$

Calculate the following for each vegetation type:
 YEARLY ET_w (inches per year): 43.2
 CONVERSION FACTOR (to gallons per acre-foot): 0.92
 AVG PP - PLANT FACTOR (plant water demand, based on each vegetation): 0.50
 TOTAL ESTIMATED LANDSCAPE AREA (PLAIN SQUARE FEET): 177,654
 SPECIAL LANDSCAPE AREA (PLAIN SQUARE FEET): 0
 AVG ET_w - WEIGHTED EFFICIENCY FACTOR (minimum, 75%): 0.50
 TOTAL ESTIMATED TOTAL WATER USE (GALLONS PER YEAR): 177,654
 TOTAL ACRES FEET: 0.52

CALCULATION:
 $43.2 \times 0.92 \times 0.50 \div 4.0 \div 177,654 = 0.52 \text{ AF}$

VEGETATION TYPE	AREA (SQ. FT.)	ET _w (INCHES)	CONVERSION FACTOR	AVG PP	AVG ET _w	WATER USE (GALLONS)
1	177,654	43.2	0.92	0.50	10.32	177,654
2	0	0	0	0	0	0
3	0	0	0	0	0	0
4	0	0	0	0	0	0
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D LIGHT BOLLARD
 1/2" x 1'-0"



C TRASH RECEPTACLE
 NTS



B BICYCLE RACK
 NTS



A BENCH W/BACK/BACKLESS
 NTS
 (See architectural dwgs for alternate wood bench)

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 Torrance, CA 90501
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 Fax: 310.370.8228
 Email: info@mdfojthringham.com

Project: THE OLIVA ON MARSH CREEK
 Clayton, CA
 SITE 2
 450 Marsh Creek Road
 Clayton, CA 94517

William F. Jordan Trust
 Date: 10/17/18
 Preliminary Design, Submitted #2
 As shown on Plan
 Designed by: MCF
 Drawn by: MCF/MCF
 Checked by: MCF
 Date: 10/17/18

Sheet: L-8



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

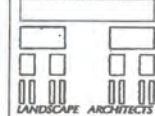


T-10 *Quercus lobata* (N-D)
Valley Oak

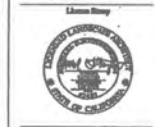


T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS
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Fax 925-938-6229
www.mdfatheringham.com



Consultant

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
ALL SITES

Client
William F. Jordan Trust

Sheet Title

**TREE
IMAGES**

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MEW

Drawn by
BAGP/NDP

Checked by
MEW

Revised

DATE: JUNE 11, 2017
Sheet Number
1707

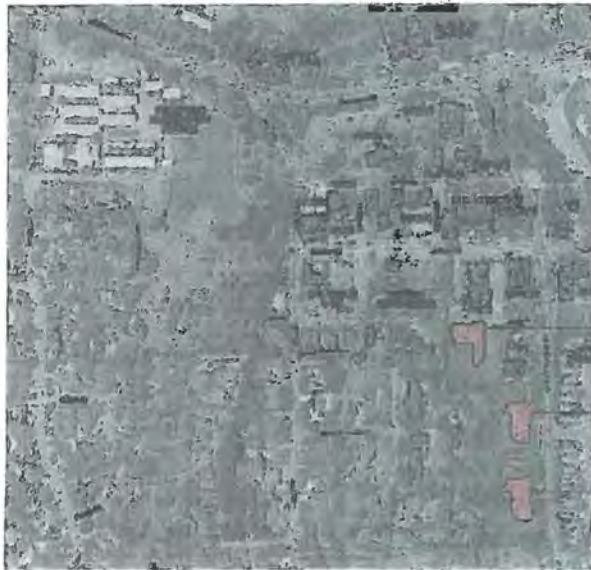
Project Number
1707

Sheet Number
L-9

SITE 3

The Olivia on Marsh Creek

6490 Marsh Creek Road
Clayton, CA 94517



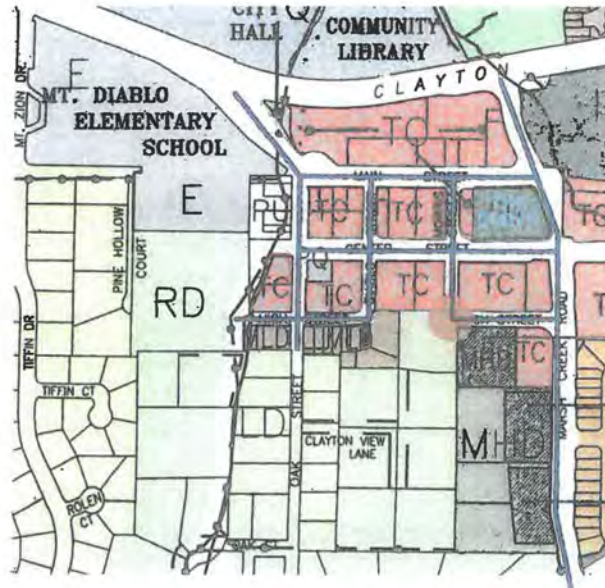
SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek

SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

-  BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
-  PROPOSED PROJECT



CONNECTIVITY DIAGRAM

-  PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
-  NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

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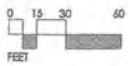
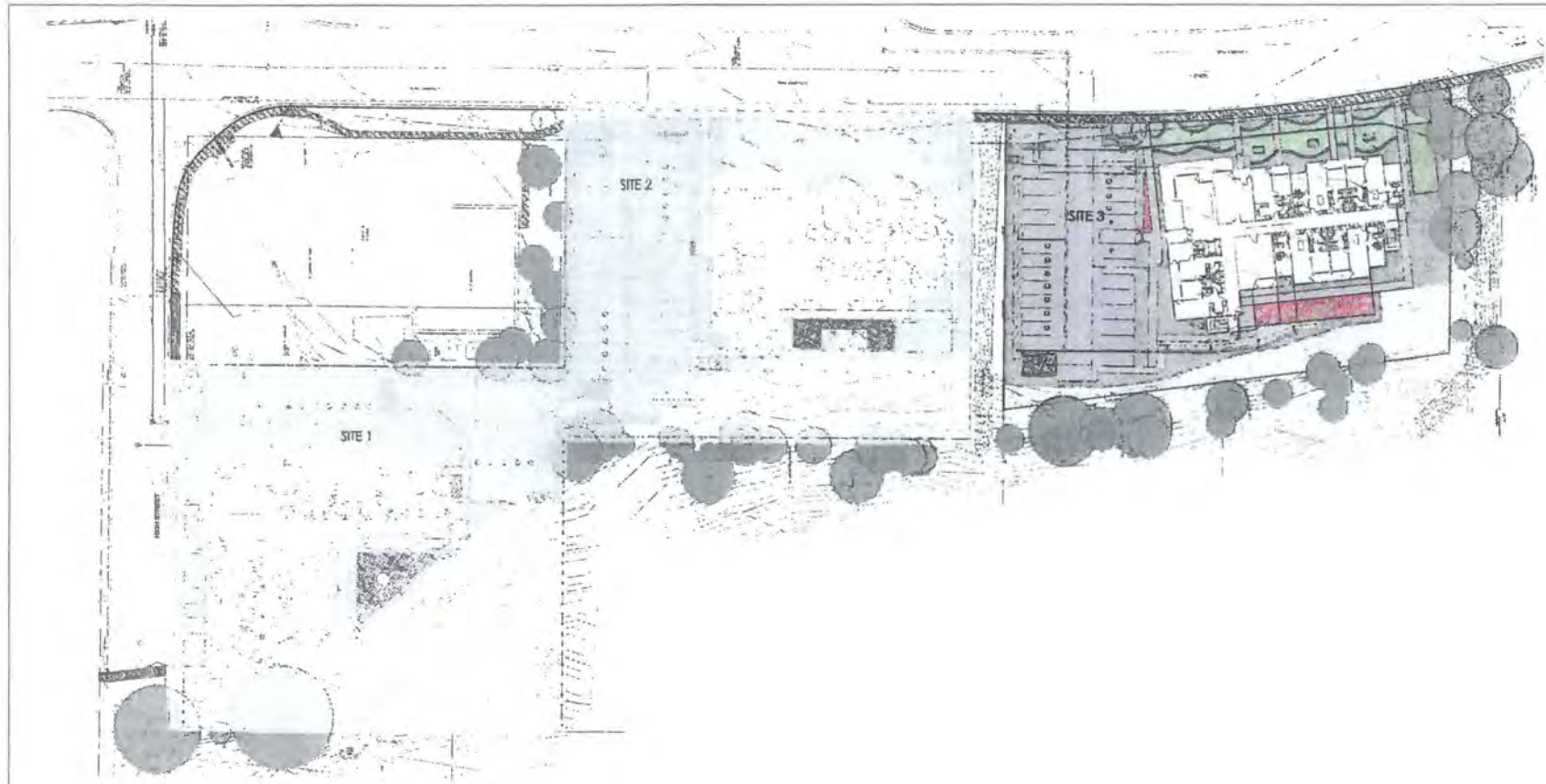


Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
6490 Marsh Creek Road
Clayton, CA 94517
Client
William P. Jordan Trust

CONTEXT PLAN

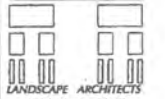
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Scale
As Shown on Plan
Designed by
MDF
Drawn by
MDF
Checked by
MDF
Reviewed

Revision
Rev. Date: APRIL 1, 2019
Rev. Description: OCTOBER 7, 2019
Project Number
1207
Sheet Number



**SITE 3
LOCATION PLAN**

M. D. FOTHERINGHAM



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Clayton

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
4490 Marsh Creek Road
Clayton, CA 94517
Client
William F. Jordan Trust

Sheet Title

**SITE 3
LOCATION
PLAN**

Preliminary Design Submittal #2
Scale
As Shown on Plan

Designed by
JLDF

Drawn by
JLDF/JLDF

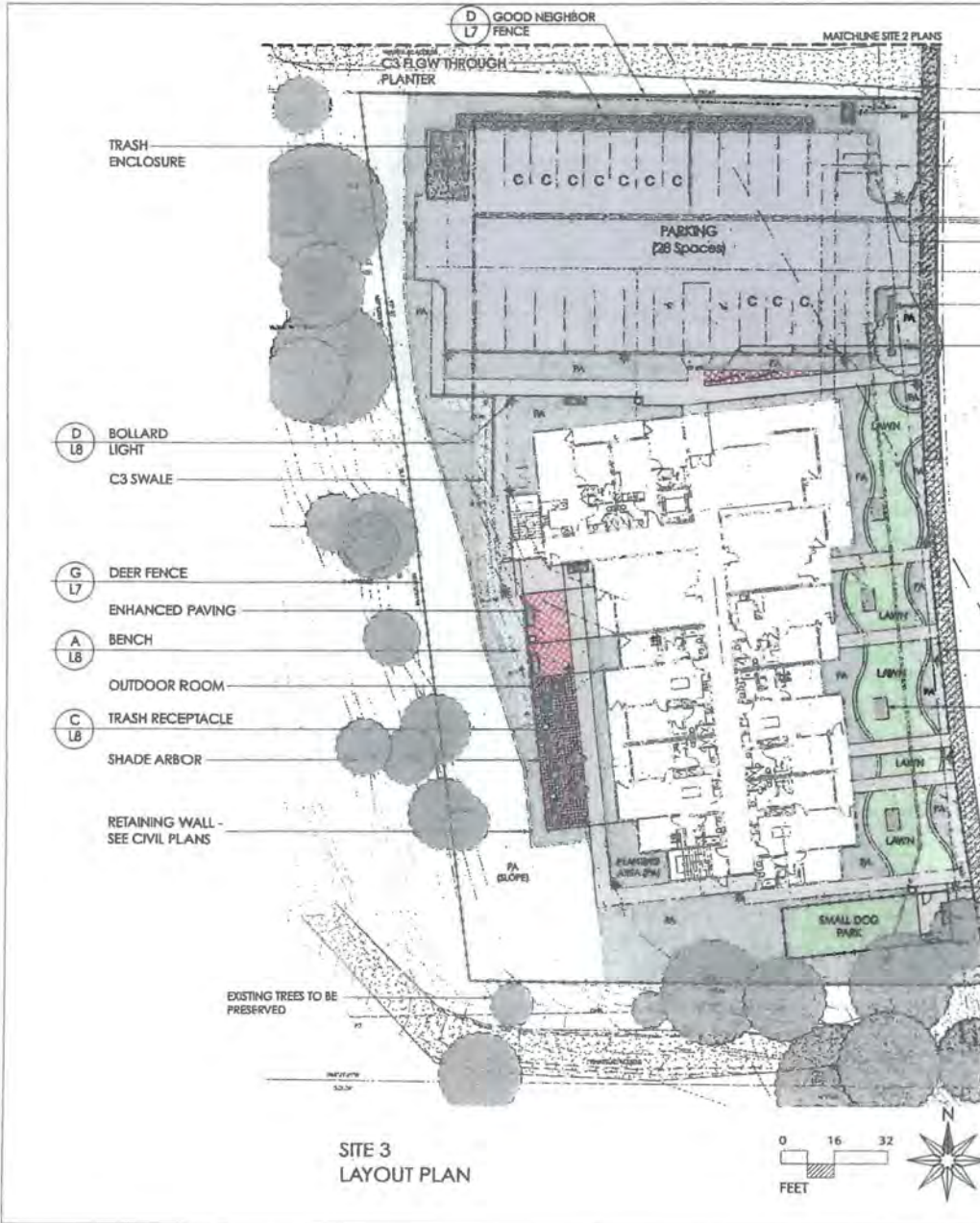
Checked by
JLDF

Revisions

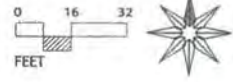
Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 1, 2019

Project Number
1707

Sheet Number
L-2



**SITE 3
LAYOUT PLAN**



NOTE:
SEE SHEETS L-6 FOR PLANTING DESIGN OF SITE 3

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Clayton

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
6490 Marsh Creek Road
Clayton, CA 94517
Client
William P. Jordan Trust

Sheet Title

**LAYOUT
PLAN**

Preliminary Design Submitted #2
Scale
As Shown on Plan

Designed by
MDF

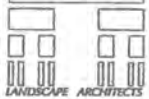
Drawn by
MDF/MDF

Checked by
MDF

Revisions

Sheet Date: JUNE 1, 2010
Issue Date: OCTOBER 7, 2010
Project Number
1707
Sheet Number

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Landscape Designer

Project
THE OLIVIA ON MARSH CREEK

Clayton, CA
SITE 3
4400 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet No.

HYDROZONE PLAN

Preliminary Design Submitted #2
Date
As Shown on Plan

Designed by
MDF

Drawn by
MDF/MSH

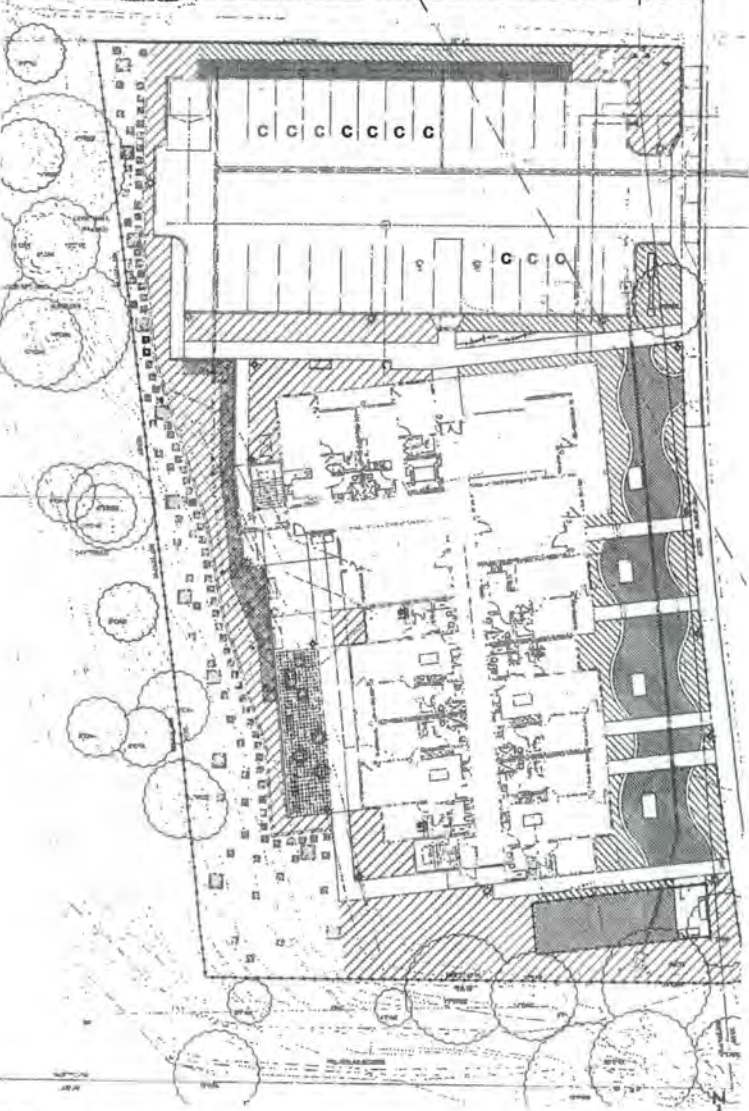
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MDF

Scale

Revised Date: JUNE 7, 2011
Revised Description: ODCOM 1.1 (2011)
Project Number: 1201
Sheet Number: L-5

L-5

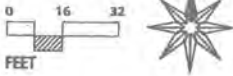
MATCHLINE SITE 2 PLANS

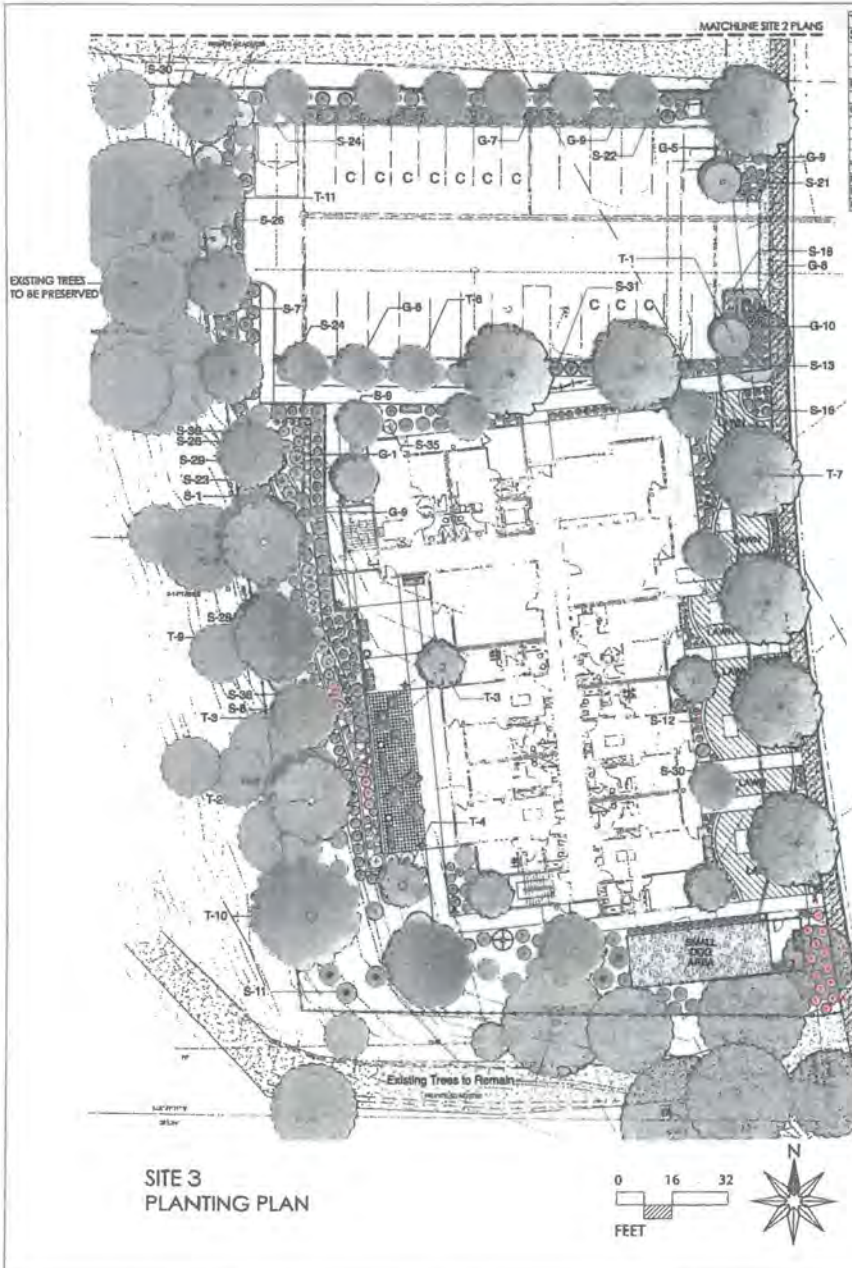


HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

**SITE 3
HYDROZONE PLAN**





TREE REPLACEMENT CHART
SITE 3

Tree Type	Existing - Removed Data		Proposed Trees	New Trees		
	Number	Replacement Ratio		Required Replacement	Required Replacement	Required Replacement
Protected Trees Removed						
New Tree	67	66	41	41	0	0
Other Trees Preserved	75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92	69	41, 42	41, 42	0, 0	0, 0
Tree Removal Impacts	77	69 inches	41	41	0	0
Required Replacement Trunk Inches			41, 42	41, 42	0, 0	0, 0
Mitigation Tree Replacement			41	41	0	0

OLVIA - Site 3 Marsh Creek Road
LANDSCAPE REQUIREMENTS

ITEM	AREA/RATIO
SITE 3	
Parking Lot Area	7,211 SF
Landscape Area of Parking Lot	2,454 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	20%
Total Landscape Area (Bridged)	12,244 SF
Required Trees of 1 per 300 SF	41
Existing Trees	41
Existing Trees Preserved	3
Parking Palmetto Landscape Area*	1,238 SF
Required Trees of 1 per 150 SF	8
Provided Trees	10
Required Trees of 1 per 3 parking spaces (OR)	9
Provided Trees	10
* Limited due to C3 facility	

PRELIMINARY PLANT LIST

Species	Common Name	Installation Size	Water Demand	Plant Source
T-1	Juniperus horizontalis	Medium	Low	See Plan
T-2	Juniperus horizontalis	Medium	Low	See Plan
T-3	Juniperus horizontalis	Medium	Low	See Plan
T-4	Juniperus horizontalis	Medium	Low	See Plan
T-5	Juniperus horizontalis	Medium	Low	See Plan
T-6	Juniperus horizontalis	Medium	Low	See Plan
T-7	Juniperus horizontalis	Medium	Low	See Plan
T-8	Juniperus horizontalis	Medium	Low	See Plan
T-9	Juniperus horizontalis	Medium	Low	See Plan
T-10	Juniperus horizontalis	Medium	Low	See Plan
T-11	Juniperus horizontalis	Medium	Low	See Plan
T-12	Juniperus horizontalis	Medium	Low	See Plan
T-13	Juniperus horizontalis	Medium	Low	See Plan
T-14	Juniperus horizontalis	Medium	Low	See Plan
T-15	Juniperus horizontalis	Medium	Low	See Plan
T-16	Juniperus horizontalis	Medium	Low	See Plan
T-17	Juniperus horizontalis	Medium	Low	See Plan
T-18	Juniperus horizontalis	Medium	Low	See Plan
T-19	Juniperus horizontalis	Medium	Low	See Plan
T-20	Juniperus horizontalis	Medium	Low	See Plan
T-21	Juniperus horizontalis	Medium	Low	See Plan
T-22	Juniperus horizontalis	Medium	Low	See Plan
T-23	Juniperus horizontalis	Medium	Low	See Plan
T-24	Juniperus horizontalis	Medium	Low	See Plan
T-25	Juniperus horizontalis	Medium	Low	See Plan
T-26	Juniperus horizontalis	Medium	Low	See Plan
T-27	Juniperus horizontalis	Medium	Low	See Plan
T-28	Juniperus horizontalis	Medium	Low	See Plan
T-29	Juniperus horizontalis	Medium	Low	See Plan
T-30	Juniperus horizontalis	Medium	Low	See Plan
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T-74	Juniperus horizontalis	Medium	Low	See Plan
T-75	Juniperus horizontalis	Medium	Low	See Plan
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T-80	Juniperus horizontalis	Medium	Low	See Plan
T-81	Juniperus horizontalis	Medium	Low	See Plan
T-82	Juniperus horizontalis	Medium	Low	See Plan
T-83	Juniperus horizontalis	Medium	Low	See Plan
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T-86	Juniperus horizontalis	Medium	Low	See Plan
T-87	Juniperus horizontalis	Medium	Low	See Plan
T-88	Juniperus horizontalis	Medium	Low	See Plan
T-89	Juniperus horizontalis	Medium	Low	See Plan
T-90	Juniperus horizontalis	Medium	Low	See Plan
T-91	Juniperus horizontalis	Medium	Low	See Plan
T-92	Juniperus horizontalis	Medium	Low	See Plan
T-93	Juniperus horizontalis	Medium	Low	See Plan
T-94	Juniperus horizontalis	Medium	Low	See Plan
T-95	Juniperus horizontalis	Medium	Low	See Plan
T-96	Juniperus horizontalis	Medium	Low	See Plan
T-97	Juniperus horizontalis	Medium	Low	See Plan
T-98	Juniperus horizontalis	Medium	Low	See Plan
T-99	Juniperus horizontalis	Medium	Low	See Plan
T-100	Juniperus horizontalis	Medium	Low	See Plan

NOTE:
SHRUB & GROUND COVER PLANTING IS INDICATIVE OF SPACING AND MATURE GROWTH EXPECTATIONS, NOT ALL PLANTS IN THE PLANT SCHEDULE ARE LABELED ON THESE PLANS.

Table 6 - Most ball diameters - field grown trees

Caliper	Type 1 and Type 2 Grade Tree Minimum diameter root ball	Type 3 and Type 4 Small Upright and Small Spreading Trees Height (to 5'-6") Minimum diameter Caliper 6" and over root ball
1/2 in.	12 in.	2 1/2 in.
3/4 in.	15 in.	3 in.
1 in.	18 in.	3 1/2 in.
1 1/4 in.	21 in.	4 in.
1 1/2 in.	24 in.	4 1/2 in.
1 3/4 in.	27 in.	5 in.
2 in.	30 in.	5 1/2 in.
2 1/4 in.	33 in.	6 in.
2 1/2 in.	36 in.	6 1/2 in.
2 3/4 in.	39 in.	7 in.
3 in.	42 in.	7 1/2 in.
3 1/4 in.	45 in.	8 in.
3 1/2 in.	48 in.	8 1/2 in.
3 3/4 in.	51 in.	9 in.
4 in.	54 in.	9 1/2 in.
4 1/4 in.	57 in.	10 in.
4 1/2 in.	60 in.	10 1/2 in.
4 3/4 in.	63 in.	11 in.
5 in.	66 in.	11 1/2 in.
5 1/4 in.	69 in.	12 in.
5 1/2 in.	72 in.	12 1/2 in.
5 3/4 in.	75 in.	13 in.
6 in.	78 in.	13 1/2 in.
6 1/4 in.	81 in.	14 in.
6 1/2 in.	84 in.	14 1/2 in.
6 3/4 in.	87 in.	15 in.
7 in.	90 in.	15 1/2 in.
7 1/4 in.	93 in.	16 in.
7 1/2 in.	96 in.	16 1/2 in.
7 3/4 in.	99 in.	17 in.
8 in.	102 in.	17 1/2 in.

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Telephone: 949-451-2222
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www.mdfortheringham.com

License No. 10000

Project:
THE OLVIA ON MARSH CREEK
Clayton, CA
SITE 3
6470 Marsh Creek Road
Clayton, CA 94517

Client:
William P. Jordan Trust

Scale: 1/8" = 1'-0"

PLANTING PLAN

Preliminary Design Submittal #2
As Shown on Plan

Designed by:
MDF

Drawn by:
BVP/MDF

Checked by:
MDF

Revised:

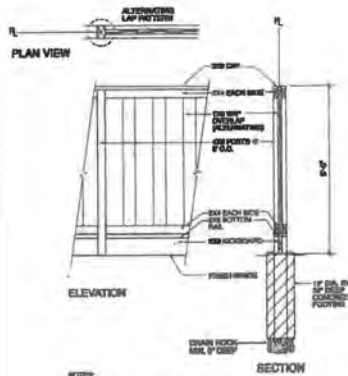
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Plot Date: JUNE 1, 2018
Plot Date: OCTOBER 7, 2018

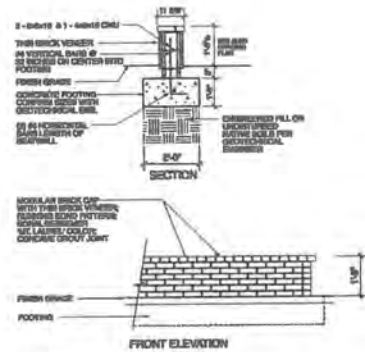
Plot Number:
1101

Sheet Number:
1 of 1

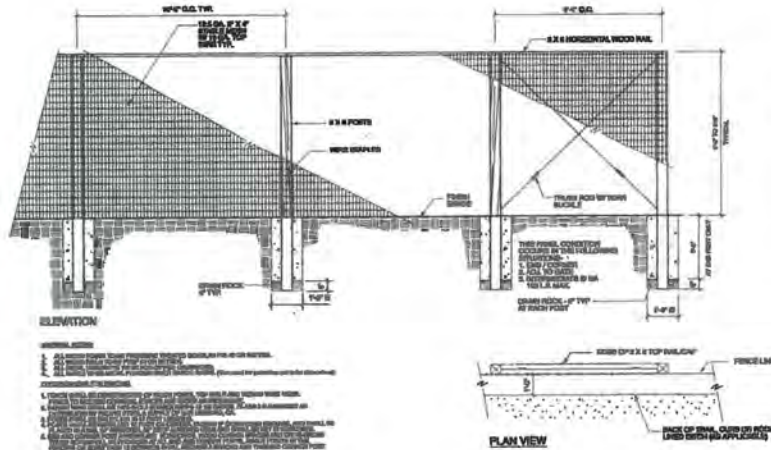
L-6



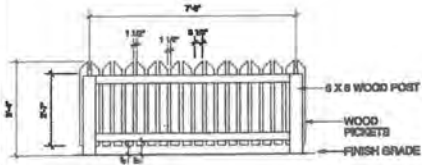
D
L7
GOOD NEIGHBOR FENCE
1/2" = 1'-0"



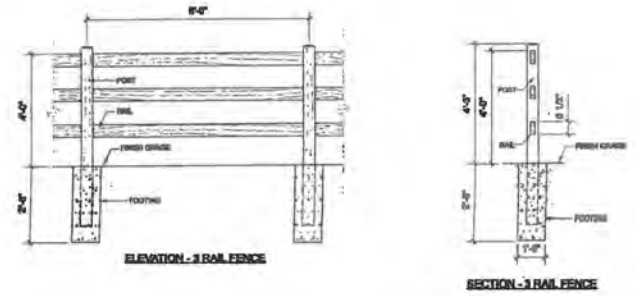
E
L7
BRICK VENEER SEAT WALL
1/2" = 1'-0"



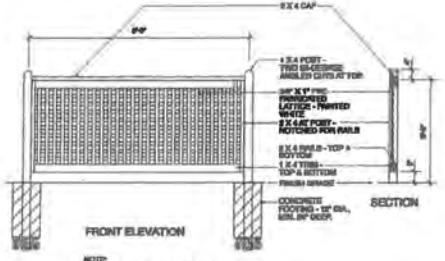
G
L7
DEER FENCE
3/8" = 1'-0"



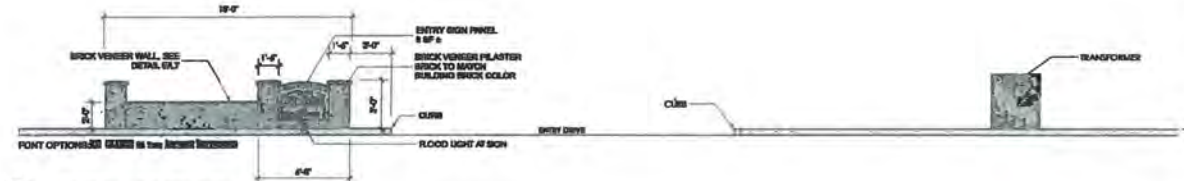
C
L7
40 IN. HIGH PICKET FENCE
1/2" = 1'-0"



F
L7
RANCH FENCE
1/2" = 1'-0"



B
L7
WOOD UTILITY SCREEN
1/2" = 1'-0"



A
L7
SECTION AT ENTRY SIGN
1/2" = 1'-0"

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Clayton, CA

Site:
THE OLIVIA ON MARSH CREEK
Clayton, CA
SITE 3
APD Marsh Creek Road
Clayton, CA 94517
Client:
William P. Jordan Trust

CONSTRUCTION DETAILS 1

Preliminary Design Submitted 02/18/17
Scale:
As Shown on Plan

Designed by
MDF
Engineered by
MDF/MSDP
Checked by
MDF

Drawn by
MDF
Date Drawn: APRIL 1, 2018
Sheet Drawn: OCCURRENCE 2, 2017
Project Number:
1707
Sheet Number:
L-7

WELD CALCULATIONS

WATER EFFICIENCY LANDSCAPE'S PERFORMANCE

PROJECT SUMMARY

PROJECT NAME: The Oliva at Marsh Creek - Site 2
 CITY OF: Clayton ETS Location: Coastal
 SECTION 02: MAXIMUM APPLIED WATER ALLOWANCE
 YEARLY ETS: 43.3
 CONVERSION FACTOR: 0.82
 ET ADJUSTMENT FACTOR: 0.50
 TOTAL IRRIGATED LANDSCAPE AREA (I/A) in Square Feet: 13,019
 SPECIAL LANDSCAPE AREA (S/LA) in Square Feet: 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 193,411
 TOTAL ACRES FEET: 0.59

VALUED BY VME PROJECT SUBMITTAL PACKAGE

INCLUDE THE FOLLOWING ITEMS:

- 1 Irrigation System (Water Efficiency)
- 2 Expanded Water Basin
- 3 Expanded Plant and Irrigation
- 4 Special Water Basin
- 5 Special Water Basin

Yearly ETS (gallons per acre) 43.3
 Conversion Factor 0.82
 ET Adjustment Factor 0.50
 Total Irrigated Landscape Area (I/A) in Square Feet 13,019
 Special Landscape Area (S/LA) in Square Feet 0
 Maximum Applied Water Allowance (gallons/year) 193,411
 Total Acres Feet 0.59

WELD MAXIMUM APPLIED WATER ALLOWANCE

PROJECT NAME: The Oliva at Marsh Creek - Site 2
 CITY OF: Clayton ETS Location: Coastal
 SECTION 01: MAXIMUM APPLIED WATER ALLOWANCE
 YEARLY ETS: 43.3
 CONVERSION FACTOR: 0.82
 ET ADJUSTMENT FACTOR: 0.50
 TOTAL IRRIGATED LANDSCAPE AREA (I/A) in Square Feet: 13,019
 SPECIAL LANDSCAPE AREA (S/LA) in Square Feet: 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 193,411
 TOTAL ACRES FEET: 0.59
 CALCULATIONS:

$$43.3 \times 0.82 \times 0.50 \times 13,019 = 0.46 \times 0 = 193,411$$
 Effective Precipitation (EAP) (inches)
 EAP = $ET_p \times (ET_p + 0.5) \times (1.0) + (0.5) \times (I/A)$
 YEARLY ETS: 43.3
 EFFECTIVE PRECIPITATION (EAP) in inches: 0
 NET EA: 43.3
 CONVERSION FACTOR: 0.82
 ET ADJUSTMENT FACTOR: 0.50
 TOTAL IRRIGATED LANDSCAPE AREA (I/A) in Square Feet: 13,019
 SPECIAL LANDSCAPE AREA (S/LA) in Square Feet: 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 193,411
 TOTAL ACRES FEET: 0.59
 CALCULATIONS:

$$43.3 \times 0.82 \times 0.50 \times 13,019 = 0.46 \times 0 = 193,411$$
 RESULTS: Irrigation restricted by water precipitation (gallons/year): 0

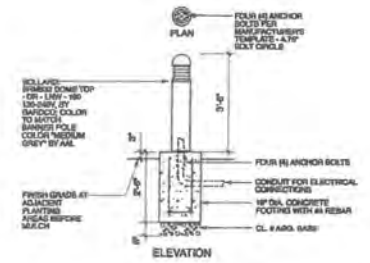
WELD ESTIMATED TOTAL WATER USE

PROJECT NAME: The Oliva at Marsh Creek - Site 3
 CITY OF: Clayton ETS City: Coastal
 SECTION 02: ESTIMATED TOTAL WATER USE (ETWU), gallons per year
 $ETWU = ETS \times (I/A + (S/P) \times (P/P) \times I/A) + S/LA$

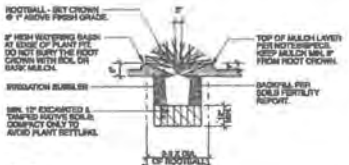
Checklist the following for each hydrozone (HZ):

YEARLY ETS (gallons per acre): 43.3
 CONVERSION FACTOR (by gallons per acre): 0.82
 A/P/FIT - PLANT FACTOR (plant water demand, based on each hydrozone): 0.54
 TOTAL IRRIGATED LANDSCAPE AREA (I/A) in Square Feet: 13,019
 SPECIAL LANDSCAPE AREA (S/LA) in Square Feet: 0
 A/P/FIT - RESEARCH EFFICIENCY FACTOR (gallons/year): 0.50
 TOTAL ESTIMATED TOTAL WATER USE (gallons/year): 193,417
 TOTAL ACRES FEET: 0.51

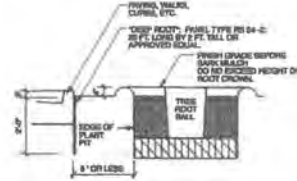
YEARLY IRRIGATED AREA (I/A)	ETWU	CONVERSION FACTOR	A/P/FIT	RESEARCH EFFICIENCY FACTOR	ETWU	ETWU	ETWU	ETWU	ETWU	ETWU
43.3	43.3	0.82	0.54	0.50	13,019	13,019	0	193,411	193,411	193,411



D LIGHT BOLLARD
1/2" x 1'-0"

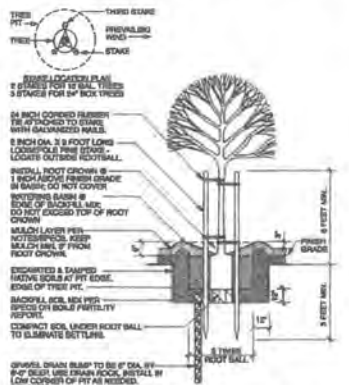


SHRUB PLANTING DETAIL



ROOT BARRIER DETAIL

- NOTE:
1. PLACE STAKES PLANT & AS SHOWN IN STAKE LOCATION PLAN.
 2. TREES SHALL NOT BE ROOTCROWNS CARFULLY HIGHER FOOTBALL BEFORE PLANTING.
 3. ELIMINATE WATER BASIN WHEN TREES ARE PLANTED IN LAWN.
 4. USE WOOD STAKES FOR 1/2 GALLON & 3/4 GALLON CONTAINERS.
 5. TREE PIT SHALL BE TO 3 TIMES DIAMETER OF ROOT BALL IN CLAY SOILS ON ANCHOR CONCRETE.
 6. TREE PIT CONSTRUCTION DETAILS SHALL BE PERFORMED BY CLAY SOILS ON ANCHOR CONCRETE. SEE PLANTING NOTE #8 SHEET L-3 FOR TEST PARAMETERS.
 7. SEE ADDITIONAL NOTES ON COVER SHEET.



TREE INSTALLATION DETAIL



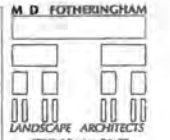
C TRASH RECEPTACLE
NTS



B BICYCLE RACK
NTS



A BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)



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Project:
THE OLIVA ON MARSH CREEK
 Clayton, CA
SITE 3
 4490 Marsh Creek Road
 Clayton, CA 94517

CONSTRUCTION DETAILS 2

Preliminary Design Submittal #2

Book:
 As Shown on Plans
 Designed by:
 MDP
 Drawn by:
 MDP/MDP
 Checked by:
 MDP

Sheet Date: JUNE 1, 2018
 Issue Date: OCTOBER 7, 2019
 Project Number:
 1707
 Sheet Number:
 L-8



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

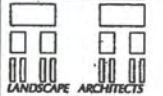


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

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Marina, CA 94028
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Fax (415) 654-2222
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Landscape



Consultant

Project
THE OLIVIA ON
MARSH CREEK

Clayton, CA

ALL SITES

Client

William P. Jordan Trust

Sheet Title

TREE
IMAGES

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by

MDF

Drawn by

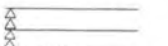
MDF/MDF

Checked by

MDF

Titleblock

Revisions



Sheet Number: A301 L, 2019

Issue Date: OCTOBER 7, 2019

Project Number

1207

Sheet Number

MEMORANDUM

Date: November 8, 2019
To: William Jordan
From: Steve Gunnells, Chief Economist
Subject: **Addendum Economic Analysis of Requested Concessions
Clayton Senior Housing Project**

SUMMARY

This addendum addresses the financial feasibility impacts of changes to the project description. The proposed changes would result in an increase of \$18,088, or 0.07 percent in the total development cost of the proposed project. The analysis finds that this negligible increase in cost has an equally negligible impact on the financial feasibility of the proposed project. This analysis also finds that the requested concessions are still warranted under the state density bonus law and the affordable housing regulations of the City of Clayton.

COMMENTS

1. Background

On June 29, 2019, PlaceWorks provided an Economic Analysis of Requested Concessions for the Clayton Senior Housing Project. During the project review with City staff subsequent to that report, the developer and the City refined the project description, as described below. This memo describes how the changes to the project affect the analysis and findings provided in our June 29 report.

2. Changes to the Proposed Project

There are two changes to the proposed project that are material to the economic analysis:

2A. Increased Parking

The original project description included 62 parking spaces, with garages. Under the revised project description, the number of parking spaces has increased to 86, and there are no garages. This change results in a reduction in hard construction cost of \$240,500.

2B. Increased Site Development Activity

Under the revised project description, the site development has an increased hardscape area, additional C-3 storm water, and increased landscaping. These changes result in an increase in hard construction cost of \$255,700.

3. Revised Pro Forma Analysis

The two changes to the proposed project result in a net increase in the hard construction cost of \$15,200 (\$255,700 - \$240,500). Table 1 provides the revised pro forma analysis for the proposed project. The hard construction cost in the revised pro forma is \$21,015,200 and is shown in row 23.

The change in the hard construction cost has a ripple effect in the soft cost, which are calculated as a percentage of hard cost. The resulting total development costs are slightly higher in the revised pro forma. For the proposed project, the original pro forma calculated the total development cost at \$27,256,500, compared to \$27,274,588 in the revised pro forma, an increase of \$18,088, or 0.07 percent.

The change in the total development cost also affects the financial analysis section of the pro forma, with resulting changes in the amount financed (row 30), equity required (row 31), annual debt service (row 32), net cash flow after debt service (row 33), principal reduction (row 34), and total annual return (row 35).

4. Requested Concession Still Necessary for Financial Feasibility

The June 29 report noted that the requested concessions were necessary to improve the financial feasibility of the proposed project, using both yield and return on equity metrics. The changes to the proposed project result in a negligible increase in the total development cost. The yield for the proposed project does not change, and the return on equity decreases from 5.63 percent to 5.62 percent. Table 1 provides the two financial feasibility metrics for the three development scenarios under the original project description and under the revised project description.

Table 1: Change in Financial Feasibility Metrics from Original Project to Revised Project

	A Proposed Project with Set-back/Parking Concession Only	B Proposed Project Reduced Parking Concession Only	C Proposed Project
Original Project			
Yield (NOI/Cost)	4.42%	4.92%	5.02%
Return on Equity (Return/Equity)	4.13%	5.36%	5.63%
Revised Project			
Yield (NOI/Cost)	4.42%	4.91%	5.02%
Return on Equity (Return/Equity)	4.12%	5.36%	5.62%

Source: PlaceWorks, 2019.

Thus, from an economic perspective, both requested concessions are still necessary to reduce costs to provide for affordable housing cost. The density bonus alone is still not sufficient, and either concession on its own is still insufficient.

Table 2: Density Bonus Financial Feasibility Analysis of Requested Concession

		A Proposed Project with Set-back/Parking Concession Only		B Proposed Project Reduced Parking Concession Only		C Proposed Project	
<i>Project Description</i>							
(1)	Total Number of Units	81		81		81	
	<i>Market Rate Units</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>
(2)	1-Bedroom	41	675	41	675	41	675
(3)	2-Bedroom	33	950	33	950	33	950
(4)	Subtotal: Market Rate Units	74		74		74	
	<i>Below Market Rate Units</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>	<i>Number</i>	<i>Average Size</i>
(5)	1-Bedroom	4	675	4	675	4	675
(6)	2-Bedroom	3	950	3	950	3	950
(7)	Subtotal: Below Market Rate Units	7		7		7	
	Floor Area						
(8)	Gross Residential Floor Area (sq. ft.)	64,575		64,575		64,575	
(9)	Gross Common/Service Area (sq. ft.)	21,118		21,118		21,118	
(10)	Total Building Floor Area (sq. ft.)	85,693		85,693		85,693	
	Site Area						
(11)	Total Site Area (sq. ft.)	131,120		131,120		131,120	
<i>Project Revenue</i>							
	Potential Gross Annual Income						
	<i>Market Rate Units</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>	<i>Annual Total</i>	<i>Average Monthly per Unit</i>
(12)	1-Bedroom	\$984,000	\$2,000	\$984,000	\$2,000	\$984,000	\$2,000
(13)	2-Bedroom	\$950,400	\$2,400	\$950,400	\$2,400	\$950,400	\$2,400
(14)	Subtotal: Market Rate Units	\$1,934,400		\$1,934,400		\$1,934,400	

Table 2 continued

		A Proposed Project with Set-back/Parking Concession Only		B Proposed Project Reduced Parking Concession Only		C Proposed Project	
	<u>Below Market Rate Units</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>
(15)	1-Bedroom	\$38,400	\$800	\$38,400	\$800	\$38,400	\$800
(16)	2-Bedroom	\$28,800	\$800	\$28,800	\$800	\$28,800	\$800
(17)	Subtotal: Below Market Rate Units	\$67,200		\$67,200		\$67,200	
(18)	Total Gross Annual Income	\$2,001,600		\$2,001,600		\$2,001,600	
	Expected Cash Flow						
(19)	Less Residential Vacancies	(\$60,048)		(\$60,048)		(\$60,048)	
(20)	Effective Gross Annual Income	\$1,941,552		\$1,941,552		\$1,941,552	
(21)	Less Operating Cost	(\$572,564)		(\$572,564)		(\$572,564)	
(22)	Net Operating Income	\$1,368,988		\$1,368,988		\$1,368,988	
Development Costs							
		<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>
(23)	Hard Cost (ex. other costs below)	\$21,015,200	\$245	\$21,015,200	\$245	\$21,015,200	\$245
	Other Costs						
(24)	- Podium/Subterranean Parking Cost	\$3,120,540		\$0		\$0	
(25)	- Grading/drainage/retaining walls	\$0		\$500,000		\$0	
(26)	Soft Cost	\$4,585,791	\$54	\$4,087,888	\$48	\$3,992,888	\$47
(27)	Land Acquisition	\$2,266,500	\$26	\$2,266,500	\$26	\$2,266,500	\$26
(28)	Total Development Cost	\$30,988,031	\$362	\$27,869,588	\$325	\$27,274,588	\$318
(29)	Total Development Cost per Unit	\$382,568		\$344,069		\$336,723	

Table 2 continued

		A	B	C
		Proposed Project with Set-back/Parking Concession Only	Proposed Project Reduced Parking Concession Only	Proposed Project
Feasibility Analysis				
(30)	Amount Financed	\$18,592,818	\$16,721,753	\$16,364,753
(31)	Equity Required	\$12,395,212	\$11,147,835	\$10,909,835
(32)	Annual Debt Service	(\$1,150,457)	(\$1,034,682)	(\$1,012,592)
(33)	Net Cash Flow After Debt Service	\$218,531	\$334,306	\$356,396
(34)	Principal reduction	\$292,063	\$262,672	\$257,064
(35)	Total Annual Return	\$510,594	\$596,978	\$613,460
(36)	Yield (NOI/Cost)	4.42%	4.91%	5.02%
(37)	Return on Equity (Return/Equity)	4.12%	5.36%	5.62%

Notes to Table 2:

1. The number of units and average unit size data (rows 1 to 7) are from the project architect.
2. The gross residential floor area (row 8) is the area for residential dwelling units, derived by multiplying the number of units by the average floor area for each type of unit and summing across the types of units. The gross common area and service area (row 9) is the gross floor area for the lobby, hallways, stairwells, mechanical equipment, etc. and is from the project architect. The total building floor area (row 10) is the sum of the residential floor area (row 8) and the common area and service area (row 9).
3. Average per-unit rents (rows 12, 13, 15, and 16) are based on an analysis and recommendations from real estate brokerage Colliers International. The data reflect the expected lease rates in the first full year of operation. Rents may change over time in response to inflation and other market conditions.
4. The total gross annual income (row 18) is the total rent that would be generated over the course of a year if all residential units were leased for the entire year.
5. Residential vacancies (row 19) represent a 3.0 percent typical vacancy rate, based on recommendations by Colliers International. This datum is the amount of rent that will likely not be realized for time periods when units are vacant during transition between tenants.
6. Effective gross annual income (row 20) is the income that the project is expected to generate. It is derived by subtracting the expected vacancy loss (row 19) from the total annual gross income (row 18).

7. Operating costs (row 21) are based on recommendations by Colliers International and represent approximately 25.5 percent of effective gross income (row 18). Operating costs may change over time in response to inflation and other market conditions.
8. Net operating income (row 22) is a key metric for assessing the financial performance of a for-rent development project. It is derived by subtracting the operating costs (row 21) from the effective gross annual income (row 20).
9. Hard construction cost (row 23) is the total cost for site work and construction, excluding the cost to place utilities underground. The cost estimate was produced by the project architect. Other costs-podium/subterranean parking cost (row 24) is the estimated cost to construct a podium housing product or construct subterranean parking to accommodate the total number of re-quired parking spaces. Other costs-grading/drainage/retaining walls (row 25) is the estimated cost to grade the site, install retaining walls, and install additional drainage to accommodate buildings and parking without encroaching into required setbacks. The cost estimate was provided by the project engineer.
10. Soft construction cost (row 26) includes the costs for architecture and engineering, permitting fees, and so forth. The soft cost is assumed at 19 percent of the hard cost (row 22) and other costs (rows 24 and 25).
11. Land acquisition (row 27) is the price the developer paid to acquire the three properties.
12. The total development cost (row 28) is the sum of the hard construction cost (row 23), other construction costs-underground utility cost (row 24), other costs-grading/drainage/retaining walls (row 25), soft construction cost (row 26), and the land acquisition cost (row 27). The total development cost per unit (row 29) is derived by dividing the total development cost (row 28) by the total number of residential dwelling units (row 1).
13. The amount financed (row 30) represents the portion of the total development cost, 60 percent, that would be covered by the project's permanent financing. The equity required (row 31) is the amount that the developer will have to pay for the proposed project. It is derived by subtracting the amount financed (row 30) from the total development cost (row 28).
14. Annual debt service (row 32) is based on 30-year permanent financing at an annual rate of 4.65 percent.
15. Net cash flow after debt service (row 33) is the annual cash return the project is expected to generate for the owner of the project. It is derived by subtracting the annual debt service (row 32) from the net operating income (row 22).
16. Principal reduction (row 34) is the amount of principal repaid in the first year of debt service, and it is based on the financing terms specified in Note 14. Because the permanent financing is an amortized loan, the amount of principal reduction would increase each year.
17. Total annual return (row 35) is another metric for assessing the financial performance of a for-rent development project. It is the sum of the net cash flow after debt service (row 33) and the principal reduction (row 34).
18. The yield (row 36) is a measure of the project's financial performance, representing the annual project revenue and the total development cost. It is derived by dividing the net operating income (row 22) by the total development cost (row 28).
19. The return on equity (row 37) is another measure of the project's financial performance, representing the amount that the developer puts into the project and the total amount of return in the first full year of operation. It is derived by dividing the total annual return (row 35) in the first year of operation by the equity required (row 31) from the developer.
20. Actual numbers in Table 2 may vary plus or minus depending on market conditions at time of construction and completion.

MEMORANDUM

Date: June 6, 2019
To: William Jordan
From: Steve Gunnells, Chief Economist
Subject: **Economic Analysis of Requested Concessions
Clayton Senior Housing Project**

This memo summarizes the economic analysis conducted for the requested concessions related to the state density bonus law, the Clayton Municipal Code (CMC), and the Housing Element of the Clayton General Plan.

SUMMARY

The proposed project would develop 81 for-rent apartments on three parcels. Seven of the units would be restricted to occupancy by households with qualifying very-low incomes, and all of the units would be restricted to occupancy by residents age 55 and older. The project site comprises three parcels, totaling 3.01 acres. The current general plan land use designation allows a maximum density of 20 units per acre, or 60 total units. Because the proposed project provides 11 percent of the units for very-low income households, it is eligible for a density bonus of 35 percent, or 21 units.

Under the state's density bonus law and the affordable housing regulations of the Clayton Municipal Code, the proposed project is allowed one or two concessions—changes to development standards and other regulatory relief that result in actual cost reductions to provide for affordable-housing costs.

The proposed project includes two requested concessions. The first concession, a reduction in required setbacks to accommodate buildings, parking lots and parking spaces, would reduce total development costs by \$500,000. The second concession, a reduction in the number of parking spaces required for multifamily housing to 62 spaces (0.76 spaces per unit), would reduce the total development cost by \$3,120,540. This memo provides a financial feasibility analysis of the proposed project, with and without the each of the requested concessions. The analysis shows that the proposed project with either of the concessions is not financially feasible. The two concessions are necessary for the project to be financially feasible. From an economic perspective, the requested concessions result in actual cost reductions and are necessary for the project to be developed.

Affordable-housing density-bonus development projects are allowed waivers or reductions in development standards that are necessary to physically accommodate the residential development. The proposed project includes eight such waivers. The memo describes the waivers, but they are not the subject of the financial feasibility analysis.

The analysis finds that the requested concessions are warranted under the state density bonus law and the affordable housing regulations of the City of Clayton. Furthermore, the state density bonus law

states that it is intended to be interpreted liberally in favor of producing the maximum number of housing units. And the Clayton Housing Element, policies I.2 and II.2, commit the City to granting regulatory incentives to projects that provide affordable units.

This memo presents the analysis in seven comment sections:

1. Proposed Project	2
2. Regulatory Context.....	3
3. Density	3
4. Density Bonus Concessions	4
5. Waivers and Reductions of Development Standards.....	5
6. Economic Analysis of Requested Concession.....	6
7. Findings.....	7

COMMENTS

1. Proposed Project

The proposed project encompasses three parcels, all of which are designated in the Clayton General Plan as Multifamily High Density (MHD) and zoned Planned Development (PD). The geographic size of the three parcels is 3.01 acres.

The proposed project will provide three multifamily housing buildings, with a total of 81 rental apartments, as described in Table 1. Seven of the units will be leased at below market rates (BMR) to very-low-income households. All of the units in the proposed project would be restricted to occupancy by residents age 55 and older.

There will be 62 parking spaces, which is 0.76 parking spaces per unit. Forty-five of the units would have one bedroom with an average size of 675 square feet. The other 36 units would have two bedrooms and two bathrooms, with an average size of 950 square feet.

Table 1: Dwelling Unit Descriptions

Unit Type	Number of Units	Average Size (sq. ft.)	Average Unit Rent (\$ per month)	Average Unit Rent (\$ per sq. ft.)
Market Rate Units				
1 Bed / 1 Bath	41	675	\$ 2,000	\$ 2.80
2 Bed / 2 Bath	33	950	\$ 2,400	\$ 2.39
Below Market Rate Units				
1 Bed / 1 Bath	4	675	\$ 800	\$ 1.19
2 Bed / 2 Bath	3	950	\$ 800	\$ 0.84
Project Total				
Total	81	65,675 (unit area) 85,693 (gross floor area)	\$ 166,800	
Unit Average		1,058	\$ 2,059	\$ 2.54

Source: Project Applicant; Colliers International.

2. Regulatory Context

The application of the affordable housing density bonus for this project is subject to four legislative requirements:

2A. State Density Bonus Law

The state's density bonus law for affordable housing (CA Government Code, Section 65915) sets forth the number of density bonus units that a project is eligible for based on the number and types of BMR units provided; establishes a density bonus project's entitlement to incentives or concessions, waivers or reductions of development standards, and reduced parking ratios; and requires cities and counties to adopt an ordinance implementing the state's housing density bonus law.

Although specific portions of the state's density bonus law are discussed in detail in subsequent sections of this report, two provisions are noted here. First, Section 65915(q) directs that unit calculations resulting in a fraction are to be rounded up to the next whole number. Second, Section 65915(r) states, "This chapter shall be interpreted liberally in favor of producing the maximum number of total housing units."

2B. Clayton Affordable Housing Density Bonus Requirements

Clayton's Affordable Housing Density Bonus Requirements (City of Clayton Municipal Code [CMC], Chapter 17.90) is the local ordinance that implements the state's density bonus law. The local ordinance replicates many of the standards in the state law; it also provides specifications for density bonus applications and recording an instrument to legally restrict rents and sales prices for affordable units.

2C. Clayton Housing Element

The housing element of the Clayton General Plan addresses topics required of housing elements by state law. In addition to documenting the need for additional affordable housing, the element also provides goals and policies on housing-related topics, including regulatory relief and incentives. The housing element identifies the need for affordable housing and for senior housing. In addition, provisions of the housing element relevant to waivers and concessions include:

Policy I.2, which states, in part, "...the City shall help facilitate the provision of affordable housing through the granting of regulatory concessions...."

POLICY II.2, which states, "The City shall encourage affordable housing by granting regulatory incentives to projects that provide affordable units."

Quantified Objectives, which sets the objective for construction of at least 26 housing units for very-low-income households.

2D. Clayton Town Center Specific Plan

Adopted in 1990, the specific plan provides land use regulations, development standards, and design guidelines that supersede similar provisions in the citywide zoning ordinance. The specific plan area applies to one of the three parcels in the subject property, 6170 High Street.

3. Density

3A. Allowable Density

Under the current PD zoning of the subject property, the maximum density is governed by the general plan land use designation. The MHD land use designation allows a maximum density of 20 residential

dwelling units per acre. The site encompasses 3.01 acres, so the resulting maximum density is 60 dwelling units.

3B. Density Bonus

The proposed project will restrict seven of the units (11.6 percent of the allowable density of 60 units) to occupancy by households with very-low income. CMC Section 17.90.040.B grants a density bonus of 35 percent to a residential development project that provides 11 percent of the units at affordable costs for very-low income housing. For the 60 units allowed under the existing zoning, the 35 percent density bonus would be 21 additional units, for a total of 81 residential dwelling units. The number of units and the number of BMR units are provided in Table 1.

4. Density Bonus Concessions

State law and the local ordinance refer to “incentives or concessions” as one and the same, but this report uses the single term “concession” for brevity’s sake.

4A. Concessions Defined

Concessions are changes in development regulations applied to a qualified density-bonus housing project, which changes result in identifiable and actual cost reductions to provide for affordable housing costs. Examples of potential concessions include:

- + A reduction in site development standards
- + A modification of zoning requirements
- + A modification of architectural design requirements that exceed minimum building standards
- + A reduction in required setbacks
- + A reduction in in square footage requirements
- + A reduction in the ratio of parking spaces
- + Approval of mixed-use zoning (if the non-residential uses reduce the cost of the housing)
- + Other regulatory incentives or concessions proposed by the developer or city

4B. Number of Concessions

The City’s affordable housing density bonus requirements allow two concessions for a density bonus project that provides 10 percent of the units for very-low-income households (CMC 17.90.100.B). The proposed project, with 11 percent of the units for very-low-income households, includes two requested concessions. The developer reserves the right to add, delete, and/or substitute requested concessions to facilitate entitlement and development of the proposed project.

4C. Setback/Parking Concession

The City’s zoning regulations prohibit buildings and parking lots/spaces in the required setback areas (CMC 17.37.090.A). In order to accommodate the proposed buildings and number of parking spaces outside of the required setbacks, extensive grading, installation of retaining walls, and additional drainage would be required. In consultation with the project’s architects/engineers, the developer has determined that this requirement would add \$500,000 to the cost to develop the proposed project.

The applicant is requesting, as a concession, that the City reduce the required setbacks (CMC 17.20.090, 17.20.100, 17.20.105, 17.20.110, and 17.20.120) to accommodate the proposed project, as shown on the site plan.

4D. Reduction in Required Number of Parking Spaces Concession

Under CMC Schedule 17.37.030A, the proposed number of dwelling units would require 180 parking spaces. The developer has determined that reducing the number of parking spaces to 62 would reduce the project cost by \$3,120,540 by eliminating the need for podium construction or subterranean parking. The applicant is requesting, as a concession, that the City reduce the required parking to accommodate the proposed development.

5. Waivers and Reductions of Development Standards

State density bonus law recognizes waivers and reductions of development standards (CA Gov't Code, Section 65915[e]) as distinct from concessions (CA Gov't Code, Section 65915[d]). State law does not limit the number of waivers or reductions in development standards, and the number of requested waivers and modifications of development standards does not affect the number of concessions to which a project is entitled (CA Gov't Code, Section 65915[e][2]).

5A. Waivers and Reductions of Development Standards Defined

State density bonus law prohibits a jurisdiction from applying "any development standard that will have the effect of physically precluding the construction" of a qualified density-bonus development project with density bonus units and requested concessions. Applicants propose the waivers and reductions of development standards needed to accommodate their proposed projects.

A specific regulatory relief may be requested as a concession or as a waiver. A concession is granted for regulatory relief needed to reduce the development costs in order to provide BMR units. A waiver is granted for regulatory relief needed to physically accommodate a density-bonus residential development project on a site.

5B. Requested Waivers and Reductions of Development Standards

The applicant is requesting eight waivers:

5B(i) Parking Lot Landscaping.

A waiver of the development standards for parking lot landscaping required by CMC 17.37.090.H1, H2, H3, and H5. With the density bonus units and the parking needed for the project to be marketable, the subject properties cannot physically accommodate this development standard. A similar waiver is also requested for the Clayton Town Center Specific Plan design guideline for internal parking lot planting.

5B(ii) Parking Lot Lighting Height.

A reduction in the development standard limiting parking lot lighting to ten feet in height, as set forth in CMC 17.37.90.G. To accommodate the proposed parking and provide sufficient lighting a higher lighting pole is necessary.

5B(iii) Building Separation.

A reduction in the development standard requiring buildings to be at least 20 feet apart, as set forth in CMC 17.20.160. To accommodate the proposed parking a reduced building separation is necessary.

5B(iv) Building Height

A reduction in the development standard that limits the height of multifamily buildings and within 50 feet of abutting single family residential district to 35 feet, as set forth in CMC 17.40.080.

5B(v) Site Plan Review Standard for Size and Bulk.

A waiver of the site plan review standards that new development should protect privacy, views, and be complementary with the adjacent existing structures in terms of size and bulk, which are reductions of the full standard set forth in CMC 17.44.040.E, F, and G. As mentioned in Comment 5A, because the proposed project is an affordable-housing density-bonus project, development standards that physically preclude the proposed project are not applicable. This requested waiver extends this regulatory relief to the corresponding site plan review standard also.

5B(vi) Preservation of Natural Features.

A waiver of the Town Center Specific Plan's site design guidelines that "All mature trees should be retained where feasible," and to "minimize grading and alteration of natural landforms." The specific plan applies only to the property at 6170 High Street, and this waiver request applies only to that property. All three properties are subject to CMC 15.70.030.A.3, which permits tree removal to allow construction of an improvement that is related to a development application, if the improvement cannot be reasonably relocated or modified to retain the subject tree. The proposed project cannot be physically accommodated on the site and preserve the trees.

5B(vii) Covered Parking

A waiver of the development standard that required parking spaces for multifamily dwellings be covered, as required by CMC Schedule 17.37.030A.

5B(viii) Guest Parking

A waiver of the development standard that multifamily dwellings provide 0.5 guest parking spaces per unit, as required by CMC Schedule 17.37.030A.

5C. Review of Requested Waivers and Reductions in Development Standards

Waivers and reductions in development standards are based on physically accommodating the proposed development with the density bonus units and the requested concessions. There is no requirement or standard that the waivers have an economic or financial rationale. Therefore, this report does not provide analysis of the cost or other economic implications of the requested waivers. The developer reserves the right to add, delete, and/or substitute requested waivers and reductions in development standards to facilitate entitlement and development of the proposed project.

6. Economic Analysis of Requested Concessions

As required under state law and the local ordinance, a requested concession should result in identifiable and actual cost reductions to provide for affordable housing costs. To evaluate this requirement, this report provides a pro forma analysis quantifying the expected return on investment for the proposed project with and without the requested concessions.

6A. Pro Forma Analysis

Table 2, at the end of the report, provides the analysis for three scenarios—column A represents the proposed project with only the requested concession for setback/parking, column B represents the

proposed project with only requested concession for number of parking spaces, and column C represents the proposed project with both requested concessions.

In the pro forma, the project description is the same for the three scenarios. The requested concession would not change the site plan, building plan, or occupancy of the residential units. The gross annual revenue and the net operating income are also the same for the three scenarios.

The hard construction costs are the same for the three scenarios. Scenario A includes other cost of \$3,120,540 for podium construction or construction of subterranean parking to accommodate the required number of parking space. Scenario B includes other cost of \$500,000 for grading, retaining walls, and additional drainage to accommodate parking without encroaching into setbacks. The soft construction costs, which are a percentage of the hard construction costs and other costs, also differ. The net result is that the total development cost decreases from \$347,500 per unit under scenario A and \$348,000 per unit under scenario B, to \$336,500 per unit when both requested concessions are factored in.

With both concessions, the total annual return increases from \$511,100 (scenario A) and \$597,500 (scenario B) to \$614,000, and the equity that the developer must invest in the proposed project decreases from \$12,388,000 (scenario A) and \$11,141,000 (scenario B) to \$10,903,000. The resulting return increases to 5.02 percent (measured as the yield) or 5.63 percent (measured as return on equity).

6B. Requested Concession Necessary for Feasibility

In order to attract investment, developers usually need to demonstrate a yield of 5.5 percent or a return on equity of 6.0 percent. Projects with a yield between 5.0 and 5.5 percent (or a return on equity of 5.5 to 6.0 percent) may still be feasible, but the developer may face challenges in attracting equity investment. Projects with a yield below 5.0 percent and a return on equity below 5.5 percent are unlikely to attract equity investment and are considered infeasible.

As the pro forma analysis in Table 2 demonstrates, the requested concessions improve the yield from an infeasible 4.42 percent (scenario A) and 4.92 percent (scenario B) to a marginally feasible 5.02 percent and increases the return on equity from an infeasible 4.13 percent (scenario A) and 5.36 percent (scenario B) to a feasible 5.63 percent. Thus, from an economic perspective, both requested concessions are necessary to reduce costs to provide for affordable housing cost. The density bonus alone is not sufficient, and either concession on its own is insufficient.

7. Findings

The analysis finds that both requested concessions are necessary and warranted under the state density bonus law and the affordable housing regulations of the City of Clayton.

Table 2: Density Bonus Financial Feasibility Analysis of Requested Concession

		A Proposed Project with Set-back/Parking Concession Only		B Proposed Project Reduced Parking Concession Only		C Proposed Project	
<i>Project Description</i>							
(1)	Total Number of Units	81		81		81	
	<u>Market Rate Units</u>	<u>Number</u>	<u>Average Size</u>	<u>Number</u>	<u>Average Size</u>	<u>Number</u>	<u>Average Size</u>
(2)	1-Bedroom	41	675	41	675	41	675
(3)	2-Bedroom	33	950	33	950	33	950
(4)	Subtotal: Market Rate Units	74		74		74	
	<u>Below Market Rate Units</u>	<u>Number</u>	<u>Average Size</u>	<u>Number</u>	<u>Average Size</u>	<u>Number</u>	<u>Average Size</u>
(5)	1-Bedroom	4	675	4	675	4	675
(6)	2-Bedroom	3	950	3	950	3	950
(7)	Subtotal: Below Market Rate Units	7		7		7	
	Floor Area						
(8)	Gross Residential Floor Area (sq. ft.)	64,575		64,575		64,575	
(9)	Gross Common/Service Area (sq. ft.)	21,118		21,118		21,118	
(10)	Total Building Floor Area (sq. ft.)	85,693		85,693		85,693	
	Site Area						
(11)	Total Site Area (sq. ft.)	131,120		131,120		131,120	
<i>Project Revenue</i>							
	Potential Gross Annual Income						
	<u>Market Rate Units</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>
(12)	1-Bedroom	\$984,000	\$2,000	\$984,000	\$2,000	\$984,000	\$2,000
(13)	2-Bedroom	\$950,400	\$2,400	\$950,400	\$2,400	\$950,400	\$2,400
(14)	Subtotal: Market Rate Units	\$1,934,400		\$1,934,400		\$1,934,400	

Table 2 continued

		A Proposed Project with Set- back/Parking Concession Only		B Proposed Project Reduced Park- ing Concession Only		C Proposed Project	
	<u>Below Market Rate Units</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>	<u>Annual Total</u>	<u>Average Monthly per Unit</u>
(15)	1-Bedroom	\$38,400	\$800	\$38,400	\$800	\$38,400	\$800
(16)	2-Bedroom	\$28,800	\$800	\$28,800	\$800	\$28,800	\$800
(17)	Subtotal: Below Market Rate Units	\$67,200		\$67,200		\$67,200	
(18)	Total Gross Annual Income	\$2,001,600		\$2,001,600		\$2,001,600	
Expected Cash Flow							
(19)	Less Residential Vacancies	(\$60,048)		(\$60,048)		(\$60,048)	
(20)	Effective Gross Annual Income	\$1,941,552		\$1,941,552		\$1,941,552	
(21)	Less Operating Cost	(\$572,564)		(\$572,564)		(\$572,544)	
(22)	Net Operating Income	\$1,368,988		\$1,368,988		\$1,369,008	
Development Costs							
		<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>	<u>Total</u>	<u>Cost per Building Sq. Ft.</u>
(23)	Hard Cost (ex. other costs below)	\$21,000,000	\$245	\$21,000,000	\$245	\$21,000,000	\$245
Other Costs							
(24)	- Podium/Subterranean Parking Cost	\$3,120,540		\$0		\$0	
(25)	- Grading/drainage/retaining walls	\$0		\$500,000		\$0	
(26)	Soft Cost	\$4,582,903	\$53	\$4,085,000	\$48	\$3,990,000	\$47
(27)	Land Acquisition	\$2,266,500	\$26	\$2,266,500	\$26	\$2,266,500	\$26
(28)	Total Development Cost	\$30,969,943	\$361	\$27,851,500	\$325	\$27,256,500	\$318
(29)	Total Development Cost per Unit	\$382,345		\$343,846		\$336,500	

Table 2 continued

		A	B	C
		Proposed Project with Set-back/Parking Concession Only	Proposed Project Reduced Parking Concession Only	Proposed Project
<i>Feasibility Analysis</i>				
(30)	Amount Financed	\$18,581,966	\$16,710,900	\$16,353,900
(31)	Equity Required	\$12,387,977	\$11,140,600	\$10,902,600
(32)	Annual Debt Service	(\$1,149,785)	(\$1,034,011)	(\$1,011,921)
(33)	Net Cash Flow After Debt Service	\$219,203	\$334,978	\$357,087
(34)	Principal reduction	\$291,893	\$262,501	\$256,894
(35)	Total Annual Return	\$511,095	\$597,479	\$613,981
(36)	Yield (NOI/Cost)	4.42%	4.92%	5.02%
(37)	Return on Equity (Return/Equity)	4.13%	5.36%	5.63%

Notes to Table 2:

1. The number of units and average unit size data (rows 1 to 7) are from the project architect.
2. The gross residential floor area (row 8) is the area for residential dwelling units, derived by multiplying the number of units by the average floor area for each type of unit and summing across the types of units. The gross common area and service area (row 9) is the gross floor area for the lobby, hallways, stairwells, mechanical equipment, etc. and is from the project architect. The total building floor area (row 10) is the sum of the residential floor area (row 8) and the common area and service area (row 9).
3. Average per-unit rents (rows 12, 13, 15, and 16) are based on an analysis and recommendations from real estate brokerage Colliers International. The data reflect the expected lease rates in the first full year of operation. Rents may change over time in response to inflation and other market conditions.
4. The total gross annual income (row 18) is the total rent that would be generated over the course of a year if all residential units were leased for the entire year.
5. Residential vacancies (row 19) represent a 3.0 percent typical vacancy rate, based on recommendations by Colliers International. This datum is the amount of rent that will likely not be realized for time periods when units are vacant during transition between tenants.
6. Effective gross annual income (row 20) is the income that the project is expected to generate. It is derived by subtracting the expected vacancy loss (row 19) from the total annual gross income (row 18).

7. Operating costs (row 21) are based on recommendations by Colliers International and represent approximately 25.5 percent of effective gross income (row 18). Operating costs may change over time in response to inflation and other market conditions.
8. Net operating income (row 22) is a key metric for assessing the financial performance of a for-rent development project. It is derived by subtracting the operating costs (row 21) from the effective gross annual income (row 20).
9. Hard construction cost (row 23) is the total cost for site work and construction, excluding the cost to place utilities underground. The cost estimate was produced by the project architect. Other costs-podium/subterranean parking cost (row 24) is the estimated cost to construct a podium housing product or construct subterranean parking to accommodate the total number of required parking spaces. Other costs-grading/drainage/retaining walls (row 25) is the estimated cost to grade the site, install retaining walls, and install additional drainage to accommodate buildings and parking without encroaching into required setbacks. The cost estimate was provided by the project engineer.
10. Soft construction cost (row 26) includes the costs for architecture and engineering, permitting fees, and so forth. The soft cost is assumed at 19 percent of the hard cost (row 22) and other costs (rows 24 and 25).
11. Land acquisition (row 27) is the price the developer paid to acquire the three properties.
12. The total development cost (row 28) is the sum of the hard construction cost (row 23), other construction costs-underground utility cost (row 24), other costs-grading/drainage/retaining walls (row 25), soft construction cost (row 26), and the land acquisition cost (row 27). The total development cost per unit (row 29) is derived by dividing the total development cost (row 28) by the total number of residential dwelling units (row 1).
13. The amount financed (row 30) represents the portion of the total development cost, 60 percent, that would be covered by the project's permanent financing. The equity required (row 31) is the amount that the developer will have to pay for the proposed project. It is derived by subtracting the amount financed (row 30) from the total development cost (row 28).
14. Annual debt service (row 32) is based on 30-year permanent financing at an annual rate of 4.65 percent.
15. Net cash flow after debt service (row 33) is the annual cash return the project is expected to generate for the owner of the project. It is derived by subtracting the annual debt service (row 32) from the net operating income (row 22).
16. Principal reduction (row 34) is the amount of principal repaid in the first year of debt service, and it is based on the financing terms specified in Note 14. Because the permanent financing is an amortized loan, the amount of principal reduction would increase each year.
17. Total annual return (row 35) is another metric for assessing the financial performance of a for-rent development project. It is the sum of the net cash flow after debt service (row 33) and the principal reduction (row 34).
18. The yield (row 36) is a measure of the project's financial performance, representing the annual project revenue and the total development cost. It is derived by dividing the net operating income (row 22) by the total development cost (row 28).
19. The return on equity (row 37) is another measure of the project's financial performance, representing the amount that the developer puts into the project and the total amount of return in the first full year of operation. It is derived by dividing the total annual return (row 35) in the first year of operation by the equity required (row 31) from the developer.
20. Actual numbers in Table 2 may vary plus or minus depending on market conditions at time of construction and completion.



We Make a Difference

July 23, 2019

To: David Woltering
Director of Community Development
City of Clayton

From: Dino Serafini
Michael Baker International

RE: PEER REVIEW OF ECONOMIC ANALYSIS OF MARSH CREEK SENIOR HOUSING PROJECT

The following is our analysis of the Economic Analysis of Requested Concessions prepared by PlaceWorks (EA) dated June 6, 2019, for the Olivia on Marsh Creek senior housing/affordable housing project in the City of Clayton.

In accordance with our scope for this review:

1. We have assessed the market-rate and affordable rents and the estimated operating costs of the project to verify whether the net income assumptions in EA are reasonable and comparable to the local rents and industry standards
2. Reviewed the cost of parking/setback and parking reduction concessions.
3. We have conducted an independent pro-forma analysis resulting in return on investment and internal rate of return for the three scenarios:
 - a. The proposed project with both requested concessions
 - b. The project with only the parking/setback concession (parking allowed within the required zoning setback) but not the parking reduction to 62 spaces.
 - c. The project with only the parking reduction to 62 spaces (no parking/setback concession so that parking will not occupy the required setback).
4. We considered the waivers and modifications to development standards requested by the developer in addition to the concessions and have qualitatively evaluated those which might impact the project's financial performance.

Project Rental Rates

The monthly market-rate rents assumed for the project: \$2,000 for 1-bedroom units and \$2,400 for 2-bedroom units are reasonable for area. These rental rates are comparable to those in Concord (we did not find many apartments advertised for rent in Clayton). Very few apartment advertisements exceeded the rates assumed for the project.

Affordable Rents

Per CMC 17.90.020 the maximum housing costs for very low-income households is 30 percent of 50 percent of the area median income (AMI) for the given household size. For a 2-person household the Contra Costa County AMI is \$83,500 and is \$73,100 for single-person household.

The affordable housing cost is \$1,044 ($30\% \times 50\% \times 83,500/12$) for a 2-person household and \$914 ($30\% \times 50\% \times 73,100/12$) for a single-person. The EA gives \$800 per month for affordable unit rents for both the 1-bedroom and 2-bedroom units, which is about 23 and 26 percent of the 2-person and 1-person monthly income limits, respectively. However, the housing cost should include a utility allowance, which the PlaceWorks EA does not indicate. Adding a 15 percent utility allowance would increase the housing cost to \$920, about the equivalent of what the maximum cost is for a single-person household. The 2-bedroom units could be priced up to about \$900 (a total housing cost of \$1,035, including 15 percent utilities) and still comply with affordable cost limits.

Operating Costs and Net Operating Income

At about \$573,000, the assumed annual cost of operating the project might be low. No separate line item allowance is given for property tax, insurance, management, capital reserve, or maintenance. It is assumed that these costs are all included in the \$573,000 annual operating cost, which is about 28.7 percent of gross rent. Subtracting property tax of 1 percent of the project cost (including land), the remainder provides \$3,400 per year per unit for the other costs. For comparison, the National Apartment Association in its 2018 survey, reports operating costs of 35 percent (including taxes) of gross potential income for properties less than five years old. With \$2 million gross annual rent, the project's operating costs would be \$700,000 at 35 percent. Therefore, the net operating income (NOI) of about \$1.37 million for each of the scenarios might be overstated. A lower NOI would negatively impact the project's return on investment.

Construction and Other Costs

The "hard" construction costs for the three scenarios (that is, the structural and site costs common to all three scenarios) are the same \$21,000,000 for the 81-unit project. The cost per gross building area of \$245 per square foot is reasonable since this cost must include site development, utilities, landscaping, common area construction and surface parking. The cost differential between the scenarios is the cost of the structured parking (\$3,120,000) required without the parking reduction concession, and the grading and retaining walls (\$500,000) necessary without the setback/parking concession. Soft costs vary between the scenarios due to the additional design and engineering required for these elements. Land acquisition is \$2.67 million—the same for all three scenarios.

Financing and Return on Investment

All scenarios assume the same basic financing arrangement: permanent, fully-amortized 30-year financing of 60 percent of the total project development cost at 4.65 percent interest. Construction and lease-up will occur in one year. The first year of payment on principal is assumed as part of the first year's annual return.

We reviewed the calculations of return on investment and agree with the results of the three scenarios. The 5 percent return on investment feasibility threshold seems low for a land

development project, but this return is achieved after debt service. One thing to note is that the model does not include contingencies or a developer's fee, so we are assuming the 5 percent return must include those factors. The EA could have modeled other financing arrangements that are common to land development, such as an interest-only construction loan with interest due only on the construction draw (which tends to reduce financing costs). The thinking may be that, with the relatively short construction and lease-up period of one year, the analysis with the permanent loan would yield the same results.

Alternative Internal Rate of Return Model

To provide an alternative financial scenario this peer review presents a pro-forma that assumes the project will be sold to an investor/management entity. This may or may not be the case for this project, but it provides a useful comparison and validation of the financial performance presented in EA by using an alternative approach.

Financial Analysis of the Proposed Project

Our alternative analysis also assumes construction and "full-occupancy" in one year (the alternative model assumes the same 3 percent long-term vacancy rate as in the EA). We applied a 1 percent annual increase in rents. Other than applying a 2 percent increase in operating costs, we did not change the operating cost assumptions. The first-year NOI of \$1.38 million in our alternative model for the proposed project (with both concessions) is slightly higher than the PlaceWorks EA NOI of \$1.37 million. For our model, we assume interest-only construction financing at the same 4.65 percent. The alternative financial model shows a slightly lower return on equity of 5.47 percent versus 5.63 percent of the PlaceWorks EA, the difference is not significant and is due to the lower NOI in the first year.

Another common and useful financial metric for land development is the internal rate of return (IRR). The IRR provides the aggregate rate of return of the stream of net income over a period. At the end of the period the project is sold and the net proceeds (less the loan principal) is included in the stream of income. An IRR of 10-13 percent is the target for apartment projects. The proposed project's IRR is 4.4 percent based on a sales price of approximately \$28.5 million and net proceeds of \$11.6 million after repayment of the loan principal and brokerage fees. The sales price is based on a capitalization rate of 5 percent¹. The IRR assumes sale of the project at the end of the third year after completion of construction, allowing the NOI to increase due to rental rate increases. Note that the IRR approach is highly sensitive to the sales price, which in turn is subject to the local market for apartment projects. The utility of the IRR approach is that it allows comparison to alternative investments. In this case, the proposed project is somewhat better than a "zero-risk" 10 year U.S. treasury note, currently yielding 2 percent.

¹ The project's sale price is estimated as the NOI divided by the capitalization rate. The market capitalization rate for Contra Costa County is 5.79 percent for apartment projects. The low 5 percent cap rate assumed for the project is due to the new construction.

Financial Analyses: Other Scenarios

The alternative model is applied to the project without the requested concessions. As expected, all things being equal, the added development costs result in higher financing costs and lower returns (as presented in the EA the NOI is not much affected by the lack of concessions).

The EA calculates return on equity of 4.13 percent and 5.36 percent for the project with only the setback/parking concession and with only the reduced parking concession, respectively.

The IRR analysis for the scenarios is presented in the table below; these calculations also assume the sale will occur after a three-year holding period after the construction is completed:

Project Scenario Pro-Forma Summary

	Setback/Parking Concession Only	Reduced Parking Concession Only
Sales Price	\$28,546,945	\$28,546,945
Principal Balance	(\$18,526,618)	(\$16,691,256)
Closing costs & commissions	(\$570,930)	(\$570,930)
Net proceeds (less commission and closing costs)	\$9,449,397	\$11,284,759
Equity Contribution	(\$12,936,211)	(\$11,654,669)
Net return on operations to close of escrow (NOI minus interest on construction loan)	\$975,625	\$1,209,340
First year Return on Equity (show for model comparison)	3.92%	5.40%
Internal Rate of Return	(7.3%)	2.5%

As expected, the lack of concessions results in much less favorable financial performance. The IRR is negative in the setback/parking only scenario, illustrating the effect of the situation where the net proceeds of the sale plus the annual returns from operations do not cover the equity contribution. For this scenario the holding period would need to be several years longer

for an acceptable IRR. For the reduced parking only scenario, the IRR indicates the project is only marginally better than investing in 10-year treasury-notes.

Some caveats with both the PlaceWorks EA and the alternative models:

1. These analyses assume that the concessions do not impact the NOI to any great degree. The implication here is that increased supply of off-street parking does not carry a rental rate premium. It might be the case that the project with the structured parking might command higher rents.
2. No provision is made for low income housing tax credits. If LIHTC could be applied to the affordable units, the project financing burden could be reduced. The credits would apply to all scenarios regardless of the concessions, however they could help to improve each scenario's financial performance.
3. The general economic conditions affecting the project may be in flux. There is some uncertainty about whether interest rates will remain at their current low levels going forward. Construction costs have been high relative to net income particularly for housing. Raising rents to maintain even the relatively low financial performance of the project might be difficult for this target market.

Project Waivers and Reductions in Development Standards

The project developer is requesting eight waivers in addition to the two concessions described above. The justification for the waivers is the physical necessity to reduce or eliminate the applicable standards in order to construct the project. The EA states that there is no requirement for financial analysis of the waivers. However, among these waivers are the following that could have financial implications for the project:

- **Parking Lot Landscaping**—it not clear in the EA whether the waiver request is for internal parking lot landscaping to be eliminated altogether. In any event, the savings in the cost of installing the landscaping and in the maintenance may have a significant effect on financial performance.
- **Preservation of Natural Features**—The cost to preserve trees on-site could be substantial; the City may want to know what the savings are.
- **Covered Parking**—It is not clear why the elimination of covered parking is needed. It is assumed that the development cost in the EA was based on uncovered spaces. However, from the site plan it appears that many, or most, of the spaces are in garages or under carports. How many of the remaining spaces would not be covered and what is the cost savings?
- **Guest Parking**—Eliminating the guest parking of one-half space per unit is a significant reduction. From our review of the project's site plan, it is not clear why the waiver is needed there appears to be space available for a number of guest parking spaces.

Conclusions

We found the EA and its assumptions to generally reasonable and supportable with no errors or inconsistencies. The items we question that may have a bearing on the project's financial feasibility are:

1. Based on the AMI income limits of a 2-person, the affordable rents for the 2-bedroom units could be increased from \$800 to \$900 per month. However, the increased annual revenue of \$3,600 for the three 2-bedroom affordable units would be negligible in terms of return on equity or the IRR of any of the scenarios.
2. The annual operating costs appear to be low, increasing these costs would negatively affect the financial performance

MEMORANDUM

To: William Jordan

From: Ben Huie, P.E.
California Professional Engineer #C76682
Kimley-Horn and Associates, Inc.

Date: June 10, 2019

Subject: The Olivia on Marsh Creek Parking Study – Final Memorandum

A senior active adult housing project, restricted to residents 55 years or older, is proposed to be constructed on three different sites at 6170 High Street, 6450 Marsh Creek Road, and 6490 Marsh Creek Road in Clayton, CA. The senior housing units are located at the southwest corner of the intersection of High Street and Marsh Creek Road. Figure 1 illustrates the location of the three senior adult housing sites in relation to adjacent uses in Clayton, CA. Since the project will be taking advantage of the lower parking requirements as afforded by the State Density Bonus law, a parking study is being requested for this proposed project to confirm if adequate parking is provided for the proposed project. This memorandum describes a quantitative analysis and presents the finding that The Olivia on Marsh Creek provides sufficient parking spaces to meet estimated demand.

Figure 1 – Study Area



Source: Google Maps

ATTACHMENT K

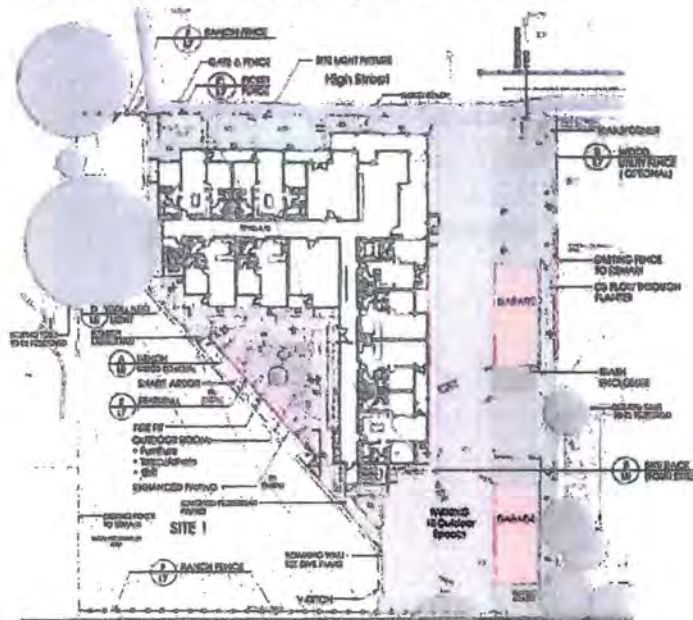
The senior adult housing project is proposing to construct a total of 81 units with the following number of units for each site:

- 6170 High Street (Site 1)
 - 9 units of 2-bedroom and 2-bathroom
 - 21 units of 1-bedroom and 1-bathroom
- 6450 Marsh Creek Road (Site 2)
 - 13 units of 2-bedroom and 2-bathroom
 - 13 units of 1-bedroom and 1-bathroom
- 6490 Marsh Creek Road (Site 3)
 - 14 units of 2-bedroom and 2-bathroom
 - 11 units of 1-bedroom and 1-bathroom

It should be noted that the allowable density for the project is 60 units. However, the project is applying for a density bonus of 35 percent since seven (7) of the 60 units, or 11 percent, is designated for very low-income housing. Therefore, the project's new allowable density would result in 81 units.

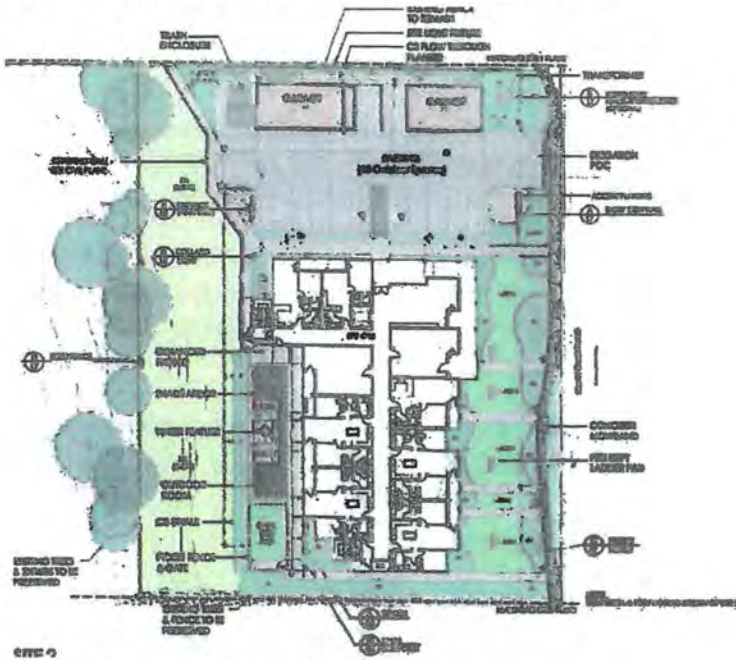
Site 1 will occupy 11,604 building square feet, Site 2 will occupy 10,880 building square feet, and Site 3 will occupy 10,833 building square feet. Figures 2 through 4 show the site plan for each of the proposed buildings.

Figure 2 – Proposed 6170 High Street Site Plan



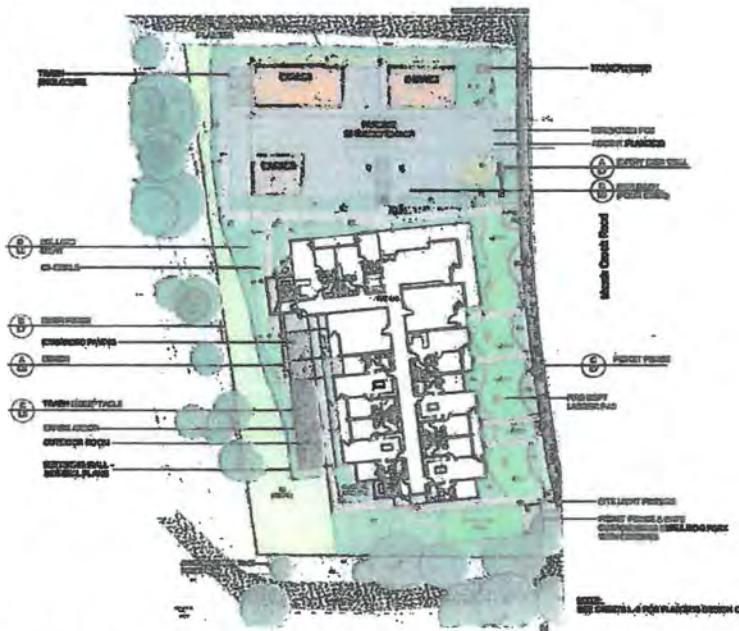
Source: MD Fotheringham Landscape Architects

Figure 3 – Proposed 6450 Marsh Creek Road Site Plan



Source: MD Fotheringham Landscape Architects

Figure 4 – Proposed 6490 Marsh Creek Road Site Plan



Source: MD Fotheringham Landscape Architects

Methodology

PARKING SUPPLY

Proposed Supply

The senior adult housing project is proposing to provide 0.76 parking spaces per unit for a total of 62 parking spaces for all three sites. Parking spaces for each site will consist of outdoor surface lot parking spaces and garage parking spaces.

CLAYTON PARKING REQUIREMENTS

The City of Clayton's Parking Requirements are based on the multi-family dwelling land use classification in the City of Clayton's Municipal Code.¹ The following are the parking requirements for multi-family dwelling units:

- For one bedroom, 1.5 vehicle spaces are required, one (1) of which should be covered
- For two or more bedrooms, two (2) vehicle spaces are required, one (1) of which should be covered
- For guest parking, 0.5 spaces are required

The required parking for the proposed senior adult housing project is estimated and shown in Table 1. Site 1, Site 2, and Site 3 are required to provide 64.5, 58.5 and 57 parking spaces. Therefore, the project is required to provide a total of 180 parking spaces, and 105 of which should be covered. Since the project is proposing to provide 21, 20, and 21 parking spaces for Site 1, Site 2, and Site 3, respectively, for a total of 62 parking spaces, the proposing parking spaces does not meet the City's parking requirement. However, since the project will be providing very low-income housing, it would be eligible for a parking reduction per the state density bonus law.

¹ City of Clayton Municipal Code, *Off-Street Parking Space Requirements Schedule 17.37.030A, August 2017*

Table 1 – City of Clayton Municipal Code – Parking Requirements

Site	# of Bedrooms	One Bedroom		# of Bedrooms	Two Bedrooms		Total Required Spaces	Proposed Parking Supply	Meets City Parking Requirement?
		Required # of Parking Spaces per Unit (Including Guest Spaces)	Subtotal Requirement (Spaces)		Required # of Parking Spaces per Unit (Including Guest Spaces)	Subtotal Requirement (Spaces)			
Site 1	21	2	42 total	9	2.5	22.5 total	64.5 total	21	No
Site 2	13	2	26 total	13	2.5	32.5 total	58.5 total	20	No
Site 3	11	2	22 total	14	2.5	35 total	57 total	21	No
Total	45	-	90	36	-	90	180	62	-

DENSITY BONUS PARKING REQUIREMENTS

As a senior adult housing development that limits residency based on age requirements, and given that the project meets Civil Code Sections 51.3 and 51.12, the project may be qualified for a restriction to the minimum parking requirement pursuant to the state density bonus law, Government Code Section 65915(p)(1). Additional reductions may be applicable if the criteria for Section 65915(p)(2) or Section 65915(p)(3)(A, B, or C) is met. However, the project does not meet the criterion for the additional reductions based on the following description:

- Section 65915(p)(2) – The project is not located within a ½ mile of a major transit stop as described in Section 21155 and Section 2064.3 of the Public Resources Code
- Section 65915(p)(3)(A) – The project is not located within a ½ mile of a major transit stop as described in Section 21155 and Section 2064.3 of the Public Resources Code
- Section 65915(p)(3)(B) – The project is restricted to residents of 55 years or older, rather than 62 years or older
- Section 65915(p)(3)(C) – The project is not intended as a special needs housing development.

Therefore, the project will only meet Section 65915(p)(1) which states the following parking requirement for the proposed project:

- Zero to one bedroom: one on-site parking space
- Two to three bedrooms: two on-site parking spaces
- Four or more bedrooms: 2.5 on-site parking spaces

Table 2 provides the parking requirements based on the above density bonus criterion.

Table 2 – Density Bonus Parking Requirements

Site	One Bedroom		Two Bedrooms		Total Required (Spaces)	Proposed Supply (Spaces)	Meets Requirement?
	# of Bedrooms	Requirement (Spaces)	# of Bedrooms	Requirement (Spaces)			
Site 1	21	21	9	18	39	21	No
Site 2	13	13	13	26	39	20	No
Site 3	11	11	14	28	39	21	No
Total	45	45	36	72	117	62	-

As shown in Table 2, based on the modified parking requirement allowed through the density bonus, the project is required to provide 39 parking spaces for each site, or 117 parking spaces total. Since the project is proposing to provide 21, 20, and 21 parking spaces for Site 1, Site 2, and Site 3, respectively, for a total of 62 parking spaces, the proposed parking spaces does not meet the City's parking requirement.

However, based on Government Code Section 65915(d), the project is allowed to request for two concessions since the project provides at least 10 percent of very low-income housing. Therefore, the project is requesting that one of the two requested concessions be a reduction in the number of required parking spaces to 0. 0.76 parking spaces per unit, or 62 total parking spaces. The City shall grant this concession unless the concession does not result in identifiable and actual cost reductions, unless the concession would have a specific, adverse impact, or unless the concession would be contrary to state or federal law. Placeworks prepared a technical memorandum² showing that this concession would provide a cost reduction. To show that this project would not adversely impact the surrounding parking, a parking demand analysis was completed.

PARKING DEMAND

Proposed Parking Demand

Parking demand is typically estimated using the Institute of Transportation Engineers (ITE) *Parking Generation Manual*. This is a reference based on parking surveys throughout the country. The parking demand for the senior adult housing was estimated based on parking data for Senior Adult Housing – Attached (ITE Land Use Code 252).³ According to ITE, the 85th percentile demand rate is 0.66 spaces per dwelling unit. Applying this rate to the proposed 81 dwelling units results in a parking demand of approximately 53 parking spaces. The parking demand for each site is provided in Table 3.

Table 3 – Proposed Parking Supply vs. ITE Parking Demand

Site	Dwelling Units	Proposed ITE Parking Demand	Proposed Parking Supply	Meets ITE Parking Demand?
Site 1	30	20	21	Yes
Site 2	26	17	20	Yes
Site 3	25	16	21	Yes
Total	81	53	62	-

As shown above, each site provides sufficient parking to meet the proposed parking demand and the total proposed parking supply of 62 parking spaces meets the total proposed demand of 53 parking spaces. Therefore, the project's request for a parking concession to reduce the parking requirement to 0.76 parking spaces per unit meets the estimated ITE parking demand of 0.66 parking spaces per unit.

² Placeworks, *Economic Analysis of Requested Concessions, Clayton Senior Housing Project*, June 29, 2019.

³ Institute of Transportation Engineers, *Parking Generation, 4th Edition*.

CONCLUSIONS

It is proposed that a senior adult housing development be constructed at 6170 High Street, 6450 Marsh Creek Road, and 6490 Marsh Creek Road in Clayton, CA. The project proposes to construct a total of 81 units and would provide 62 total parking spaces. Since the project is providing very low-income housing, it qualifies for a parking reduction per the state density bonus law, Government Code Section 65915 (p)(3)(B). The proposed project is eligible for a modified parking requirement of 117 total parking spaces or 39 parking spaces for each site. Since the project is providing 62 total parking spaces, the project does not meet the modified parking requirements. Therefore, the project is requesting as one of its two concessions, to reduce the parking requirement to the proposed parking supply of 0.76 parking spaces per unit or 62 total parking spaces. Based on the ITE parking demand for senior adult housing, it was estimated that the parking demand for the proposed project will result in 53 total parking spaces. Since the project is providing 62 total parking spaces, the proposed supply is sufficient to meet the proposed parking demand. Therefore, the proposed concession to reduce the parking requirement will meet the ITE parking demand. Based on this study, it is our professional opinion that the senior adult housing in Clayton, CA provides adequate parking supply to meet the parking demand.

ClaytonSeniorHousingParkingStudy.FinalMemoV2 With MBI Comments 7-23-19.pdf Markup Summary

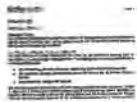
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This statement suggests that the project has applied and is consistent with State Density Bonus Law reduced parking requirements. This is not accurate. The project is requesting that a further reduction in parking to a parking ratio that is below the Density Bonus Law parking requirements shown in Table 2. The lower parking ratio being offered by the project is being requested to be granted as a secession that is offered by the Density Bonus Law as an additional form of assistance. In this case the requested concession is a Waiver or Reduction of Development Standards and the parking study has been performed to assess if adequate parking will be provided for the project and if this waiver will cause an impact.

ATTACHMENT L



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While it is acknowledged that the project consists of three sites, the parking discussion should treat the individual sites separately since they are not contiguous and the total parking cannot be considered as a "pool" of parking that can be shared by all of the units. The tables correctly treat the sites separately when comparing parking supply to demand however the discussion of "parking rate provided should" should also be quantified for each site.



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As stated in the previous comment, parking supply and demand analysis for non-contiguous sites should be treated each site separately. According to the City's municipal code: "When the calculation of the required number of parking, loading, or bicycle spaces results in a fractional number, a fraction of one-half or more shall be adjusted to the next higher whole number of spaces." Therefore, Site 1 requires 65 spaces, Site 2 requires 59 spaces and Site 3 requires 57 spaces. A total of 181 parking spaces are required for the three sites. State Government Code 65915 requires all non-whole numbers in parking space calculations to be rounded up to the next whole number so the cumulative parking requirement for the three sites would also be 181 spaces.

For one bedroom
For two or more bedrooms

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Replace with "For dwelling units with one"

- For one bedroom, 1.
- For two or more bedrooms covered
- For guest parking, 0.

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Replace with "For dwelling units with two or more....."



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Replace "Bedrooms" with "Dwelling Units"



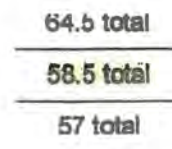
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Author: ROBERTDAVIS
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Replace "Bedrooms" with "Dwelling Units"



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This number should be rounded up to 65 spaces



Subject: Highlight
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This number should be rounded up to 59 spaces.



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These total numbers are not relevant to the parking analysis since the sites are not contiguous.

of Bedrooms
9

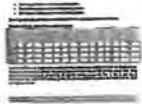
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Replace with "Dwelling Units"

of Bedrooms
21

Subject: Highlight
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Replace with "Dwelling Units"



Subject: Highlight
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These total numbers are not relevant to the parking analysis since the sites are not contiguous.

39	21
39	20
39	21
--	--

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Author: ROBERTDAVIS
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Note that the deficiency in the proposed supply is significantly less (49% less) than the reduced parking requirements allowed by the Density Bonus Law

39	20
39	21
117	62

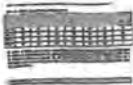
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Note that the deficiency in the proposed supply is significantly less (46% less) than the reduced parking requirements allowed by the Density Bonus Law

Required (Spaces)	Proposed (Spaces)
39	21
39	20
--	--

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Note that the deficiency in the proposed supply is significantly less (46% less) than the reduced parking requirements allowed by the Density Bonus Law. Also note that the reduced spaces required by the Density Bonus Law is only 60% of the 65 spaces required by the City for Site 1.



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This should read "does not meet the reduced State's Density Bonus Law parking criteria"

Zero to

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Add "Units with zero....."

Two to

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Add "Units with two....."

Four or

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Add "Units with four....."



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It should be noted that this portion of the State's Density Bonus Law recognized that transit priority areas have reduced personal vehicle ownership and parking needs that would substantiate a lower parking requirement. This suggests that further reductions of the already reduced Density Bonus Law parking requirements are not acknowledged without good transit service. Furthermore, the lower parking ratio granted for developments that restrict rentals to individuals who are 62 years of age or older, recognizes that auto ownership and active driving status is substantially reduced as compared to residents between the ages of 55 and 62.

meet
 act

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replace with "be subject to"



Subject: Highlight
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It should be noted that the ITE Parking Generation Manual only one source for parking generation/demand data. There should be more discussion about the applicability of the ITE data to the proposed Olivia on Marsh Creek project. The parking data included in the ITE Senior Adult Housing (LU Code 252) is based on three sites that are all located in PA and the data was collected in 2008. The description of the sites surveyed does not indicate whether the age restricted aspect of the sites included in the surveys were for ages 55 and above or ages 62 and above. The reality of current economic conditions require many persons between the ages of 55 and 65 to maintain a working status and this affects the automobile ownership and driver status of the residents of the project. More recent research that has been performed on senior housing development in California has found that developments that are restricted to residents of age 55 and older generate more parking demand than those restricted to residents of age 62 and older.

The parking analysis does not provide any discussion of the local setting that has a bearing on parking requirements. The project is located in a rural area that has limited shopping and employment opportunities. Additionally, the area has limited transit service. These factors have an influence on the auto ownership characteristics of individuals that will chose to live in the Project housing in that they will be more reliant on personal automobiles.

Project Site 1 is the only site that has available on-street parking in the event that the proposed 21 spaces are later determined to be inadequate. If the Project Sites 2 and 3 parking supply is later found to be inadequate, there is no on-street parking available on Marsh Creek Road. Residents or visitors who cannot find on-site parking would likely seek nearby on-street parking within the Stranahan Residential Subdivision. This potential impact has not been identified or discussed.



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The proposed Project parking ratios range from 0.70 to 0.84 spaces per unit and has a composite ratio of 0.76 spaces per unit. Clayton's code parking rate for multifamily housing results in a composite ratio of 2.23 spaces per unit. The proposed Project parking rate is only 34% of the City code rate.

By comparison, the California Density Bonus Law parking requirement results in a composite rate of 1.44 parking spaces per unit for 55+ senior housing. This California-based parking criteria is almost double the proposed Project parking rate.

It is common practice in many cities to set the senior age restricted housing parking rate at 50% of the standard rate for multifamily housing. Each city sets its parking rates and anticipated parking demand based on local conditions. If this practice is applied to the Clayton code rate, the Project would require a parking ratio of approximately 1.11 spaces per unit or 90 spaces. This rate, though lower, is fairly consistent with the State's rate for senior housing.

It is MBI's opinion that the Project parking analysis does not demonstrate that the proposed Project parking rate of 0.76 spaces per unit is reasonably consistent with California parking experience, nor does it provide sufficient evidence that the significantly reduced parking supply proposed for the Project will not cause parking impacts in the adjacent residential neighborhoods.

SBCA TREE CONSULTING

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CUFC Certified Urban Forester #134

CA Contractor License #(C-27) 53367

E-mail: steve@sbcatree.com

Molly Batchelder, Consulting Arborist

WC ISA Certified Arborist #9613A

ISA Tree Risk Assessment Qualified

E-mail: molly@sbcatree.com

Date: January 25, 2018

To: Bill Jordan
PO Box 547
Clayton, CA 94517

Subject: Addendum to December 7, 2015: Tree Survey Report.

Location: 6490 Marsh Creek Road, Clayton

Assignment: *SBCA Tree Consulting was asked return to the property to survey the row of cypress trees noted but not surveyed in the prior report and to provide tree protection guidelines for trees proposed to be retained.*

Introduction

Appendix 1 provides the augmented survey data. *Appendix 2* provides the tree locations, with numbers that correspond to the metal number tags and survey data in *Appendix 1*. Due to the narrow distance between the cypress trees, not all tree numbers are used in the tree location map. All trees qualify as a "Tree" by City ordinance as all are over 15 feet in height; none qualifies as "Protected Trees".

Applicable City of Clayton Tree Ordinance

- D. "Tree" means a live woody plant having a single perennial stem or a multi-stemmed perennial plant which is over fifteen (15) feet in height at maturity.
- E. "Trunk Diameter" means the diameter of a tree trunk as measured four (4) feet, six (6) inches above natural grade.

Summary

The 2015 survey identified thirty-nine (39) trees on or adjacent to the site. The earlier survey utilized number tags #67-105. The recent survey recorded data on an additional 47 Italian Cypress trees not surveyed in the original report. Tag numbers utilized for the survey now include #67 through #152, with a total of 85 trees surveyed. The 47 cypress trees qualify as "Trees" but do not qualify as "Protected Trees".

ATTACHMENT M

Most numerous species – Italian Cypress (*Cupressus sempervirens*) is represented by (52) trees. The row of forty-seven (47) Italian Cypress is located on the north property line.

Table 1 – (Revised Species Information) Forty-seven Italian Cypress trees have been added to the prior survey data.

Species	Common Name	No. trees	No. of Protected Trees	No. Trees on Prop. line or Street	Suitability for Retention
<i>Ailanthus altissima</i>	Tree of Heaven	1	0	1	Poor
<i>Cupressus sempervirens</i>	Italian Cypress	52	0	0	Good
<i>Cupressus arizonica</i>	Arizona Cypress	1	0	1	Poor
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum	1	0	0	Good
<i>Eucalyptus sideroxylon</i>	Cider Gum	2	0	1	Poor
<i>Juglans hindsii</i>	Black Walnut	1	1	0	Poor
<i>Juglans regia</i>	English Walnut	1	0	1	Fair
<i>Malus spp.</i>	Flowering Crabapple	1	0	0	Fair
<i>Pinus halepensis</i>	Aleppo Pine	2	0	0	Good-Fair
<i>Pinus pinea</i>	Italian Stone Pine	1	0	0	Fair
<i>Pinus radiata</i>	Monterey Pine	7	0	0	Fair-Poor
<i>Pistacia chinensis</i>	Chinese Pistache	4	0	4	Street Trees
<i>Populus fremontii</i>	Fremont Poplar	1	1	1	Poor
<i>Prunus cercifera</i>	Cherry Plum	1	0	0	Poor
<i>Quercus douglasii</i>	Blue Oak	2	2	2	Fair-Poor
<i>Quercus lobata</i>	Valley Oak	4	4	3	Good
<i>Robinia pseudoacacia</i>	Black Locust	1	0	0	Fair
<i>Salix babylonica</i>	Weeping Willow	1	0	0	Poor
<i>Sequoia sempervirens</i>	Coast Redwood	2	0	0	Poor
	Totals:	85	8	14	

End Report

Report Submitted By:



Steve Batchelder, Consulting Arborist
ISA Certified Arborist WE 228A
CaUFC Certified Urban Forester #138
Calif. Contractor Lic. (C-27) 533675

Appendix Items:

1. Tree Survey Data
2. Tree Location Map



Photo Supplement

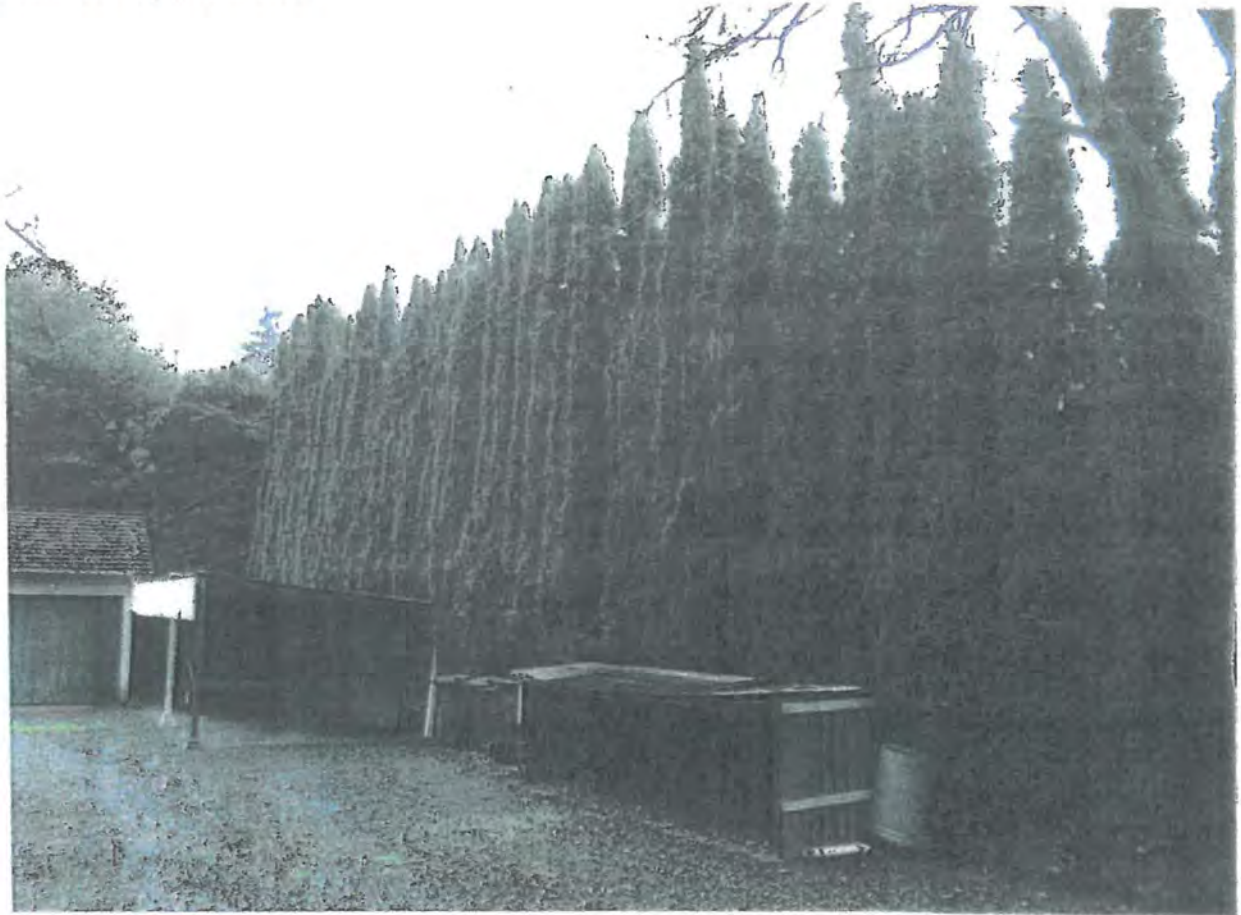


Photo above shows the row of 47 Italian Cypress trees that has been added to the survey data for 6490 Marsh Creek Road.

Supplemental Report Submitted By:

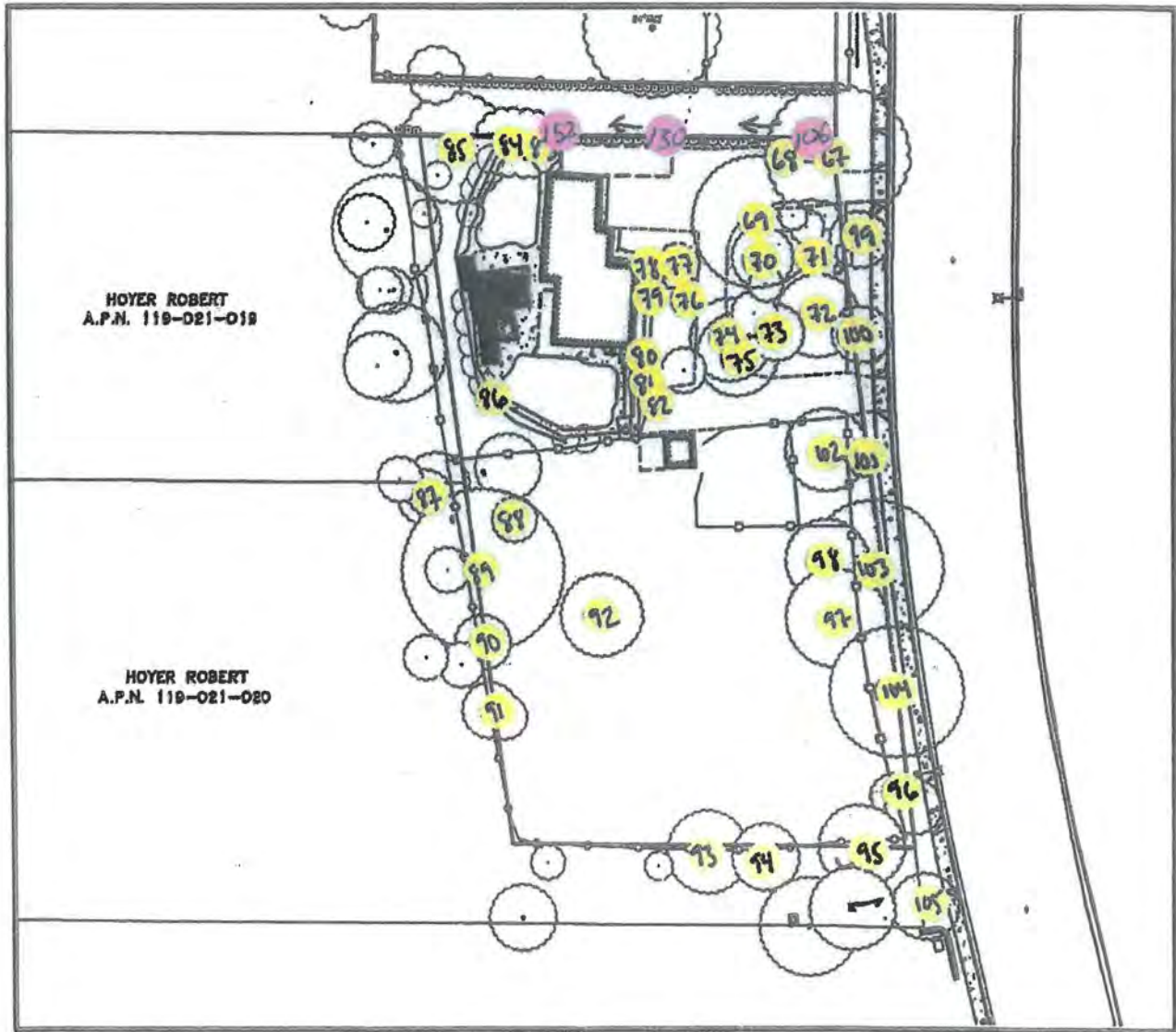
Steve Batchelder

*Steve Batchelder, Consulting Arborist
ISA Certified Arborist WE 228A
CaUFC Certified Urban Forester #138
Calif. Contractor Lic. (C-27) 533675*



Appended Tree Location Map

Red dots indicate row of Italian Cypress trees #106 thru #152. These trees were not included in the earlier survey conducted in 2015.



COLUMN HEADING DESCRIPTIONS

- Tag#** - Indicates the number tag attached to tree
- Species** - Scientific name
- Common Name** - Vernacular name
- DBH** - Diameter measured in inches at 4.5 feet above soil grade, unless otherwise indicated
- Height** - In feet
- Spread** - In feet
- Health** - Tree Health: E is Excellent, G is Good, F is Fair, P is Poor, D is Dead or Dying
- Structure** - Tree Structural Safety: E is Excellent, G is Good, F is Fair, P is Poor, H is Hazardous
- Protected Tree?** - As per City of Clayton Tree Ordinance: Y is Yes, N is No
- Suitability for Retention** - Based on Tree Condition: G is Good, F is Fair, P is Poor
- Notes** - See below

ABBREVIATIONS AND DEFINITIONS

- Notes**
- Embedded Bark (EB)** - AKA Included Bark, this is a structural defect where bark is included between the branch attachment so that the wood cannot join. Such defects have a higher propensity for failure.
 - Codominant (CD)** - A situation where a tree has two or more stems which are of equal diameter and relative amounts of leaf area. Trees with codominant primary scaffolding stems are inherently weaker than stems, which are of unequal diameter and size.
 - Codominant w/ Embedded Bark (CDEB)** - When bark is embedded between codominant stems, failure potential is very high and pruning to mitigate the defect is recommended.
 - Dead Wood (DW)** - Interior dead branches noted in tree.
 - End Weight Reduction (EWR)** - Reduction of end branch end weight recommended to reduce potential for limb failure.
 - Internal Decay (ID)** - Noted by sounding with a mallet or visible cavities/large pruning wounds.
 - Multi (Multi)** - Multiple trunks/stems emanate from below breast height (4.5' above soil grade).

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
67	<i>Quercus lobata</i>	Valley Oak	17.5	30	45	G	G	Y	G	CD, High voltage power lines
68	<i>Juglans hindsii</i>	California Black Walnut	17.5	25	25	D	H	Y	P	Dead, Hazardous
69	<i>Robinia pseudoacacia</i>	Black Locust	24.5	50	50	F	P	N	F	CDEB x 2

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
70	<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum	13.5	60	40	G	G	N	G	
71	<i>Pinus halepensis</i>	Aleppo Pine	28	70	55	G	P	N	F	Lean, CDEB
72	<i>Pinus halepensis</i>	Aleppo Pine	32.5	70	50	G	G	N	G	CD
73	<i>Eucalyptus sideroxylon</i>	Red Iron Bark	11	25	20	G	P	N	P	PP
74	<i>Pinus radiata</i>	Monterey Pine	21	60	30	G	G	N	G	Nice tree
75	<i>Pinus pinea</i>	Italian Stone Pine	15	30	50	G	F	N	F	Lean, Large pruning cuts
76	<i>Pinus radiata</i>	Monterey Pine	7	20	15	P	P	N	P	Crack, Dieback
77	<i>Prunus cerasifera</i>	Purple Leaf Plum	9	25	20	G	P	N	P	CDEB
78	<i>Cupressus sempervirens</i>	Italian Cypress	9	40	5	G	G	N	G	
79	<i>Cupressus sempervirens</i>	Italian Cypress	9	40	5	G	G	N	G	
80	<i>Cupressus sempervirens</i>	Italian Cypress	7.5	35	5	G	G	N	G	Crowded
81	<i>Cupressus sempervirens</i>	Italian Cypress	6.5, 5.5	20	6	G	G	N	G	Crowded
82	<i>Cupressus sempervirens</i>	Italian Cypress	8.5	40	5	G	G	N	G	Crowded
83	<i>Sequoia sempervirens</i>	Coast Redwood	14	30	15	F-G	F	N	P	Topped, Not suitable for under powerlines
84	<i>Sequoia sempervirens</i>	Coast Redwood	12.5	30	15	F-G	F	N	P	Topped, Not suitable for under powerlines

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
85	<i>Pinus radiata</i>	Monterey Pine	22.5	45	30	F-P	G	N	P	Dieback
86	<i>Malus spp.</i>	Apple	3, 3.5	15	15	G	G	N	F	
87	<i>Eucalyptus sideroxylon</i>	Red Iron Bark	13, 12	40	40	G	P	N	P	CD, one stem gone, On property line
88	<i>Pinus radiata</i>	Monterey Pine	16	30	50	G	P	N	P	Significant lean, Large trunk wounds
89	<i>Juglans regia</i>	English Walnut	29	25	45	G	F	N	F	Multi, Large trunk wound, On property line
90	<i>Quercus douglasii</i>	Blue Oak	7	25	15	P	P	Y	P	On property line, 60% girdled trunk
91	<i>Cupressus arizonica</i>	Arizona Cypress	8	25	20	G	P	N	P	On property line, Fallen over, Large pruning wounds
92	<i>Pinus radiata</i>	Monterey Pine	13	25	25	F	F	N	F	Large trunk wound, Lean, Stressed
93	<i>Populus fremontii</i>	Fremont Poplar	27	50	30	P	P	N	P	On adjacent property, Headed, DW, High voltage power lines
94	<i>Quercus lobata</i>	Valley Oak	10.5	25	25	G	F	Y	P	On adjacent property, High voltage power lines
95	<i>Quercus lobata</i>	Valley Oak	9, 15.5	55	50	G	G	Y	G	On property line, Nice tree
96	<i>Allanhus altissima</i>	Tree of Heaven	6	20	20	G	G	N	P	In fence
97	<i>Pinus radiata</i>	Monterey Pine	20.5	60	30	F	G	N	F	Stressed
98	<i>Pinus radiata</i>	Monterey Pine	16.5	30	25	F	F	N	P	In canopy of oak
99	<i>Pistacia chinensis</i>	Chinese Pistache	6	25	30	F	F	N	G	Street tree

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
100	<i>Pistacia chinensis</i>	Chinese Pistache	7.5	25	30	G	G	N	G	Street tree
101	<i>Pistacia chinensis</i>	Chinese Pistache	5	25	30	G	G	N	G	Street tree
102	<i>Salix babylonica</i>	Willow	15	10	10	P	P	N	P	Headed
103	<i>Quercus lobata</i>	Valley Oak	26.5	60	65	G	F	Y	G	Street tree, High voltage power lines, but pruning was ok, Lean
104	<i>Quercus douglasii</i>	Blue Oak	24.5	25	50	F-G	F	Y	F	Street tree, High voltage power lines
105	<i>Pistacia chinensis</i>	Chinese Pistache	4.5	25	20	G	G	N	G	Street tree, Lean
106	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
107	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
108	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
109	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
110	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
111	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
112	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
113	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
114	<i>Cupressus sempervirens</i>	Italian Cypress	3	20	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
115	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
116	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
117	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
118	<i>Cupressus sempervirens</i>	Italian Cypress	4	20	2	G	G	N	G	North property line row
119	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	20	2	G	G	N	G	North property line row
120	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
121	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
122	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
123	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
124	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
125	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
126	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
127	<i>Cupressus sempervirens</i>	Italian Cypress	4	25	2	G	G	N	G	North property line row
128	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
129	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
130	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
131	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
132	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
133	<i>Cupressus sempervirens</i>	Italian Cypress	4, 4.5	25	2	G	G	N	G	North property line row
134	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
135	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
136	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
137	<i>Cupressus sempervirens</i>	Italian Cypress	4, 3	25	2	G	G	N	G	North property line row
138	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
139	<i>Cupressus sempervirens</i>	Italian Cypress	8	25	2	G	G	N	G	North property line row
140	<i>Cupressus sempervirens</i>	Italian Cypress	5, 3	25	2	G	G	N	G	North property line row
141	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
142	<i>Cupressus sempervirens</i>	Italian Cypress	7	25	2	G	G	N	G	North property line row
143	<i>Cupressus sempervirens</i>	Italian Cypress	6.5	25	2	G	G	N	G	North property line row
144	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Suitability for Retention	Notes
145	<i>Cupressus sempervirens</i>	Italian Cypress	4.5	25	2	G	G	N	G	North property line row
146	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
147	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
148	<i>Cupressus sempervirens</i>	Italian Cypress	5.5	25	2	G	G	N	G	North property line row
149	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row
150	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
151	<i>Cupressus sempervirens</i>	Italian Cypress	5	25	2	G	G	N	G	North property line row
152	<i>Cupressus sempervirens</i>	Italian Cypress	6	25	2	G	G	N	G	North property line row



WWW.RANEYMANAGEMENT.COM

NORTHERN CALIFORNIA
1501 SPORTS DRIVE SUITE A
SACRAMENTO, CALIFORNIA

TEL: 916.418.6100 • FAX: 916.418.6108

June 14, 2019

David Woltering
Interim Community Development Director
City of Clayton
6000 Heritage Trail
Clayton, CA

Subject: Infill Exemption Environmental Analysis for Clayton Senior Housing Project

Dear Mr. Woltering:

The City of Clayton retained Raney Planning & Management, Inc. (Raney) to determine whether the Clayton Senior Housing Project satisfies criteria (c) and (d) of the Class 32 Infill Exemption included in the California Environmental Quality Act (CEQA) Guidelines. The specific conditions identified in the Class 32 Infill Exemption in the CEQA Guidelines are as follows (specific emphasis has been added for criteria (c) and (d)):

Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.

- (a) *The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*
- (b) *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.*
- (c) *The project site has no value as habitat for endangered, rare or threatened species.*
- (d) *Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.*
- (e) *The site can be adequately served by all required utilities and public services.*

The applicant team prepared several technical studies for the project, which provide information needed to determine whether the project satisfies criteria (c) and (d). To that end, the Raney team performed peer reviews of the applicant-prepared reports to determine their adequacy. The technical reports for the Clayton Senior Housing Project are as follows:

- *6170 High Street/6450 Marsh Creek Road, 6490 Marsh Creek Road – Revised Biological Constraints Assessment Survey Results (November 6, 2018), prepared by Olberding Environmental;*
- *Air Quality & Greenhouse Gas Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 24, 2018);*
- *Noise & Groundborne Vibration Impact Assessment for the Proposed Clayton Senior Housing Project, Clayton, CA, prepared by Ambient Air Quality & Noise Consulting (September 21, 2018); and*
- *Clayton Senior Housing Trip Generation Study Final Letter (May 8, 2017), prepared by Kimley Horn.*

The following section provides a summary of Raney's review of the technical biological, air quality, noise, traffic, and water quality studies.

Biological

Raney has determined that the methods employed by Olberding Environmental are in general conformance with industry standard practice for biological assessments. For example, the report includes a search of the California Natural Diversity Database (CNDDDB) maintained by the California Department of Fish and Wildlife, and reports the special-status species recorded within an extended radius around the project site (presumably 5 miles). The initial peer review comments provided by Raney to the City on September 19, 2018 have been adequately addressed in the final November 6, 2018 report. The report concludes that the project site has no value as habitat for endangered, rare or threatened species, consistent with criteria (c) of Infill Exemption 15332.

Air Quality

Raney has concluded that the Air Quality/Greenhouse Gas analysis was completed in accordance with current industry standards, and in compliance with the recommended guidance of the Bay Area Air Quality Management District (BAAQMD). The general methodology of the Technical Memorandum included estimating potential air quality and greenhouse gas (GHG) emissions from construction and operation of the proposed project, using the most-up-to-date version of the California Emissions Estimator Model (CalEEMod) software. To assess the adequacy of the Air Quality/GHG analysis presented in the Technical Memorandum, Raney reviewed the methods, assumptions, and CalEEMod outputs provided by Ambient Consulting. The initial peer review comments provided by Raney to the City on July 20, 2018 and September 7, 2018 have been adequately addressed in the final September 24, 2018 report. The report concludes that the proposed project would result in construction and operational emissions below the BAAQMD's thresholds of significance. Thus, the proposed project would not result in any significant air quality effects, consistent with criteria (d) of Infill Exemption 15332.

Noise

Raney hired j.c. brennan & associates, Inc., a noise technical expert, to perform a technical peer review of the project-specific noise and vibration study. j.c. brennan & associates reviewed the report methodology and results and determined that the report was completed in accordance with current industry standards and adequately addresses whether the proposed project would exceed the City of Clayton's General Plan Noise Element and/or Noise Ordinance standards. The report concludes that the proposed project would result in operational noise levels below the relevant City noise thresholds. With respect to construction noise, the report correctly notes that construction activities occurring between the allowable hours specified in Clayton Municipal Code Section 15.01.101 are not subject to the City's noise level thresholds. Per City Ordinance, construction hours for the project would be limited. Thus, the proposed project would not result in any significant noise effects, consistent with criteria (d) of Infill Exemption 15332.

Traffic

Raney consulted with Abrams Associates Traffic Engineering, Inc. to advise on the accuracy of a Trip Generation Study prepared for the proposed project by Kimley Horn. On May 9, 2018, Abrams Associates confirmed that the method of analysis used in the Trip Generation Study was correct, and that the resulting trip estimates are accurate. The Trip Generation Study concludes that the proposed project would generate 16 AM peak hour trips and 19 PM peak hour trips using the ITE Trip Generation Manual. The expected AM and PM peak hour trips are well below the Contra Costa Transportation Authority's 100 peak hour trip threshold for warranting a traffic impact analysis. Additionally, the nearby intersection of Marsh Creek Road/Clayton Road was analyzed and it was determined that the intersection would not be impacted by the relatively small increase in trips in the vicinity. Thus, the proposed project would not result in any significant traffic effects, consistent with criteria (d) of Infill Exemption 15332.

Hydrology

The City Engineer has reviewed the proposed project's potential to significantly effect water quality in the vicinity and has determined that compliance with existing stormwater regulations would ensure no significant adverse water quality effects would occur, as the following will demonstrate. The proposed project would implement the City of Clayton development standards, as well as adhere to all regulations set forth by the Regional Water Quality Control Board, including Section C.3 of the Municipal Regional Storm Water Permit. Additionally, the proposed project would adhere to all requirements for sewerage collection and purveyance of drinking water enforced by the Contra Costa Water District. The City Engineer determined that the proposed project would not introduce any extraordinary issues that would negatively impact water quality on the project site or in the surrounding area. Thus, the proposed project would not result in any significant water quality effects, consistent with criteria (d) of Infill Exemption 15332.

Conclusion

As discussed above, the project site does not contain valuable habitat for endangered, rare or threatened species. Based on an air quality analysis conducted for the proposed project, emissions of criteria pollutants associated with the project would not exceed applicable thresholds established by BAAQMD. Additionally, as determined by the technical studies, the proposed project would be consistent with all applicable regulations set forth by the City and Contra Costa County with regard to noise and traffic. Finally, the City Engineer has evaluated the project site plans and determined that the proposed project would not create any significant adverse effects to water quality on the project site or in the surrounding area. Based on the above, the Clayton Senior Housing Project would satisfy the Infill Exemption conditions (c) related to biological resources and (d) related to air quality, noise, traffic, and water quality.

Exceptions to Categorical Exemptions

Even if a project is ordinarily exempt under any of the categorical exemptions, CEQA Guidelines Section 15300.2 provides specific instances where exceptions to otherwise applicable exemptions apply. The following is a discussion of any possible exceptions to the CEQA exemption.

Criterion 15300.2(a): Location

This exception only applies to CEQA exemptions under Classes 3,4,5,6, or 11. Since the proposed project qualifies as a Class 32 Infill Exemption, Criterion 15300.2(a) would not apply.

Criterion 15300.2(b): Cumulative Impact

The project site is currently designated Multifamily High Density Residential in the Clayton General Plan and zoned Planned Development. The proposed project is consistent with the site's General Plan and zoning designations. Therefore, impacts of the project have been anticipated by the City and analyzed in the General Plan EIR. Furthermore, the proposed project would not create a significant impact related to modification of habitat for endangered, rare, or threatened species, air quality, noise, traffic, or water quality. Thus, the overall effects of the proposed project would be less than significant and would not contribute to significant cumulative impacts.

Criterion 15300.2(c): Unusual Circumstances

The proposed project would develop a senior housing facility on a project site currently planned for residential development. As discussed above, the Biological Assessment determined that the site does not contain any suitable habitat for endangered, rare, or threatened species; and, such species are not anticipated to occur on-site. Additionally, the project site has not been identified as a source of potentially hazardous materials or waste contamination which could pose a risk to surrounding residents. Based on the above, the project site is not affected by any unusual circumstances. Thus, the exception regarding significant effects on the environment due to unusual circumstances would not apply.

Criterion 15300.2(d): Scenic Highway

The project site would not be located within view of any Officially Designated Scenic Highway. Interstate 680 (I-680), an Officially Designated Scenic Highway, is located approximately 7.5 miles southwest of the project site; however, I-680 would not provide views of the project site.¹ Thus, the exception regarding scenic highways would not apply.

Criterion 15300.2(e): Hazardous Waste Sites

The Cortese List, consisting of databases identified in California Government Code Section 65962.5, was consulted to identify sites with known hazardous materials or waste contamination within or adjacent to the project site; however, none were found. Thus, an exception to the Class 32 exemption based on the presence of a hazardous waste site would not apply.

Criterion 15300.2(f): Historical Resources

The City of Clayton's *Heritage Preservation Task Force Report* includes a list of any potentially historic resources located within the City, including historic resources listed on either the California Register of Historical Resources or the National Register. Based on the Report, the existing on-site structures are not listed as historical resources and the project site does not contain any other structures which are considered historic by the City. In addition, the project site is located within an urbanized area of the City of Clayton and is surrounded by development. Thus, archaeological and paleontological resources are not anticipated be present at or near the project site. Therefore, the exception based on presence of historical resources would not apply.

Conclusion

Based on the above discussions, the proposed project would be consistent with the General Plan and zoning designations. Consistency with such would ensure that the project would not result in any cumulative impacts which have not already been anticipated by the City. In addition, the project site does not contain any unusual circumstances. Finally, the project site is not within view of a Scenic Highway, identified as a source of hazardous materials, and does not contain any recorded historic resources. Based on the above, the proposed project would not meet any of the exception criteria for a Class 32 Infill Exemption.

Please contact me at (916) 372-6100 if you have any questions regarding this Infill Exemption analysis.

Sincerely,


Nick Pappani
Vice President
Raney Planning and Management, Inc.

¹ California Department of Transportation. *California Scenic Highway Mapping System Contra Costa County*. Accessed June 2019. Available at: http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/.

**PLANNING COMMISSION
STAFF REPORT**

Meeting Date: December 10, 2019

Item Number: 5.b

From: Milan J. Sikela, Jr. 
Assistant Planner

Subject: Public Hearing to consider a one-year time extension of the Creekside Terrace Mixed Use Project Development Plan and Vesting Tentative Map (ENV-01-08, DP-01-08, MAP-02-09)

Applicant: City of Clayton

REQUEST

Approve a one-year time extension of the previously-approved Creekside Terrace Mixed Use Project Development Plan and Vesting Tentative Map that allows the construction of a two-story, mixed-use commercial/residential building with approximately 7,200 square feet of commercial retail on the first floor and seven residential units on the second floor.

PROJECT INFORMATION

Location: 1005 and 1007 Oak Street, on the west side of Oak Street between Center Street and High Street
APN's: 119-050-008, 119-500-009, and 119-050-034 (Attachment A)

Property Owner: City of Clayton

General Plan Designation: Town Center Commercial (TC); Public Park/Open Space (PU)

Town Center Specific Plan Designation: Town Center Commercial

Zoning: Planned Developed (PD); Public Facility (PF)

Environmental: An Initial Environmental Study/Mitigated Negative Declaration was adopted for this project by the Clayton City Council on July 6, 2010 (ENV-01-08).

Public Notice: On November 28, 2019, the public hearing notice for the project was posted at the notice boards and mailed to property owners within 300 feet of the project site. To date, no comments have been received by staff.

BACKGROUND AND DISCUSSION

On July 6, 2010, the Clayton City Council adopted the Initial Environmental Study/Mitigated Negative Declaration (ENV 01-08) and approved the Creekside Terrace Mixed Use Development Plan (DP 01-08) and Vesting Tentative Map (MAP 02-09) (**Attachment B**). Section 17.28.190 of the Clayton Municipal Code (CMC) states that “if within 18 months after the approval by the City Council of the Development Plan Permit, construction has not commenced, then the Development Plan Permit shall become null and void.” Since the July 6, 2010 approval, there have been efforts to market the project to a developer in order to initiate construction. The land owner and project sponsor is the City of Clayton. There had been an offer made by a prospective developer to purchase the subject property; however, those negotiations have fallen through and currently there is no interest from the development community in the property.

The City holds title to the underlying land and improvements on the three subject parcels that comprise the project site on the west side of Oak Street between Center Street and High Street in the Town Center. Two of the properties front directly onto Oak Street and were previously improved with modular buildings which have been demolished and removed (APN’s: 119-050-034 and 119-050-009). The third parcel is further west of the aforementioned two parcels, extending up the slope located west of Mitchell Creek, and is primarily in a natural, open space condition (APN: 119-050-008). Immediately adjacent to and north of the proposed project site is the largely unused right-of-way extension of Center Street. It is not anticipated that Center Street will be extended, given the location of Mitchell Creek and the hillside to the west.

The approval entailed seven residential units on the upper floor and approximately 7,200 square feet of commercial space on the ground floor. A vehicle lift system is planned for the parking spaces in the garages so that 14 parking spaces could be provided on-site in the seven garages for the seven residential units. Driveway pads are located in front of the garages to accommodate guest parking. The exterior architecture of the approved project has an “Old West” architectural style, in compliance with Town Center Specific Plan architectural design guidelines.

As part of this project, the adjacent Mitchell Creek corridor will be upgraded with creek bank restoration, removal of non-native vegetation, and installation of riparian vegetation to both sides of Mitchell Creek in the vicinity of the proposed project. The project also includes enhancing the presently unimproved terminus of Center Street with riparian vegetation and creating a seating area with environmental education boards describing the natural setting of Mitchell Creek. Additionally, a conservation easement is required to be created in order to maintain the upslope of the western parcel immediately adjoining and west of Mitchell Creek. Improvements associated with the project as well as the on-going responsibility to maintain the areas at the terminus of Center Street and the parcel west of Mitchell Creek—along with active open space areas within the proposed development—satisfies the City’s open space requirements.

TIME EXTENSIONS

Development Plan

Section 17.28.190 of the CMC allows extensions of a Development Plan prior to its expiration up to one-year at a time by the Planning Commission or City Council. Since October of 2011, the Planning Commission has considered and approved yearly extensions of the entitlements in order to keep the Development Plan current for future development negotiations and opportunities. Therefore, the City is seeking Planning Commission approval of another one-year extension of the Development Plan through January 6, 2021, in accordance with CMC Section 17.28.190.

Vesting Tentative Map

As with the project's Development Plan, in order to keep the Vesting Tentative Map current for future development negotiations and opportunities, the City is seeking Planning Commission approval of a one-year extension of the Vesting Tentative Map through January 6, 2021, in accordance with CMC Section 16.06.030.

REGULATORY APPLICABILITY

The Town Center Specific Plan is the primary guide for development of the subject property. There have been no changes to this Specific Plan or to circumstances and information related to the development of this property that would warrant not approving the request for an extension. The environmental findings and mitigation measures of the project Initial Environmental Study/Mitigated Negative Declaration continue to be valid, as do the overall findings for project approval and the conditions of approval in the approving City Council Resolution.

RECOMMENDATION

Staff recommends that the Planning Commission adopt the attached Resolution No. 07-19, thereby extending for one year the Creekside Terrace Development Plan and Vesting Tentative Map through January 6, 2021 (**Attachment C**).

ATTACHMENTS

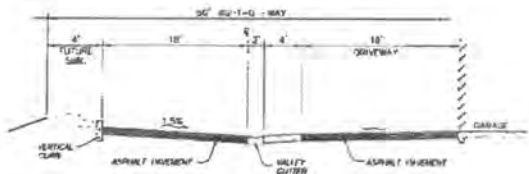
- A. Vicinity Map
- B. Approved Creekside Terrace Mixed Use Project Development Plan
- C. Commission Resolution No. 07-19 (with Exhibit A – City Council Resolution No. 27-2010 for the Creekside Terrace Mixed Use Project)



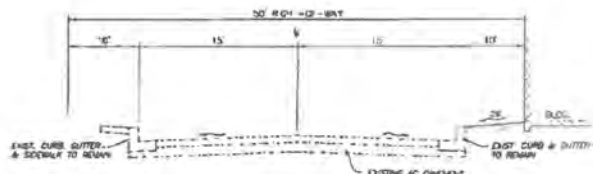
VICINITY MAP

	<p>Creekside Terrace Mixed Use Project ENV-01-08, DP-01-08, MAP-02-09 1005 and 1007 Oak Street APNs: 119-050-008, 119-050-009, and 119-050-034</p>	 <p>(Not to Scale)</p>
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ATTACHMENT A



HIGH STREET
N.T.S.



OAK STREET
N.T.S.



VICINITY MAP
N.T.S.

TENTATIVE MAP NOTES:

DEVELOPER: CITY OF CLAYTON
 DEVELOPMENT AGENCY
 8000 HERITAGE TRAIL
 CLAYTON, CA 94517

ENGINEER: DEBOLT CIVIL ENGINEERING
 811 SAN RAMON VALLEY BLVD
 DANVILLE, CA 94526
 (925) 837-3780

ASSESSOR'S PARCEL NUMBER & AREAS:
 112-050-028 0.326 AC
 112-050-030 0.224 AC
 112-050-034 0.259 AC
 CENTER ST VACATION LOT 1 AC
 TOTAL 0.819 AC

ZONING: PLANNED DEVELOPMENT
PROPOSED ZONING: PLANNED DEVELOPMENT
GENERAL PLAN: TOWN CENTER
UTILITIES: GAS & ELECTRIC - P & S E
 TELEPHONE - AT & T
 SEWER - C.C.S.D.
 WATER - C.C.W.D.

UTILITY LOCATIONS SHOWN ARE BASED ON UTILITY COMPANY RECORDS AND ARE APPROXIMATE ONLY.

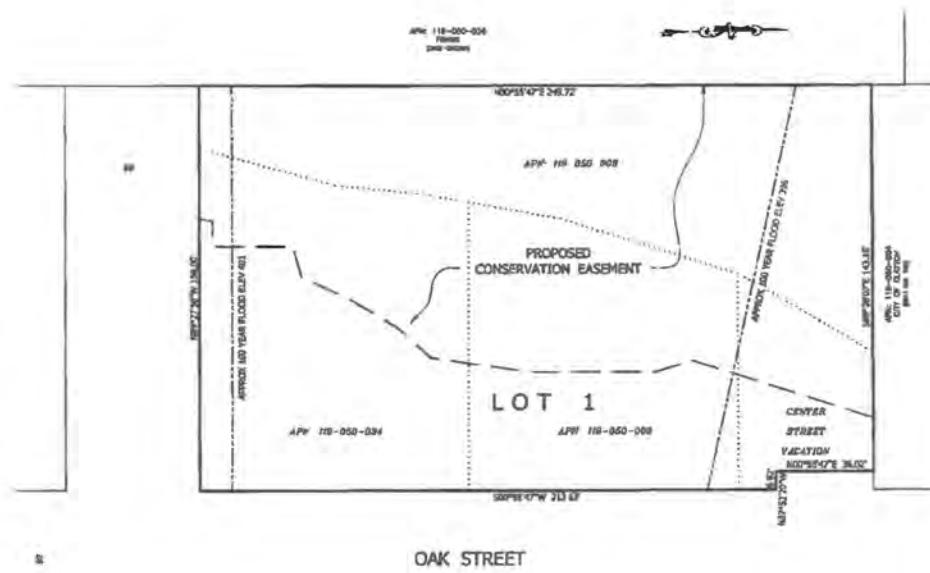
BOUNDARY NOTE: APPROXIMATE BOUNDARY INFORMATION SHOWN WAS COMPILED FROM AVAILABLE RECORD DATA AND DOES NOT REPRESENT AN ACTUAL FIELD BOUNDARY SURVEY.

BASIS OF BEARINGS: THIS MONUMENT LINE OF OAK STREET, BETWEEN TWO FOUND RAILROAD SPIKES TAPER AS IN 0'S 217' E, AS SHOWN ON THE RECORD OF SURVEY (24-124-32)

EXISTING USE: COMMERCIAL
PROPOSED USE: COMMERCIAL / RESIDENTIAL
CONTOUR INTERVAL: 2 FOOT
TOPOGRAPHY: BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY DEBOLT CIVIL ENGINEERING

BENCHMARK: A BRONZE DISK IN THE TOP OF A CONCRETE POST, AT THE 1" OF CLAYTON ROAD (MARK STREET) AND BARKSH CREEK ROAD LEADING SOUTH, 26 FEET SOUTH OF THE CENTERLINE OF CLAYTON ROAD (MARK STREET), 8 1/2 FEET SOUTH OF A 1968 HYDRANT, 1.0 FEET WEST OF THE FENCE CORNER POST AND 2.0 FEET SOUTHEAST OF A WITNESS POST. ELEVATION = 383.80.

FLOOD ZONE: THE PROPERTY LIES IN FLOOD ZONE AE AS SHOWN ON COMMUNITY PANEL 0502270031C



OAK STREET

HIGH STREET

CENTER STREET

PLAN VIEW
1" = 20'



LEGEND AND ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
(Symbol)	(Symbol)	PROPOSED EASEMENT
(Symbol)	(Symbol)	EXISTING EASEMENT
(Symbol)	(Symbol)	PROPOSED LOT
(Symbol)	(Symbol)	EXISTING LOT
(Symbol)	(Symbol)	PROPOSED DRIVEWAY
(Symbol)	(Symbol)	EXISTING DRIVEWAY
(Symbol)	(Symbol)	PROPOSED UTILITY
(Symbol)	(Symbol)	EXISTING UTILITY
(Symbol)	(Symbol)	PROPOSED FENCE
(Symbol)	(Symbol)	EXISTING FENCE
(Symbol)	(Symbol)	PROPOSED CURB
(Symbol)	(Symbol)	EXISTING CURB
(Symbol)	(Symbol)	PROPOSED GROUND
(Symbol)	(Symbol)	EXISTING GROUND
(Symbol)	(Symbol)	PROPOSED ROAD
(Symbol)	(Symbol)	EXISTING ROAD
(Symbol)	(Symbol)	PROPOSED RAILROAD SPIKE
(Symbol)	(Symbol)	EXISTING RAILROAD SPIKE
(Symbol)	(Symbol)	PROPOSED HYDRANT
(Symbol)	(Symbol)	EXISTING HYDRANT
(Symbol)	(Symbol)	PROPOSED WITNESS POST
(Symbol)	(Symbol)	EXISTING WITNESS POST
(Symbol)	(Symbol)	PROPOSED FENCE CORNER POST
(Symbol)	(Symbol)	EXISTING FENCE CORNER POST
(Symbol)	(Symbol)	PROPOSED UTILITY MARKER
(Symbol)	(Symbol)	EXISTING UTILITY MARKER

SHEET INDEX	
SHEET	DESCRIPTION
1	TITLE SHEET
2	TENTATIVE MAP
3	PRELIMINARY GRADING PLAN
4	UTILITY PLAN
5	STORM WATER CONTROL PLAN

TM 1

TITLE SHEET

TENTATIVE MAP 01-08
 CREEKSIDE COMMONS
 1005 & 1007 OAK STREET
 CONTRA COSTA COUNTY

CITY OF CLAYTON

CALIFORNIA

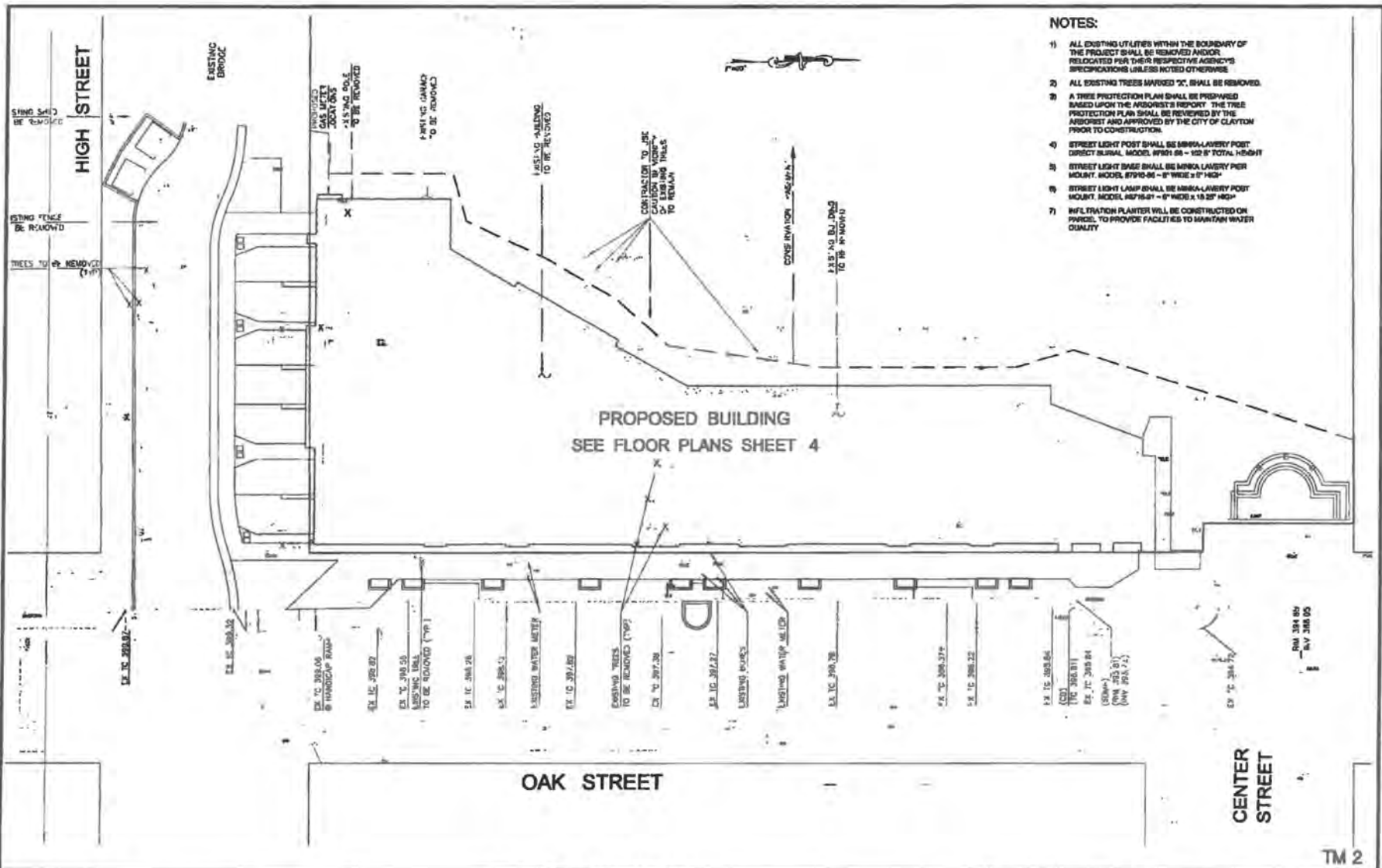
AMSEL, COUNTESS
 05/16/12 DATE 8/27/12

REVISION	DATE



DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 TEL: 925/837-3780
 FAX: 925/837-4378

Date: 8/29/2010
 Scale: 1" = 20'
 By: JED/ML
 Job No: 01-08



NOTES:

- 1) ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE PROJECT SHALL BE REMOVED AND/OR RELOCATED PER THEIR RESPECTIVE AGENCY'S SPECIFICATIONS UNLESS NOTED OTHERWISE.
- 2) ALL EXISTING TREES MARKED 'X' SHALL BE REMOVED.
- 3) A TREE PROTECTION PLAN SHALL BE PREPARED BASED UPON THE ARBORIST'S REPORT. THE TREE PROTECTION PLAN SHALL BE REVIEWED BY THE ARBORIST AND APPROVED BY THE CITY OF CLAYTON PRIOR TO CONSTRUCTION.
- 4) STREET LIGHT POST SHALL BE MINNA-LAVERY POST, DIRECT BURIAL, MODEL #W91-88 - 102' TOTAL HEIGHT.
- 5) STREET LIGHT BASE SHALL BE MINNA-LAVERY PIER, MOUNT, MODEL #P91-88 - 8" WIDE x 17" HIGH.
- 6) STREET LIGHT LAMP SHALL BE MINNA-LAVERY POST, MOUNT, MODEL #L91-81 - 6" WIDE x 15.25" HIGH.
- 7) INFILTRATION PLANTER WILL BE CONSTRUCTED ON PAVEMENT TO PROVIDE FACILITIES TO MAINTAIN WATER QUALITY.

VESTING TENTATIVE MAP

TENTATIVE MAP 01-08
 CREEKSIDЕ COMMONS
 1005 & 1007 OAK STREET
 CONTRA COSTA COUNTY

CITY OF CLAYTON

CALIFORNIA

PROJECT BOOKS
 RENEWAL DATE 2007

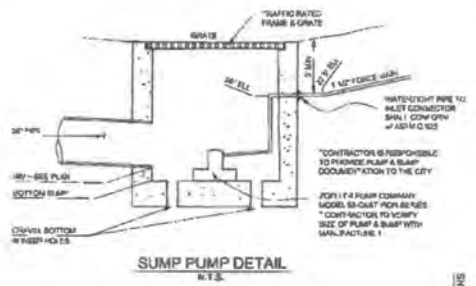
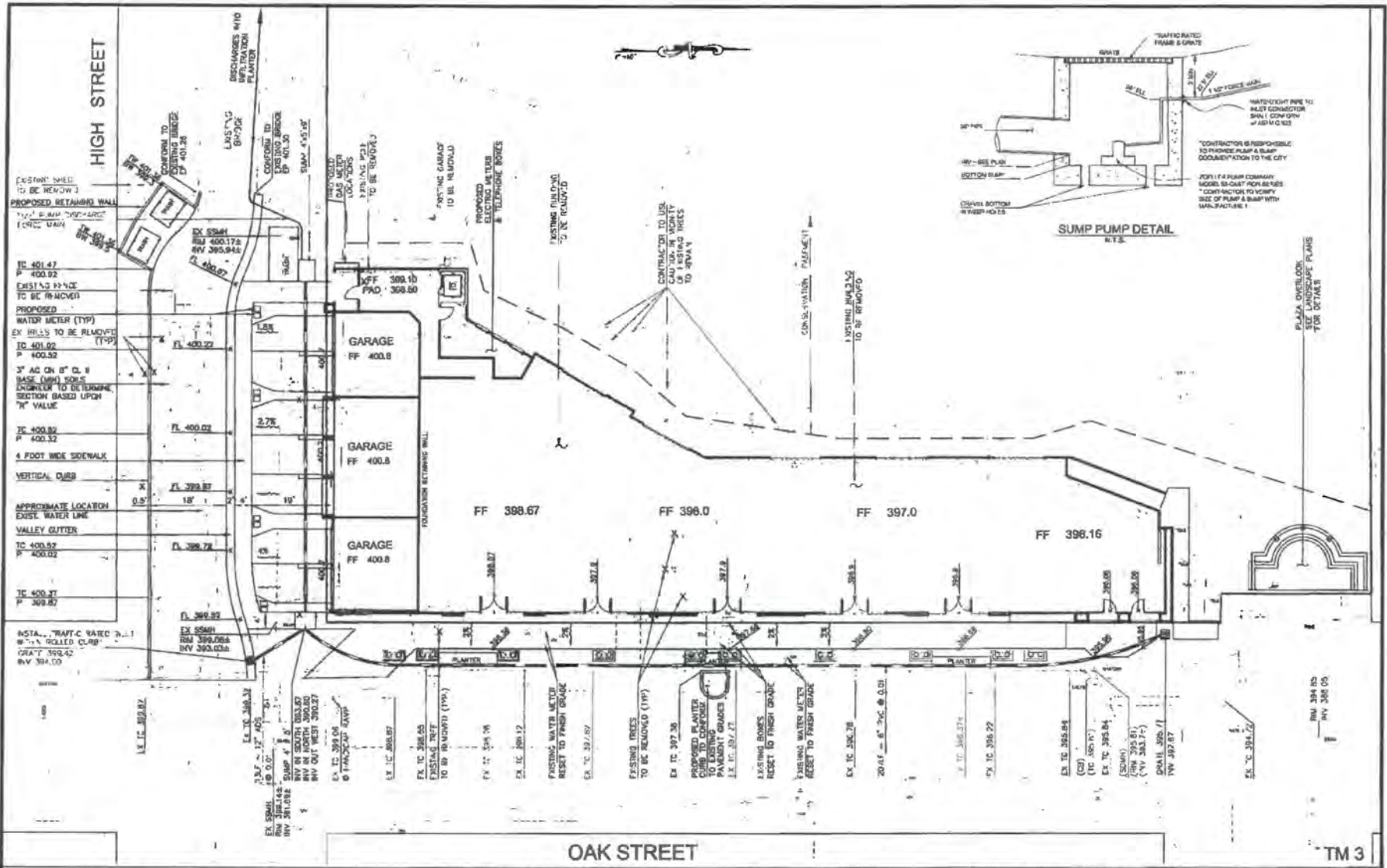
NO.	REVISIONS	DATE



DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 TEL: 925/837-3780
 FAX: 925/837-4378

Date: 4/29/2000
 Scale: 1" = 50'
 By: J.D./H
 Title: P/E
 03/11

TM 2



PRELIMINARY GRADING and DRAINAGE PLAN

TENTATIVE MAP 01-08 CREEKSIDE COMMONS
 1906 & 1807 OAK STREET
 CONTRA COSTA COUNTY

CITY OF CLAYTON

CALIFORNIA

JAMES E. DICHO
 REGISTERED CIVIL ENGINEER
 No. 40012

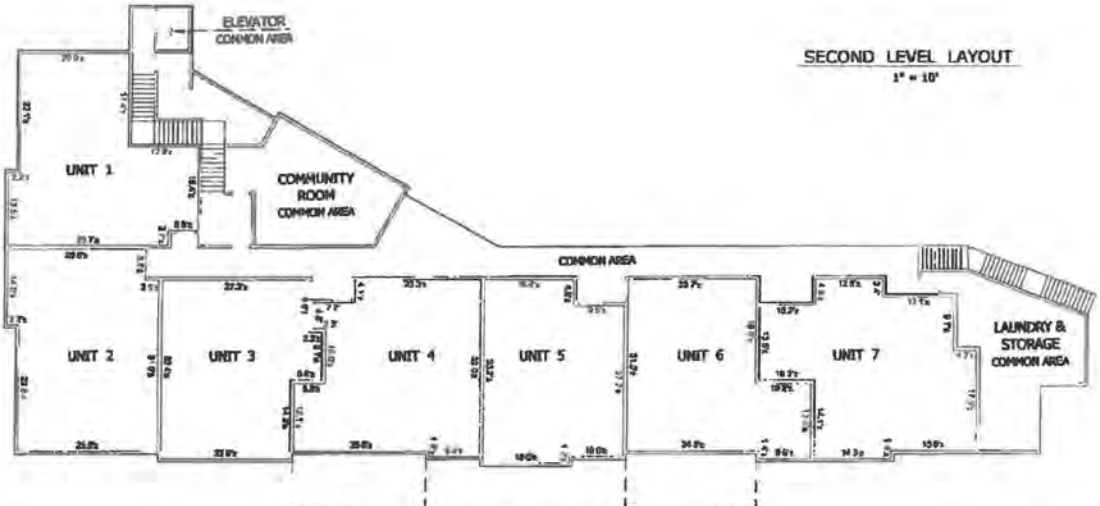
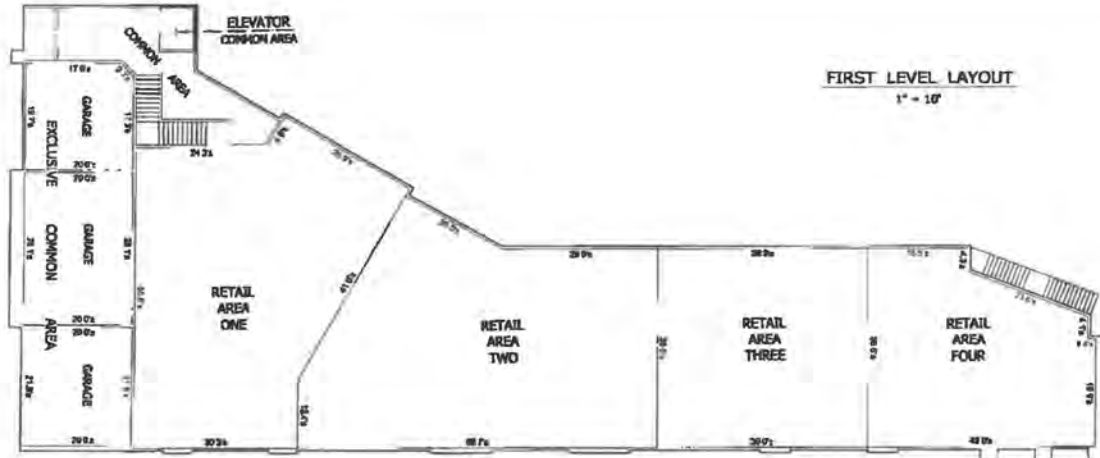
NO.	REVISION	DATE



DeBolt Civil Engineering
 811 San Ramon Valley Boulevard
 Danville, California 94526
 Tel: 925/837-3788
 Fax: 925/837-4376

Date: 4/20/99
 Scale: 1" = 10'
 By: JED/ld
 Job No: 0103
 0403

TM 3



**PRELIMINARY
UNIT LAYOUT**

**TENTATIVE MAP 01-08
CREEKSIDE COMMONS**
1005 & 1007 OAK STREET
CONTRA COSTA COUNTY

CITY OF CLAYTON

CALIFORNIA

WEST BOUND
RECORDING 20177 101' 781'

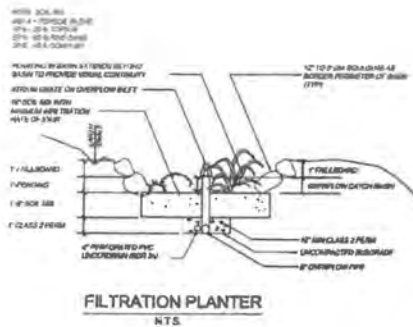
#	REVISIONS	DATE



DeBolt Civil Engineering
811 San Ramon Valley Boulevard
Danville, California 94526
Tel: 925/437-3700
Fax: 925/437-4370

TM 4

Date: 4/24/2010
Scale: 1" = 10'
By: P/D/M
Job No: 100133



FILTRATION PLANTER
NTS

UNDERGROUND STORAGE REQUIREMENTS

THE SIZING OF THE FLOW-BASED TREATMENT FACILITIES IN CONTRA COSTA COUNTY IS BASED UPON A STORM DEPTH OF 8.8 INCHES. IN ORDER TO PREVENT UNREGULATED RUNOFF FROM EXITING THE STORM SYSTEM, THE PROJECT HAS PROVIDED UNDERGROUND STORAGE OF RUNOFF FOR THE INITIAL FLOW SHOULD THE DUMP PUMP MALFUNCTION. THE AMOUNT OF STORAGE IS SUMMARIZED AS FOLLOWS:

3 SUMPS (1' X 4' X 8') = 288 CFS
 82 LF 18\"/>

TOTAL STORAGE = 876 CFS

Project Name: Oak Street
 Project Type: Treatment Only
 Location: Clayton
 APN: 119 250 034
 Drainage Area: 15455 sf
 Mean Annual Precipitation: 17.5 in

IV. Areas Draining to IMPs

IMP Name: IMP1 (Soil Type: D)
 IMP Type: Retention Facility
 Soil Type: D

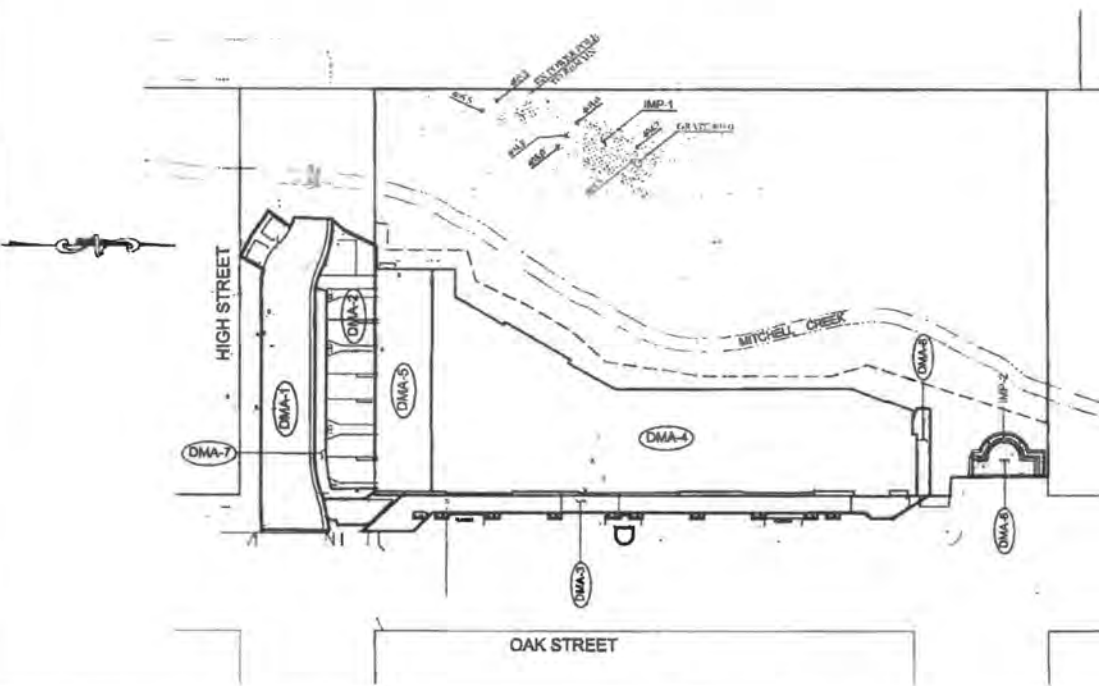
DMA Name	DMA Area (sq ft)	Feet-Project Surface Type	DMA Runoff Factor	DMA Area Runoff	IMP String
DMA-1	2,280	Asphalt	0.45	1,026	
DMA-2	1,775	Asphalt	0.45	796	
DMA-3	1,450	Roof	0.70	1,015	
DMA-4	7,340	Roof	0.70	5,138	
DMA-5	2,500	Roof	0.70	1,750	
DMA-6	175	Concrete	0.45	79	
DMA-7	600	Concrete	0.45	270	
DMA-8	160	Concrete	0.45	72	
TOTAL	15,580			11,706	

Software Tool Warnings
 No warnings to report.

DMA	AREA	SURFACE
DMA-1	2,280 SF	ASPHALT
DMA-2	1,775 SF	ASPHALT
DMA-3	1,450 SF	ROOF
DMA-4	7,340 SF	ROOF
DMA-5	2,500 SF	ROOF
DMA-6	175 SF	CONCRETE
DMA-7	600 SF	CONCRETE
DMA-8	160 SF	CONCRETE
TOTAL	15,580 SF	

IMP	SIZE
1	800 SF
2	60 SF

- LEGEND
- BIO-SWALE / PLANTERS
 - CATCH BASINS
 - STORM DRAIN LINE
 - BARTH SWALES
 - DMA DENOTES AREA (DMA) DRAINAGE MANAGEMENT AREA
 - IMP INTEGRATED MANAGEMENT PRACTICE



STORM WATER CONTROL
 PLAN EXHIBIT

TENTATIVE MAP 01-08
 1005 & 1007 OAK STREET
 CONTRA COSTA COUNTY

CALIFORNIA
 JAMES COOPER
 REG. CIVIL ENGINEER

NO.	REVISIONS	DATE

DeBolt Civil Engineering
 811 55th Avenue, Davis, CA 95618
 TEL: 925/837-3780 FAX: 925/837-4378

Date: 4/29/2014
 Scale: 1" = 30'
 By: JED / JLD
 Job No: 08133

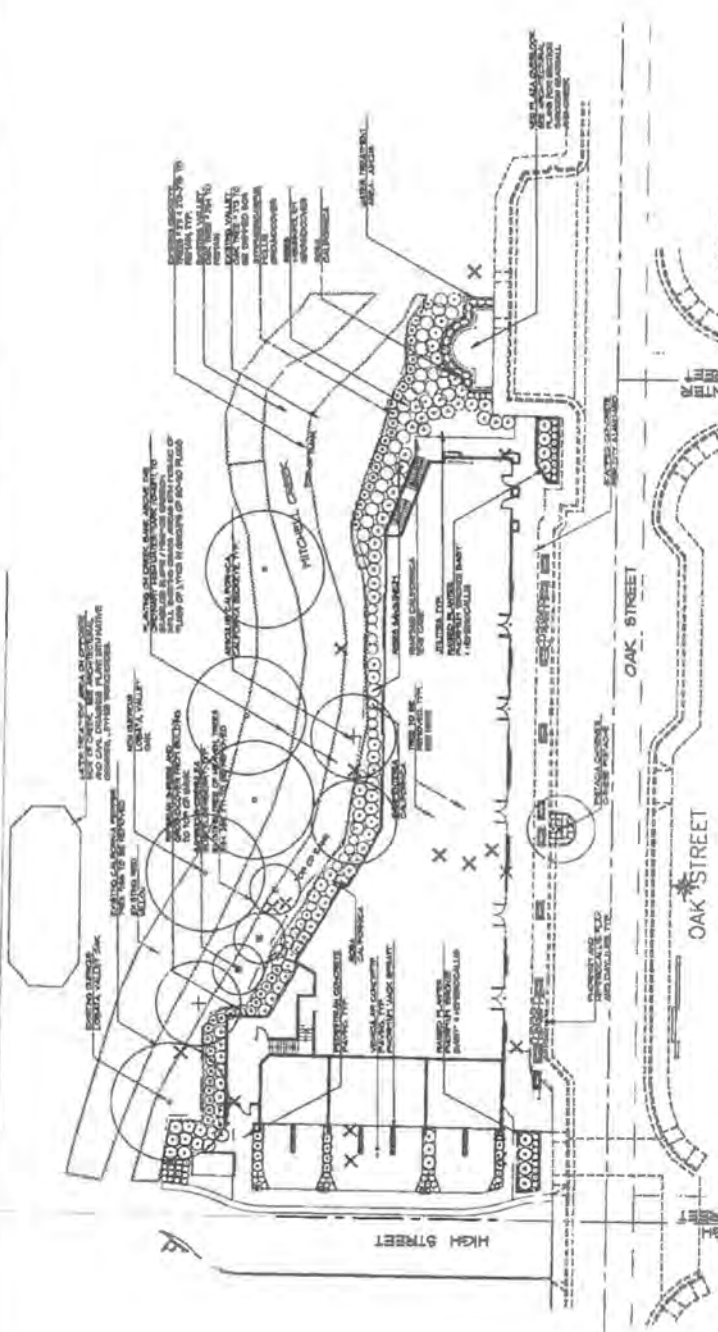
TM 5

GATES & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 LAND PLANNING URBAN DESIGN

3611 North Hollywood Blvd. Suite 200, Los Angeles, CA 90028
 Tel: 310.460.5174 Fax: 310.460.5180
 WWW.GATES.COM

**CREEKSIDE
 TERRACE**

1005-1007 OAK ST.
 CLAYTON, CALIFORNIA

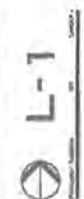


DATE: 08/11/11
 DRAWN BY: [Signature]



PROJECT NAME: CITY OF CLAYTON
 ADDRESS: 1005-1007 OAK ST.
 SHEET: L-1 OF 1

**PRELIMINARY PLANNING AND
 CREEK ENHANCEMENT PLAN**



NOTES

1. SEE THESE SPECIFICATIONS FOR THE PROPOSED PLANTING AND PLANTING SCHEDULE. PLANTING SHALL BE INSTALLED BY THE CONTRACTOR AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CLAYTON'S PLANTING SPECIFICATIONS AND THE CITY OF CLAYTON'S PLANTING SCHEDULE.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CLAYTON'S PLANTING SPECIFICATIONS AND THE CITY OF CLAYTON'S PLANTING SCHEDULE.
4. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CLAYTON'S PLANTING SPECIFICATIONS AND THE CITY OF CLAYTON'S PLANTING SCHEDULE.
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10. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF CLAYTON'S PLANTING SPECIFICATIONS AND THE CITY OF CLAYTON'S PLANTING SCHEDULE.

TREE LEGEND

- 1. SHRUBS TO BE REPLACED
- 2. SHRUBS TO BE REPLACED
- 3. SHRUBS TO BE REPLACED
- 4. SHRUBS TO BE REPLACED

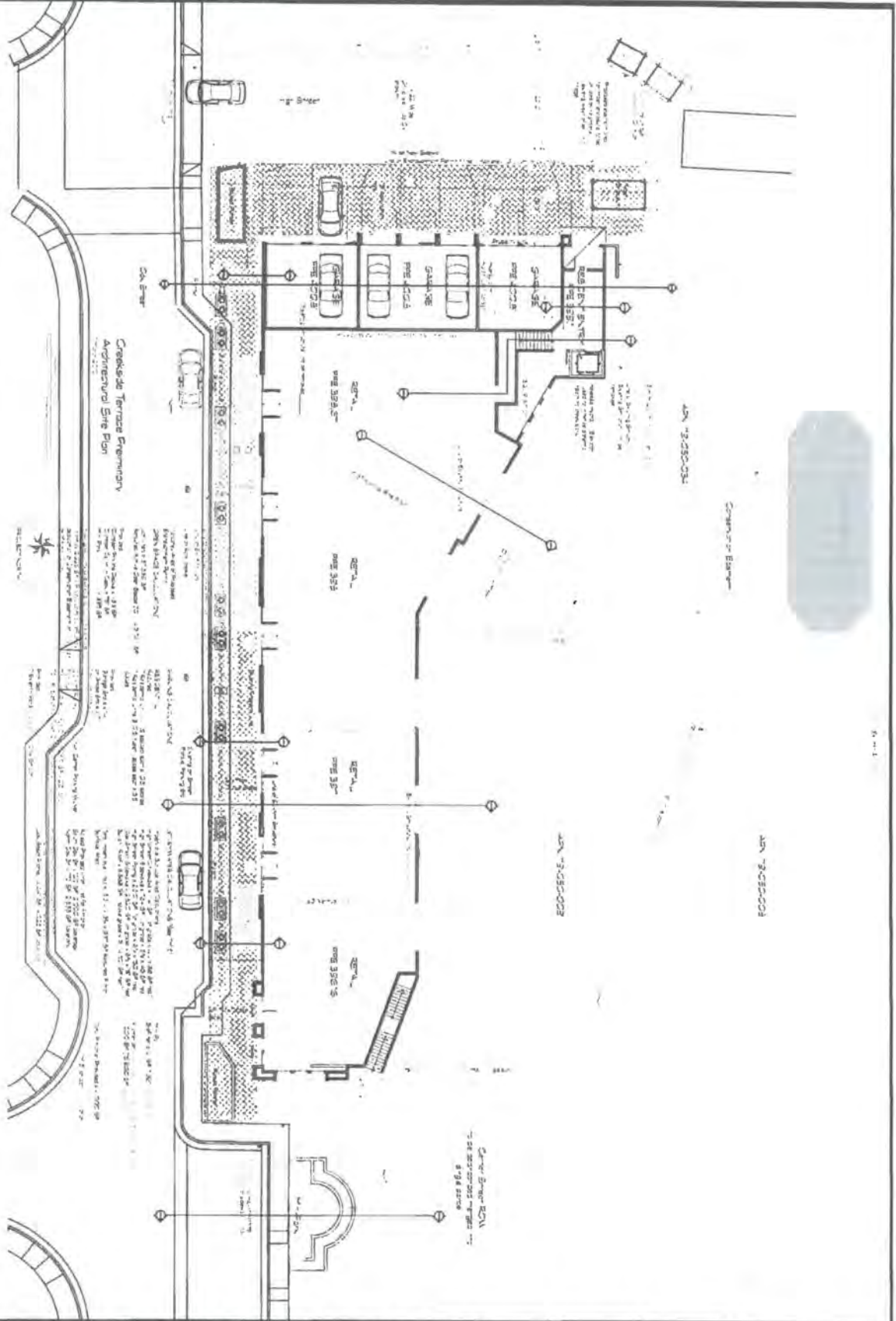
PLANT LIST

SYMBOL	PLANT NAME	SIZE	NOTES
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4	PLANTING TO BE REPLACED		
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LAYOUT LEGEND

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- 100. PLANTING TO BE REPLACED

1
Architectural Site Plan



<p>Architectural Site Plan</p> <p>A-1.1</p> <p>SHEET 6 OF 11</p>	<p>Creekside Terrace</p> <p>1005 - 1007 Oak Street, Clayton, CA</p> <p>City of Clayton, Redevelopment Agency</p>		<p>CONSULTANTS</p> <p><i>f/x</i></p> <p>PO Box 974 Clayton, CA 94517</p>
--	---	--	--

A-1.2
SHEET 8 OF 17

1st Floor Plan

DATE: 08/14/18

PROJECT NO: 20078

MODEL FILE: 180818.dwg

DRAWN BY: JMS

CHECKED BY: JMS

DATE: 08/14/18

SCALE: AS SHOWN

PROJECT NO: 20078

MODEL FILE: 180818.dwg

DRAWN BY: JMS

CHECKED BY: JMS

DATE: 08/14/18

SCALE: AS SHOWN

PROJECT NO: 20078

MODEL FILE: 180818.dwg

DRAWN BY: JMS

CHECKED BY: JMS

DATE: 08/14/18

SCALE: AS SHOWN

PROJECT NO: 20078

MODEL FILE: 180818.dwg

DRAWN BY: JMS

CHECKED BY: JMS

DATE: 08/14/18

SCALE: AS SHOWN

PROJECT NO: 20078

MODEL FILE: 180818.dwg

DRAWN BY: JMS

CHECKED BY: JMS

DATE: 08/14/18

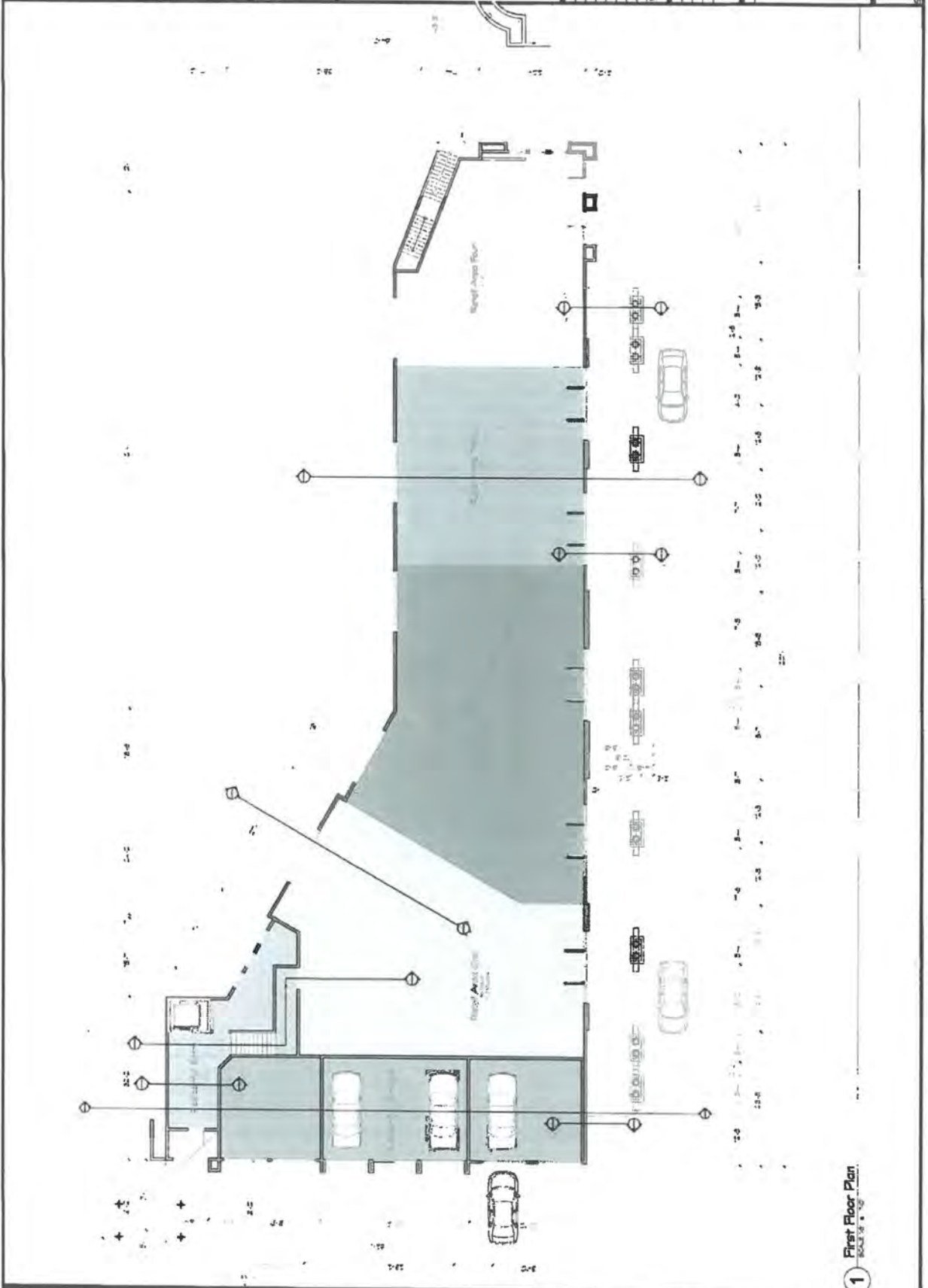
SCALE: AS SHOWN

Creekside Terrace
1005 - 1007 Oak Street, Coyton, CA
City of Coyton, Redevelopment Agency



COMMENTS:

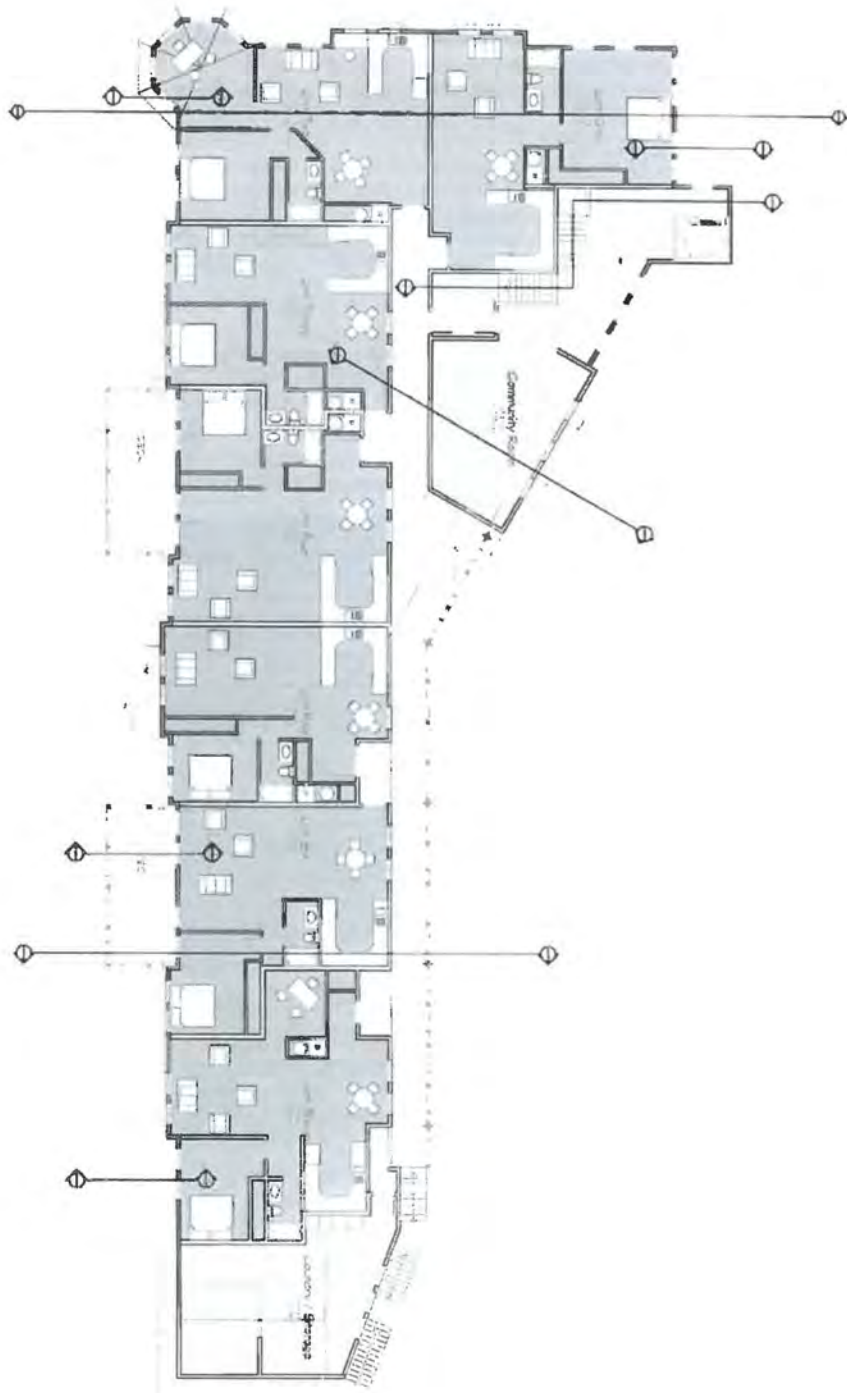
f/x
PO Box 974
Coyton, CA 94517



1 First Floor Plan
SCALE: 1/8" = 1'-0"

Drawn Using AutoCAD 2018 Project: Creekside Terrace - 1005-1007 Oak Street, Coyton, CA

1 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROJECT NO. 270018
 SHEET NO. A-1.3
 OF 7

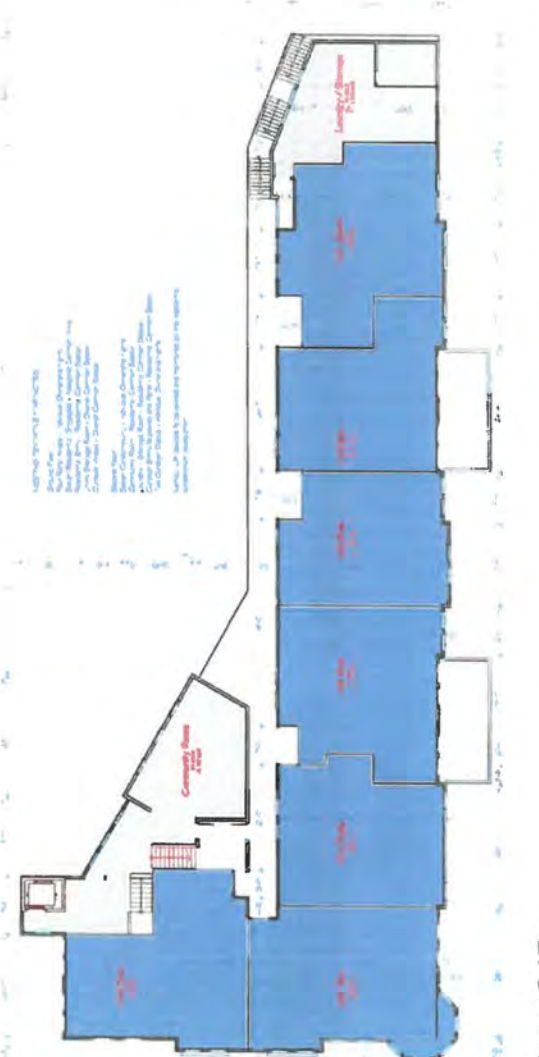
2nd Floor Plan

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	08/11/10
2	ISSUED FOR CONSTRUCTION	08/11/10
3	ISSUED FOR RECORD	08/11/10
4	ISSUED FOR AS-BUILT	08/11/10
5	ISSUED FOR FINAL REVIEW	08/11/10
6	ISSUED FOR ARCHIVE	08/11/10
7	ISSUED FOR CLOSURE	08/11/10
8	ISSUED FOR DECOMMISSION	08/11/10

Creekside Terrace
 1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency



CONSULTANTS
 f/x
 PO Box 974
 Clayton, CA 94517



GLASS FLOOD BARRIER

... [Detailed description of glass flood barrier features and benefits]

Superspeed™ Series

... [Detailed description of Superspeed Series elevators]



Glass Flood Barrier

... [Detailed description of glass flood barrier features and benefits]

Auto Lift Cur Sheet

... [Detailed description of Auto Lift Cur Sheet elevators]

TM Layout 1st Floor

... [Detailed description of TM Layout 1st Floor elevators]



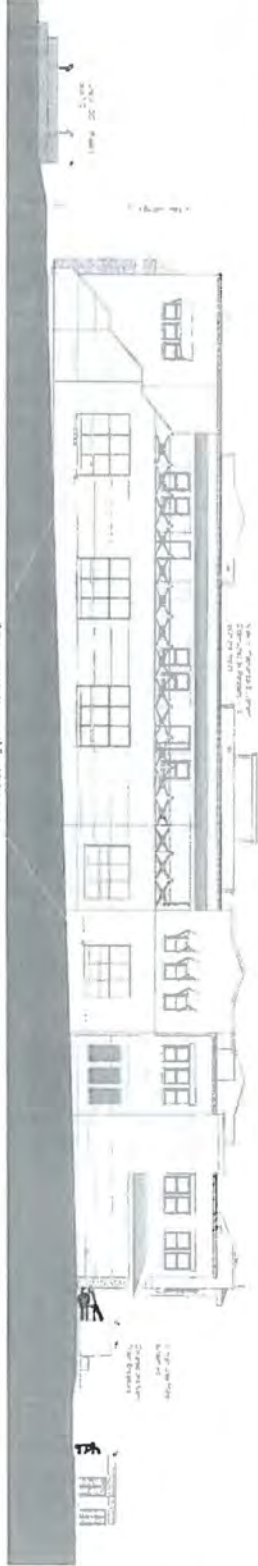
○ North Elevation
SCA 331-12



○ South Elevation
SCA 331-13



○ East Elevation
SCA 331-14



○ West Elevation
SCA 331-15

Elevations	
PROJECT NO.	2700 VERA
DATE	06/21/10
DRAWN BY	MM
CHECKED BY	MM
SCALE	AS SHOWN
PROJECT NO.	2700 VERA
DATE	06/21/10
DRAWN BY	MM
CHECKED BY	MM
SCALE	AS SHOWN

Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency



COMMENTS
f/x
PO Box 974
Clayton, CA 94517

A-2.1
SHEET 10 OF 17

CONSULTANTS
 f/x
 PO Box 97A
 Cayton, CA 94517

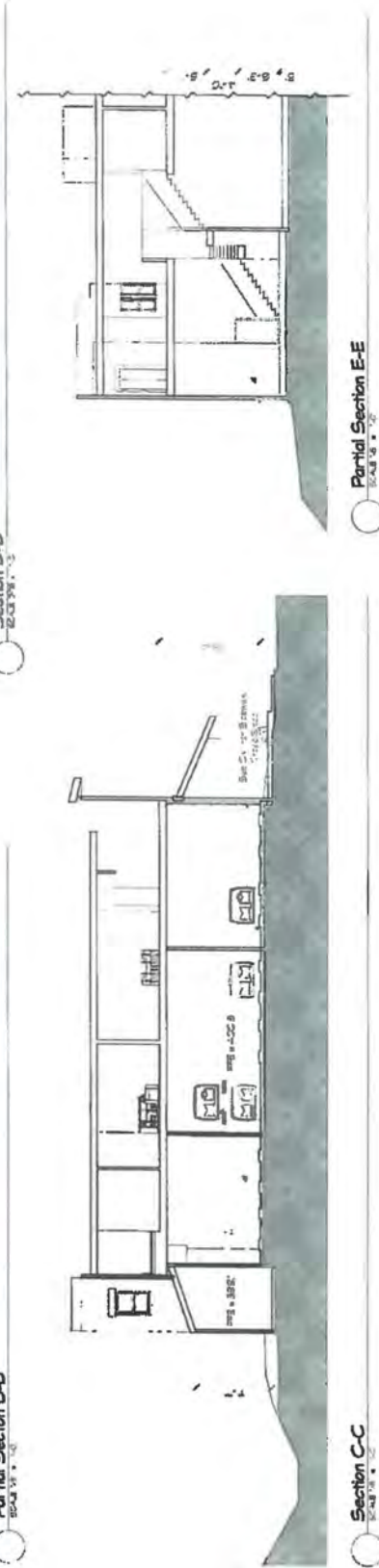
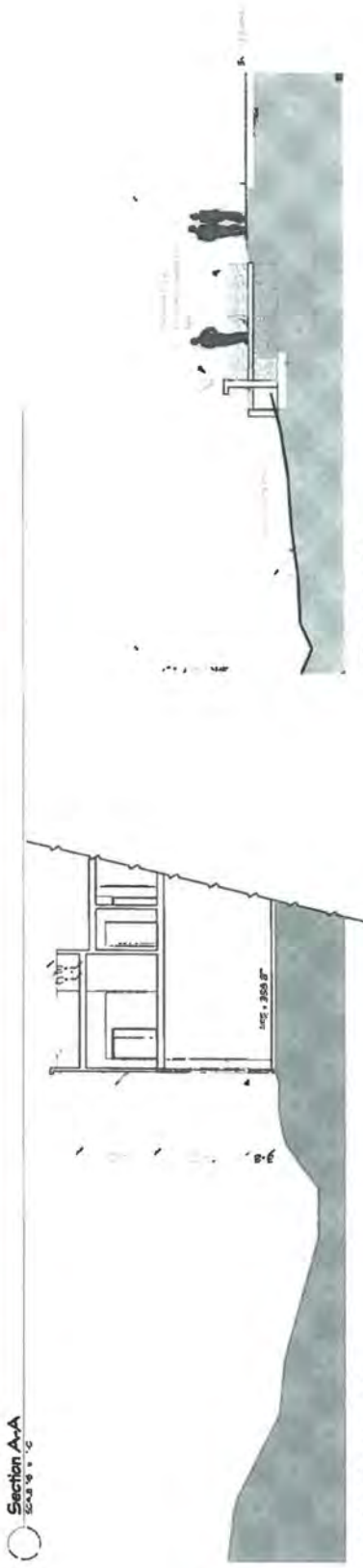
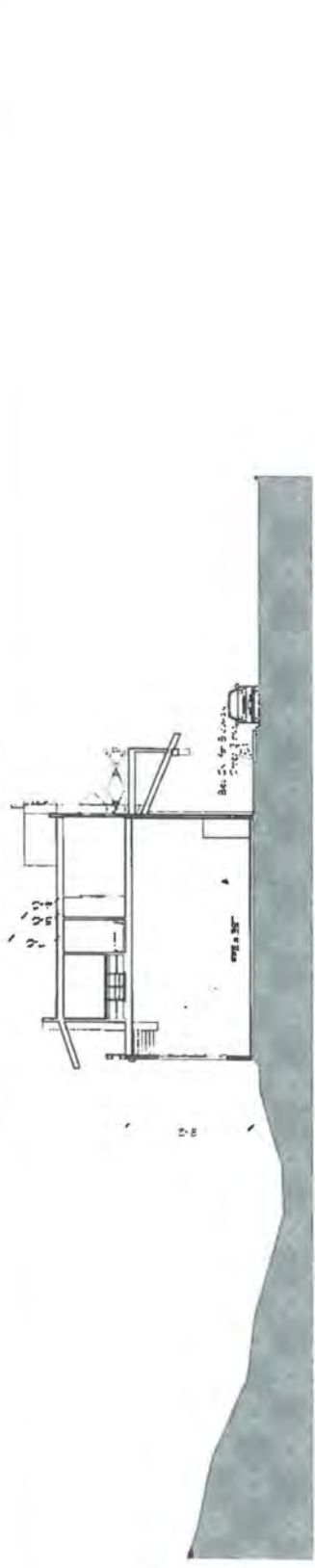


City of Cayton, Redevelopment Agency
 1005 - 1007 Oak Street, Cayton, CA
Creekside Terrace

PROJECT NO.	200708
PROJECT FILE	
DATE	08/01/14
DESIGNED BY	DM
CHECKED BY	DM
DATE	08/01/14
PROJECT NO.	200708
PROJECT FILE	
DATE	08/01/14
DESIGNED BY	DM
CHECKED BY	DM
DATE	08/01/14

Sections
 SHEET TITLE

A-3.1
 SHEET NO. OF 7





Dental Molding



Parapets



Railing Detail



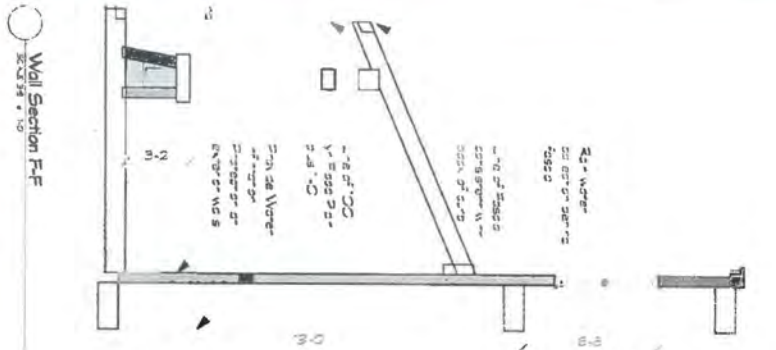
Retail Columns



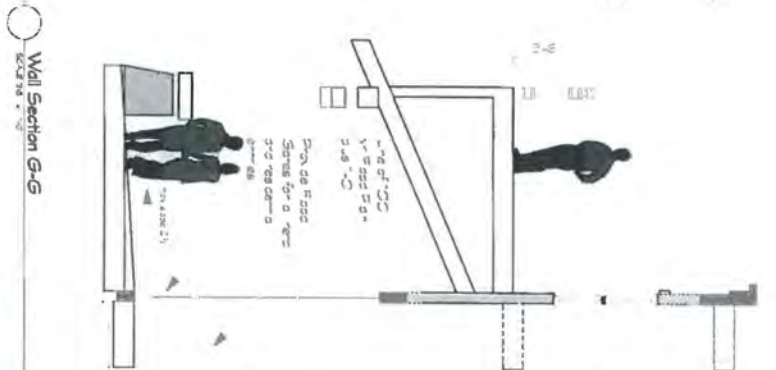
Window Awning



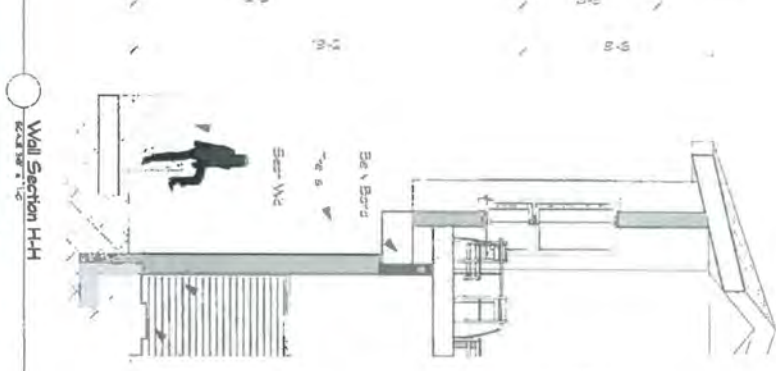
Flood Gates



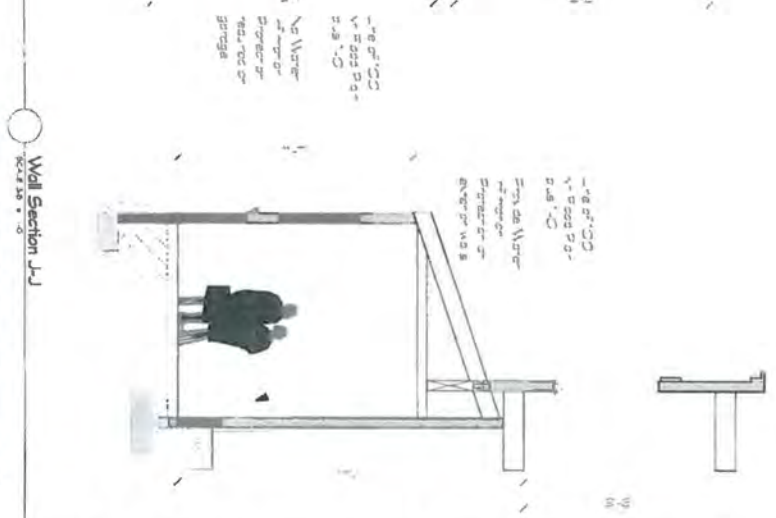
Wall Section F-F
Scale: 1/8\"/>



Wall Section G-G
Scale: 1/8\"/>



Wall Section H-H
Scale: 1/8\"/>



Wall Section J-J
Scale: 1/8\"/>

A-3.2	
SHEETS OF 7	
Wall Sections and Details	
SECTION NO.	207018
DATE	06/11/10
DESIGNED BY	CHUCK BRYANT
CHECKED BY	CHUCK BRYANT
APPROVED BY	CHUCK BRYANT
PROJECT NO.	200718
CLIENT	CITY OF CLAYTON

Creekside Terrace
1005 - 1007 Oak Street, Clayton, CA
City of Clayton, Redevelopment Agency



CONSULTANTS
f/x
PO Box 974
Clayton, CA 94517


 RIZ
/x
CONSULTANTS
PO Box 874
Coyote, CA 94517



City of Coyote, Redevelopment Agency
 1005 - 1007 Oak Street, Coyote, CA
**Terrace
Creekside**

PROJECT NO.	25078
DATE	07/2017
CLIENT	City of Coyote
DESIGNER	RIZ/f/x
PROJECT LOCATION	1005 - 1007 Oak Street, Coyote, CA
PROJECT TYPE	Residential
PROJECT PHASE	Architectural

Color and Materials - East Elevation

1. BOARD AND BATTEN
 2. DARK CEMENT PLASTER
 3. LIGHT BROWN STUCCO
 4. LIGHT TAUPE STUCCO
 5. LIGHT CEMENT PLASTER
 6. LIGHT TAUPE
 7. LIGHT BROWN STUCCO
 8. STONE
 9. ROOFING
 10. WINDOWS
 11. WINDOWS

DISCUSSION
 The proposed exterior color palette includes a variety of textures with varying shades of color. The exterior color palette includes a variety of textures with varying shades of color. The exterior color palette includes a variety of textures with varying shades of color.

COLORS
 1. BOARD AND BATTEN
 2. DARK CEMENT PLASTER
 3. LIGHT BROWN STUCCO
 4. LIGHT TAUPE STUCCO
 5. LIGHT CEMENT PLASTER
 6. LIGHT TAUPE
 7. LIGHT BROWN STUCCO
 8. STONE
 9. ROOFING
 10. WINDOWS
 11. WINDOWS

1. BOARD AND BATTEN
 2. DARK CEMENT PLASTER
 3. LIGHT BROWN STUCCO
 4. LIGHT TAUPE STUCCO
 5. LIGHT CEMENT PLASTER
 6. LIGHT TAUPE
 7. LIGHT BROWN STUCCO
 8. STONE
 9. ROOFING
 10. WINDOWS
 11. WINDOWS

View from Flora Square



A-4.2
04/21/16
04/21/16

View From Flora Square

NO.	DATE	DESCRIPTION
01	04/21/16	Site Plan
02	04/21/16	Site Plan
03	04/21/16	Site Plan
04	04/21/16	Site Plan
05	04/21/16	Site Plan
06	04/21/16	Site Plan
07	04/21/16	Site Plan
08	04/21/16	Site Plan
09	04/21/16	Site Plan
10	04/21/16	Site Plan
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50	04/21/16	Site Plan

Creekside Terrace
 1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency



Viz f/x
 PO Box 974
 Clayton, CA 94517

View From High Street

View from High Street



PROJECT NO.	20087
DATE	08/15/19
BY	AM
CHECKED BY	AM
DATE	08/15/19
PROJECT NAME	1005 - 1007 Oak Street, Coyote, CA
CLIENT	City of Coyote, Redevelopment Agency
SCALE	AS SHOWN
DATE	08/15/19
BY	AM
CHECKED BY	AM
DATE	08/15/19

Creekside Terrace
1005 - 1007 Oak Street, Coyote, CA
City of Coyote, Redevelopment Agency



CONSULTANTS

PO Box 974
Coyote, CA 94517
f/x

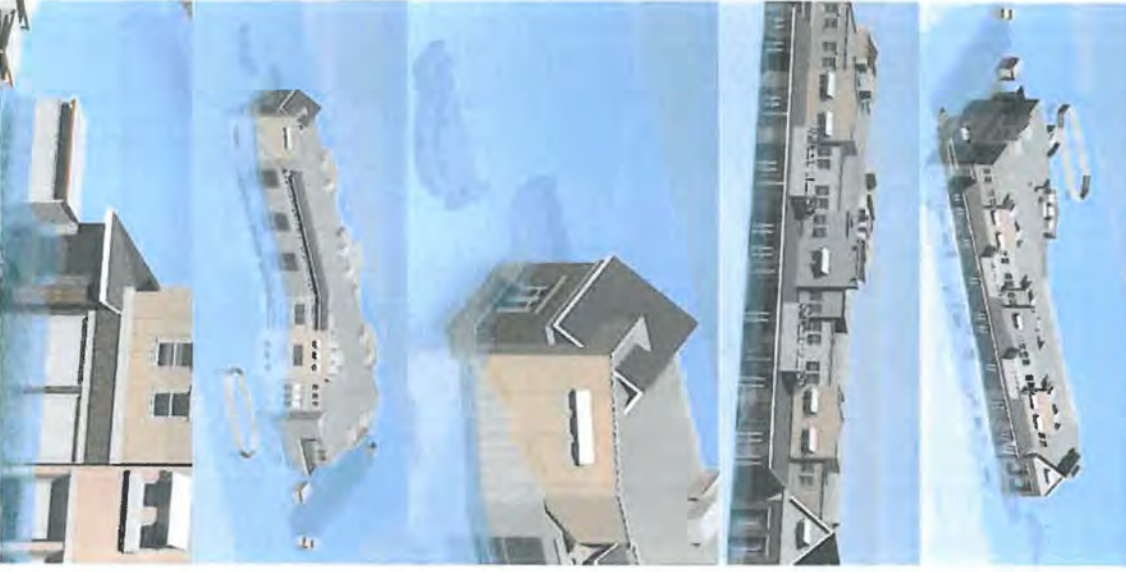
NOTES TO PLANNERS

The following information is provided for your information and is not intended to be used as a basis for any other action. The information is based on the best available data and is subject to change without notice. The information is provided for your information and is not intended to be used as a basis for any other action. The information is based on the best available data and is subject to change without notice.



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
 FIRM NUMBER: 1701010010000000
 EFFECTIVE DATE: 08/01/2005
 FIRM TYPE: 1
 FIRM CATEGORY: 1
 FIRM SUBCATEGORY: 1
 FIRM ZONE: 1
 FIRM ZONE DESCRIPTION: 1
 FIRM ZONE CODE: 1



Flood Data

NO.	DATE	DESCRIPTION
1	02/27/02	Site Survey
2	02/27/02	Site Survey
3	02/27/02	Site Survey
4	02/27/02	Site Survey
5	02/27/02	Site Survey
6	02/27/02	Site Survey
7	02/27/02	Site Survey
8	02/27/02	Site Survey
9	02/27/02	Site Survey
10	02/27/02	Site Survey

PROJECT NO: 200705
 PROJECT NAME: Creekside Terrace
 CLIENT: City of Clayton
 CONTRACT NO: 20070504

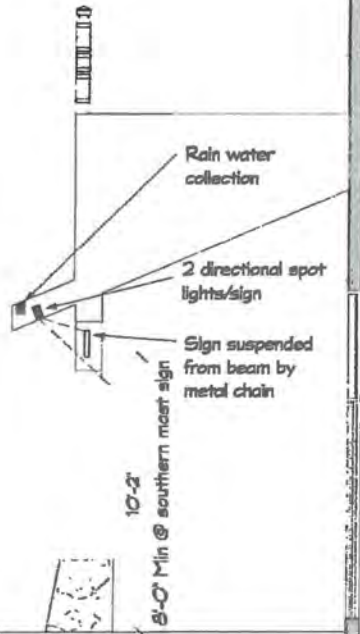
Creekside Terrace
 1005 - 1007 Oak Street, Clayton, CA
 City of Clayton, Redevelopment Agency



CONSULTANTS

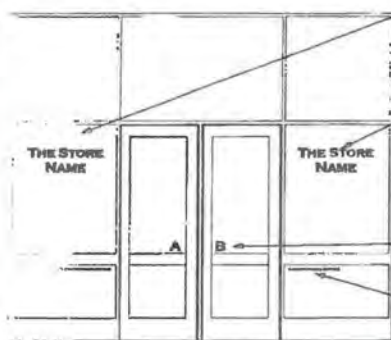
f/x
 PO Box 874
 Clayton, CA 94517

A-5.1
 OF 7



Sign Section
SCALE: 1/8" = 1'-0"

Note: High Street to have one monument sign to identify residential entry address. Plus stenciled 4" garage door identifiers (1-7 lower corner of door)



Store Front Stencil
SCALE: 1/8" = 1'-0"

Signage Calculations
200 sf Oak St. frontage

200 sf max signage allowable

Hanging Signs: 7sf/sign x 7 signs = 49 total sf of hanging signage

Monument Sign: 2x10 = 20 sf of monument sign

Max. 131 sf of window signage allowed, 10.9 sf/panel (12 panels)

Stenciled Lettering
Rust colored to match wood signs, typical

4" High Store Name
Centered. 40% of Glazed Area Max. or average 10.9 sf / glazed panel

4" Suite Label

1" High Hours and Emergency Contact Info



Lettering Styles - Font = Copper Plate Gothic
NOT TO SCALE

2" Deep Wood Sign with 1/2" recessed face

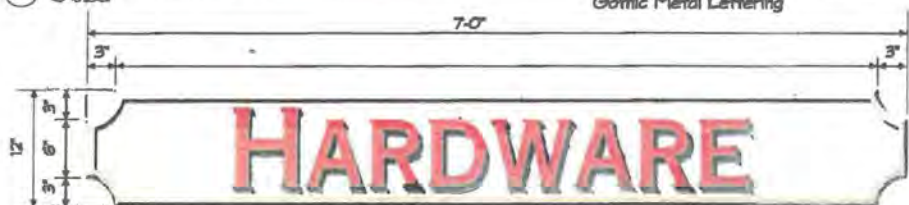
Signs suspended from beam @ overhang by metal chain and eyelets

1" Radius edge

Painted Brown backing with Cream colored lettering field

Rust colored 8" or 9" Raised Copper Plate Gothic Metal Lettering

Typical Sign Characteristics
NOT TO SCALE



Typical Hanging Sign Sizing
NOT TO SCALE



Signage Locations
SCALE: 1/8" = 1'-0"

fix
PO Box 974
Coyote, CA 94527

COMMENTS



Creekside Terrace
1005 - 1007 Oak Street, Coyote, CA
City of Coyote, Redevelopment Agency

NO	DATE	BY	DESCRIPTION
01	02/27/10	Jim Summers	
02	02/28/10	Jim Summers	
03	03/02/10	RC Summers	
04	03/02/10	RC Summers	

PROJECT NO. 20096
DCS FILE
DESIGN BY: CS
CHECK BY: CS
COPYRIGHT 2010 V28

SHEET TITLE

Building Signage

A-6.1
SHEET 20 OF 17

Creekside Terrace V02 Project: Creekside Terrace - 1005-1007 Oak Street, Coyote, CA 94527

**CITY OF CLAYTON PLANNING COMMISSION
RESOLUTION NO. 07-19**

**ONE-YEAR EXTENSION
OF THE CREEKSIDE TERRACE DEVELOPMENT PLAN AND VESTING TENTATIVE MAP
(DP-01-08 and MAP-02-09)**

WHEREAS, on July 6, 2010, the Clayton City Council, at a duly-noticed public hearing, adopted an Initial Environmental Study/Mitigated Negative Declaration (IES/MND) and approved the Development Plan and Vesting Tentative Map for the Creekside Terrace Mixed Use project; and

WHEREAS, the Creekside Terrace Development Plan (DP-01-08) allows for approximately 7,200 square feet of commercial space on the ground floor and seven residential units on the second floor and the Vesting Tentative Map creates four commercial condominium units on the ground floor, seven residential units on the second floor, and common and conservation areas on the property; and

WHEREAS, Section 17.28.190 of the Clayton Municipal Code states that "if within 18 months after the approval by the City Council of the Development Plan Permit construction has not commenced, then the Development Plan Permit shall become null and void"; and

WHEREAS, Section 17.28.190 of the Clayton Municipal Code allows approval of one-year incremental time extensions by the Planning Commission or the City Council of a Development Plan; and

WHEREAS, Section 16.06.030 of the Clayton Municipal Code states that the "time limits specified in [Title 16] for reporting and acting on maps may be extended by mutual consent of the subdivider and the Planning Commission or City Council"; and

WHEREAS, the specified entitlement-related time limits were due to lapse prior to the City being able to execute and follow through with development of the property, therefore, as a result, the City has kept the subject entitlements active by adopting the appropriate extensions; and

WHEREAS, in accordance with Section 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on October 25, 2011 to consider a request for a one-year extension of the Development Plan and gave due consideration to all testimony, comments, and documents received regarding the extension request; and

**Planning Commission
Resolution No. 07-19**

WHEREAS, at their meeting of October 25, 2011, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2013; and

WHEREAS, in accordance with Section 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 11, 2012 to consider a request for a one-year extension of the Development Plan and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of December 11, 2012, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2014; and

WHEREAS, in accordance with Section 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 10, 2013 to consider a request for a one-year extension of the Development Plan and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of December 10, 2013, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2015; and

WHEREAS, in accordance with Section 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 9, 2014 to consider a request for a one-year extension of the Development Plan and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of December 9, 2014, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2016; and

WHEREAS, on July 15, 2011, the Governor of California signed into law Assembly Bill 208, which extended for two years the life of those Tentative and Vesting Tentative Maps that were still alive on July 15, 2011 and would otherwise expire before January 1, 2014; and

WHEREAS, the Creekside Terrace Vesting Tentative Map (MAP-02-09) was extended until July 6, 2014 by this gubernatorial action; and

WHEREAS, on July 11, 2013, the Governor of California signed into law Assembly Bill 116, which extended for two years the life of those Tentative and Vesting Tentative Maps that were still alive on July 11, 2013; and

WHEREAS, the Creekside Terrace Vesting Tentative Map has been extended until July 6, 2016 by this gubernatorial action; and

**Planning Commission
Resolution No. 07-19**

WHEREAS, in order to keep the Vesting Tentative Map alive for future development negotiations and opportunities, and in order to have consistent time extensions between the Development Plan and Vesting Tentative Map, the City sought Planning Commission approval of a six-month time extension of the Vesting Tentative Map; and

WHEREAS, in accordance with Sections 16.06.030 and 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 8, 2015 to consider a request for a one-year extension of the Development Plan and a six-month extension of the Vesting Tentative Map and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of December 8, 2015, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2017; and

WHEREAS, in accordance with Sections 16.06.030 and 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 13, 2016 to consider a request for a one-year extension of the Development Plan and Vesting Tentative Map and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of December 13, 2016, the Planning Commission approved the time extension request, extending the approval of the project until January 6, 2018; and

WHEREAS, in accordance with Sections 16.06.030 and 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on January 9, 2018 to consider a request for a one-year extension of the Development Plan and Vesting Tentative Map and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of January 9, 2018, the Planning Commission approved the time extension request, extending the approval of the project through January 9, 2019; and

WHEREAS, in accordance with Sections 16.06.030 and 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on January 9, 2019 to consider a request for a one-year extension of the Development Plan and Vesting Tentative Map and gave due consideration to all testimony, comments, and documents received regarding the time extension request; and

WHEREAS, at their meeting of January 9, 2019, the Planning Commission approved the time extension request, extending the approval of the project through January 6, 2020; and

**Planning Commission
Resolution No. 07-19**

WHEREAS, the Town Center Specific Plan provides primary guidance for development of the subject property, the approval of the Development Plan and Vesting Tentative Map were found to be in conformance with the Specific Plan, and there have been no amendments since that approval or other changes in information or circumstances that would warrant not approving the request for a one-year extension; and

WHEREAS, the findings and the mitigation measures of the adopted project IES/MND continue to be valid as do the findings for project approval and the conditions of approval in the approving City Council Resolution; and

WHEREAS, in order to keep the Development Plan alive for future development negotiations and opportunities, the City is seeking Planning Commission approval of another one-year time extension of the Development Plan and Vesting Tentative Map; and

WHEREAS, in accordance with Sections 16.06.030 and 17.28.190 of the Clayton Municipal Code, the Planning Commission held a duly-noticed public hearing on December 10, 2019 to consider the request for the subject one-year extension of the Development Plan and the Vesting Tentative Map and gave due consideration to all testimony, comments, and documents received regarding the time extension request.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission finds the previously-stated recitals to be true and accurate and, accordingly, approves the request for a one-year extension of the Creekside Terrace Development Plan and Vesting Tentative Map through January 6, 2021, subject to the findings and conditions in the attached approving City Council Resolution No. 27-2010 for the project.

PASSED AND ADOPTED by the Planning Commission of the City of Clayton at a regular meeting on the 10th day of December 2019.

APPROVED:

ATTEST:

Peter Cloven
Chair

David Woltering, AICP, MPA
Interim Community Development Director

EXHIBIT

A. City Council Resolution No. 27-2010 for the Creekside Terrace Mixed Use Project

RESOLUTION NO. 27-2010

**A RESOLUTION APPROVING THE DEVELOPMENT PLAN FOR THE CREEKSIDE
TERRACE MIXED USE PROJECT
(DP 01-08)**

**THE CITY COUNCIL
City of Clayton, California**

WHEREAS, the Creekside Terrace Mixed Use Project involves the proposed construction of a two-story building, with seven residential units above approximately 7,200 square feet of commercial space on the west side of Oak Street between Center and High Streets in Clayton's Town Center area in conformance with the encouraged land uses and overall vision for the area as expressed in the Town Center Specific Plan; and

WHEREAS, the Creekside Terrace (formerly Rivulet) Project Development Plan application was submitted on January 24, 2008; and

WHEREAS, the Development Plan application is identified as the Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package, dated March 8, 2010 (Planning Commission Submittal), comprised of the following: Title Sheet, Vesting Tentative Map Sheets TM1 – TM5 (Revised April 29, 2010), Preliminary Landscape Plan, Architectural Site Plan, First Floor Plan, Second Floor Plan, Roof Plan, TM – Layout and Cut Sheets, Elevations, Sections, Wall Sections and Details, View from Flora Square, View from High Street, Flood Data, Building Signage Plan (April 23, 2010), and Color Material Board; and

WHEREAS, a Development Plan approval is one of the entitlements being requested as part of this application; additionally, the application involves the request for the adoption of an Initial Environmental Study/Mitigated Negative Declaration (IES/MND), approval of a Vesting Tentative Map, and the approval of an extension of a parking waiver provision for the Town Center area; and

WHEREAS, the Development Plan submittal has been prepared and reviewed in accordance with the provisions of Chapter 17.28 Planned Development (PD) Districts of the Clayton Municipal Code; and

WHEREAS, the Planning Commission held duly-noticed public hearings on May 25, 2010, and June 8, 2010 to consider the Development Plan and related entitlements for the Creekside Mixed Use Project; and

WHEREAS, the draft Creekside Terrace Project IES/MND was prepared and circulated for a 30-day public review period from March 2, 2009 to April 2, 2009, and a public hearing was held before the Planning Commission on March 10, 2009 during this review period; and

WHEREAS, there have been changes to the project as noted in Appendix F as well as mitigation measures agreed to by the project sponsor described in the final draft IES/MND; and

WHEREAS, the Planning Commission considered all relevant information, including the IES/MND, staff reports, background information, the March 8, 2010 Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package including the updated, April 29, 2010, Vesting Tentative Map Sheets TM1 through TM 5, and the Building Signage Plan dated April 23, 2010, as well as public testimony at the above-cited hearings; and

WHEREAS, the environmental analysis determined that measures were available to mitigate potential adverse impacts to insignificant levels. As a result, the project IES/MND serves as a Mitigated Negative Declaration pursuant to Public Resources Code Sections 21064.5 and 21080(c), and Article 6 of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the Planning Commission determined the proposed Development Plan, assuming implementation of the mitigation measures in the project IES/MND and the recommended conditions of approval will not result in a significant adverse environmental impact and will conform with the City's General, Town Center Specific Plan, Zoning Ordinance, applicable provisions of Chapter 17.28, and would be in the public interest as well as support the public necessity, convenience, and general welfare; and

WHEREAS, the Planning Commission approved its Resolutions No. 01-10 and No. 03-10 on June 8, 2010, recommending, respectively, City Council adoption of the Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration, May 2010, for the Creekside Terrace Mixed Use Project and approval of the Development Plan for the proposed project; and

WHEREAS, on July 6, 2010, the City Council held a duly-noticed public hearing and gave due consideration to the Planning Commission's recommendation on this project, all testimony, comments, and documents received pertaining to the related entitlements including the IES/MND, the Development Plan, with associated parking waiver zoning ordinance amendment(s) to Sections 17.37.030.C and 17.37.030.C.3 of the City's Municipal Code, and a Vesting Tentative Map for the Creekside Terrace Mixed Use Project; and

WHEREAS, the City Council determines that the IES/MND identifies measures, including design revisions made and agreed to by the applicant, that are available to mitigate potential adverse impacts to insignificant levels, and, accordingly, the project IES/MND serves as a Mitigated Negative Declaration pursuant to Public Resources Code Sections 21064.5 and 21080(c), and Article 6 of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the City Council determines this Mitigated Negative Declaration describes the proposed project; analyzes, and evaluates the potential significant impacts, which may result

from the proposed project; and, identifies measures to mitigate adverse environmental impacts in accordance with the requirements of CEQA Guidelines Section 15071; and

WHEREAS, the City Council determines the proposed Development Plan, assuming implementation of the mitigation measures in the project IES/MND and the recommended conditions of approval will not result in a significant adverse environmental impact and will conform with the City's General, Town Center Specific Plan, Zoning Ordinance, including applicable provisions of Chapter 17.28, and would be in the public interest as well as support the public necessity, convenience, and general welfare.

NOW, THEREFORE, BE IT RESOLVED THAT:

SECTION 1. The City Council does hereby find and affirm the above-noted recitals are true and correct.

NOW, THEREFORE, BE IT FURTHER RESOLVED THAT:

SECTION 1. The City Council does hereby approve the Development Plan (DP 01-08) for the Creekside Terrace Mixed Use Project.

PASSED, APPROVED, AND ADOPTED by the City Council of the City of Clayton, California, at a regular meeting thereof held on July 6, 2010 by the following vote:

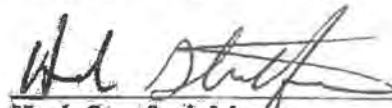
AYES: Mayor Stratford, Vice Mayor Shuey, Councilmembers Geller, Medrano and Pierce.

NOES: None.

ABSENT: None.

ABSTAIN: None.

THE CITY COUNCIL OF CLAYTON, CA



Hank Stratford, Mayor

ATTEST:

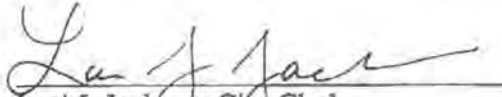


Laci J. Jackson, City Clerk

Attachments:

1. Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration, May 2010 (ENV 01-08) (Available in Clayton Community Development Department)
2. Creekside Terrace Conditions of Approval and Advisory Notes (ENV 01-08, DP 01-08, and MAP 02-09) (Available in Clayton Community Development Department)

I certify that the foregoing resolution was duly and regularly passed by the City Council of the City Clayton at a regular meeting held on July 6, 2010.


Laci J. Jackson, City Clerk

comdev\DP\01-08.CC Reso. Approving Creekside Terrace DP.A

**CREEKSIDE TERRACE
CONDITIONS OF APPROVAL
AND ADVISORY NOTES
(ENV 01-08, DP 01-08, and MAP 02-09)**

These conditions of approval and mitigation measures apply to the following:

- Creekside Terrace Mixed Use Project Land Use Entitlement Submittal Package, dated March 8, 2010 (Planning Commission Submittal), comprised of the following: Title Sheet, Vesting Tentative Map Sheets TM1 – TM5 (Revised April 29, 2010), Preliminary Landscape Plan, Architectural Site Plan, First Floor Plan, Second Floor Plan, Roof Plan, TM – Layout and Cut Sheets, Elevations, Sections, Wall Sections and Details, View from Flora Square, View from High Street, Flood Data, Building Signage Plan (April 23, 2010), and Color Material Board.
- Creekside Terrace Project Initial Environmental Study/Mitigated Negative Declaration (IES/MND), May 2010.

CEQA MITIGATION MEASURES (Creekside Terrace Project IES/MND, May 2010)

1. The following measures shall be adhered to during all construction phases of the Project:
 - Earthmoving or other dust-producing activities shall be suspended during periods of high winds, (i.e., instantaneous wind gusts of 25 mph or greater);
 - All exposed or disturbed soil surfaces shall be watered at least twice daily on any day of high winds or when construction activities occur, including weekends and holidays;
 - Stockpiles of debris, soil, sand or other materials that can be blown by the wind, shall be watered with a soil stabilizer or covered;
 - Construction areas, adjacent streets, and routes for construction traffic shall be swept of all mud and debris by a water sweeper on a daily basis (minimum) on any day when construction activities occur, including weekends and holidays;
 - All trucks hauling soil, sand, or other loose materials shall be covered or maintain at least two feet of freeboard;

A compliance officer (City Engineer unless otherwise identified as part of the grading permit process) shall be responsible for assuring implementation and monitoring of the above requirements. (Air Quality).

2. Pre-construction nesting surveys for raptors and migratory birds protected under the federal Migratory Bird Treaty Act shall be conducted if initial grading and building demolition is to be conducted during the months of March through August. A qualified biologist shall conduct the surveys no more than fourteen (14) days prior to initiation of grading, building demolition, or tree removal. If any of these species are found within the construction area after April of the construction year, grading and construction in the area shall either stop or continue only after the nests are protected by an adequate setback approved by a qualified biologist. If permanent avoidance of nests is not feasible,

impacts on raptor and migratory bird nests shall be minimized by avoiding disturbances to the nest location during the nesting season unless a qualified biologist verifies that the birds have either a) not begun egg-laying and incubation, or b) that the juveniles from those nests are foraging independently and capable of independent survival at an earlier date. No preconstruction surveys are required if grading, building demolition, or tree removal occurs outside the nesting season (September through February). (Biological Resources).

3. A preconstruction survey shall be conducted by a qualified biologist within seven (7) days prior to commencement of construction to confirm absence of any fish, amphibian, or reptile species of concern along the project reach of Mitchell Creek. In the remote instance that listed California red-legged frog or steelhead individuals are encountered, the U.S. Fish and Wildlife Service (USFWS) and National Marine Fisheries Service (NOAA Fisheries) shall be consulted to determine appropriate avoidance measures prior to initiation of any construction activities. Any western pond turtle encountered shall be relocated to secure pool habitat selected by the qualified biologist. (Biological Resources).
4. A qualified biologist shall be retained to oversee construction and ensure that no inadvertent take of California red-legged frog, steelhead, or western pond turtle occurs as a result of short-term disturbance near Mitchell Creek. This shall include the following provisions:
 - a) Prior to any grading or grubbing of the site, the qualified biologist shall conduct a preconstruction survey to confirm absence of any California red-legged frog, steelhead, or western pond turtle on the site, as called for in Mitigation Measure 3. A report summarizing the survey results shall be submitted to the Community Development Director.
 - b) Silt fencing shall be installed at the west edge of the construction zone and to the east and west of the top of bank, buried a minimum of six inches and extending a minimum of two feet above grade, to serve as a barrier to keep ground mobile wildlife dispersing along the creek corridor from entering the construction zone. The fencing shall remain in place during the entire construction period.
 - c) Construction workers shall be trained by the qualified biologist regarding the potential presence of California red-legged frog and western pond turtle, that these species are to be avoided, that the foreman must be notified if they are seen, and that construction shall be halted until appropriate measures have been taken. For California red-legged frog, work shall be halted until authorization to proceed is obtained from the USFWS. Harassment of California red-legged frog is a violation of federal law.
 - d) During the construction phase of the project, a qualified biologist or an on-site monitor (such as the construction foreman trained by the qualified biologist) shall check the site in the morning and in the evening of construction activities for the presence of California red-legged frog and western pond turtle. This includes checking holes, under vehicles and under boards left on the ground. If any California red-legged frog are found, construction shall be halted, and the monitor shall immediately notify the qualified biologist in charge and the USFWS. Construction shall not proceed until adequate measures are taken to prevent dispersal of any individuals into the construction zone, as directed by the USFWS. Subsequent recommendations made by the USFWS shall be followed. No one shall handle or otherwise harass any individual California red-legged frogs encountered during construction, with the exception of a Service-approved

biologist. The qualified biologist in charge shall train the on-site monitor in how to identify California red-legged frog. (Biological Resources).

- 5A. The Tree Preservation Guidelines called for in the Tree Report (HortScience, 2008) shall be followed to preserve native oaks and other noteworthy trees on the site. Of particular concern is the large valley oak (Tree #272), which must be heavily pruned to prevent toppling and reduce the risk to humans and property. This tree shall be retained, and recommended pruning shall be performed under the supervision of a certified arborist. The pruning shall occur prior to demolition of the existing structures on the property. (Biological Resources).
- 5B. The project shall conform with the City of Clayton Tree Protection Ordinance (Chapter 15.70 of the Zoning Code), through adherence to the Tree Preservation Guidelines called for in the Tree Report and provisions for replacement plantings, which will be incorporated into the Final Landscape Plan. (Biological Resources).
6. Prior to commencement of construction-related activities for the project including, but not limited to, grading, staging of materials, or earthmoving activities, an archaeological monitor shall be retained by the applicant and approved by the City to train the construction grading crew prior to commencement of earth-grading activity in regard to the types of artifacts, rock, bone, or shell that they are likely to find, and when work shall be stopped for further evaluation. One trained crew member shall be on-site during all earth moving activities, with the assigned responsibility of "monitor." Should archeological, historical, or Native American artifacts or remains be discovered during construction of the Project, work in the vicinity of the find shall stop immediately until the resource(s) are evaluated and the appropriate means of curation is determined. Project personnel shall not collect or alter cultural resources. Identified cultural resources shall be recorded on forms DPR 422 (archeological sites) and/or DPR 523 (historic resources). (Cultural Resources).
7. Prior to the approval of building foundation plans, the plans shall indicate the anchoring of project structures to the bedrock or the construction of a subterranean retaining wall, for review and approval by the project soils engineer and the County Building Department. (Geology and Soils).
8. Prior to issuance of a grading permit, the Developer shall submit, for the review and approval by the City Engineer, an erosion control plan that utilizes standard construction practices to limit the erosion effects during construction of the proposed project. Actions should include, but are not limited to:
- Hydro-seeding;
 - Placement of erosion control measures within drainageways and ahead of drop inlets;
 - The temporary lining (during construction activities) of drop inlets with "filter fabric";
 - The placement of straw wattles along slope contours;
 - Use of a designated equipment and vehicle "wash-out" location;
 - Use of siltation fences;
 - Use of on-site rock/gravel road at construction access points; and
 - Use of sediment basins and dust palliatives. (Geology and Soils).

9. Prior to issuance of a demolition permit by the City for any on-site structures, the Developer shall provide a site assessment, which determines whether any structures to be demolished contain asbestos. If any structures contain these materials or any other hazardous materials, the Developer shall submit an abatement plan consistent with local, state, and federal standards, subject to approval of the Contra Costa County Building Inspection Department. In addition, the site assessment shall include a site inspection and records review to determine the historic uses of the property, and whether any hazardous substances release(s) have occurred. If the assessment detects the presence of contaminated soils, a remediation plan consistent with local, state, and federal standards, shall be submitted for approval by the Contra Costa County Environmental Health Department. The abatement and remediation plan(s) shall identify the necessary measures that the applicant must comply with to fully remove any existing on-site hazards to the satisfaction of the Contra Costa County Environmental Health Department. (Hazards and Hazardous Materials).
10. Prior to the issuance of building permits, the developer shall prepare a Storm Water Control Plan that includes both construction stage and permanent storm water pollution prevention practices to be submitted to the City Engineer for review. (Hydrology).
11. All project contractors shall conform to the requirements of the "Best Management Practices for Construction Sites" required by the City, including detention and/or filter materials to preclude an increase in water quantity and quality impacts from debris and sediments entering the stormwater system over "pre-development" conditions. The BMPs shall be included in the construction contracts for the review and approval by the City Engineer. (Hydrology).
12. Prior to commencement of construction, the developer shall provide proof of State general permit coverage related to construction for stormwater.
13. Prior to final map recordation, the property owner shall commit the future property owners to fully fund the construction and perpetual maintenance of the storm drain system, including monitoring of the storm drain facilities. The funding mechanism shall be acceptable to the City and shall address costs for capital replacement, inflation, and administration. This shall include the preparation of an Operation and Maintenance Plan (OMP) consistent with the model proposed by the Contra Costa Clean Water Program. Any related review or administrative fees resulting from the OMP shall be the responsibility of the property owner. The OMP will "run with the land" and be enforceable on subsequent property owners of all residential and commercial lots. Maintenance activities may include but not be limited to:
 - Inspect planters for channels, exposure of soils, or other evidence of erosion. Clear any obstructions and remove any accumulation of sediment. Soils and plantings must be maintained.
 - Inspect planters regularly and after storms.
 - Observe soil at the bottom of the planters or filter for uniform percolation throughout. If portions of the planter or filter do not drain within 48 hours after the end of a storm, the soil should be tilled and replanted. Remove any debris or accumulations of sediment.
 - Examine the vegetation to insure that it is healthy and dense enough to provide filtering and to protect soils from erosion. Replenish mulch as necessary, remove fallen leaves and debris, prune large shrubs or trees and mow turf areas. Confirm

- that irrigation is adequate and not excessive. Replace dead plants and remove invasive vegetation.
- Abate any potential vectors by filling holes in the ground in and around the planters and by insuring that there are no areas where water stands longer than 48 hours following the storm. If mosquito larvae are present and persistent, contact the Contra Costa County Vector Control District for information and advice. Only a licensed individual or contractor should apply mosquito larvicides only when absolutely necessary.
 - All hardscape, walks, patios, driveways, parking areas, creeks, drainage inlets, gutters, etc. and trash and recycling areas to be routinely inspected, cleared of debris, and thoroughly cleaned every three months, or as required in the City's NPDES permit.
 - All inlets to be inspected for debris twice a year, with one of those inspections held on October 1st.
 - Planters should be checked for plant and landscape health. They should also be checked for removable amounts of silt. The landscape and planter soils should also be checked for aeration. (Hydrology).
14. All lots shall include deed restrictions, which provide City and other public agency personnel with the right of access to inspect all on-site stormwater control devices. The language in the deed shall be reviewed and approved by the City Engineer and City Attorney. (Hydrology).
15. The developer shall provide for flood proofing of those portions of the building below one-foot above the 100-year flood surface elevation. The method of flood proofing shall include operating procedures and be subject to the approval by the City's Floodplain Administrator. (Hydrology).
16. The developer shall pay a fair share contribution to the City of Clayton for impacts to police staffing directly related to impacts of the Creekside Terrace Project for a five-year period. The calculation and payment shall be made at the time of issuance of building permit for each of the Project's units (including residential and commercial units) and shall be approved in advance by the Clayton Police Chief and City Manager. (Public Services).
17. Prior to final map recordation, the property owner shall agree to the recordation of a conservation easement on the third parcel located west of Mitchell Creek, and shall assume full responsibility for the ongoing maintenance and upkeep of the parcel as well as the terminus of Center Street. The conservation easement shall preclude future development of said parcel while still allowing limited improvements, such as the proposed infiltration planter associated with the Creekside Terrace project. (Public Services).
18. The developer shall be responsible for all fees and environmental review costs, including those charged by the California Department of Fish and Game.

Site Plan Conditions

19. Prior to recordation of the Vesting Tentative Map, Section 17.37.030.C. Waiver Period pertaining to Parking and Loading Requirements and related sections of the City's Municipal Code shall be extended through June 30, 2013 and Section 17.37.030.C.3 shall

be amended from requiring a building permit within one year of project approval to within two years of project approval for a Parking Waiver. In accordance with Section 17.37.070 of the Code, prior to issuance of a certificate of occupancy, the developer shall pay in-lieu parking fees for seven (7) parking spaces given that 21 parking spaces are provided, whereas 28 parking spaces are required for this project. Four (4) on-site spaces shall be provided for bicycle parking in accordance with Section 17.37.040 of the Code, prior to issuance of a certificated of occupancy.

20. Outdoor vending machines (except newspaper vending machines) are prohibited.
21. The electrical transformer for the project shall be installed in an underground vault.
22. The refuse and recycling container storage to be enclosed and connected to the sanitary sewer.
23. Refuse/recycling area shall be sized large enough to comply with State recycling requirements. Details of the refuse/recycling area shall be shown on site plan prior to recordation of map.
24. The property owner shall be responsible for placing the refuse and recycling containers in a location accessible to the refuse/recycling service provider on pick-up days. Once the service provider empties the refuse and recycling containers, the property owner shall promptly return the refuse and recycling containers to the designated enclosure. Additionally, waste containers shall be provided for the daily use of customers of the commercial component of the project.
25. All tenant leases and rental agreements shall stipulate that delivery truck unloading/loading activity, including, but not limited to, that unloading/loading activity of the owners and operators within the project from the travel lanes on High Street and Oak Street are prohibited during the time periods listed below. Delivery truck unloading/loading activities during the time periods listed below may take place from marked parking spaces. The restricted time periods are the thirty minutes prior to and following the normal start and end of classes on days when Mt. Diablo Elementary School is in session. This stipulation does not apply to common carriers such as United Parcel Service, Federal Express, etc.

Architectural Conditions

26. The architectural elevations shall be revised to show the following modifications:
 - a. The interior sides of all parapets shall be faced with cement plaster which is identical to the material and color used on the cement plaster areas of the exterior (i.e., outward-facing) elevations of the building.
 - b. The Oak Street elevation of the first-story garage shall incorporate enhanced architectural features (e.g., recessed, obscure, or high windows; or trellis with landscaping).
 - c. The garage doors shall utilize a carriage-appearing sectional roll-up design.
 - d. All windows shall be recessed a minimum of three inches.

- e. All rooftop equipment shall be screened from roads, the trail system, adjacent properties, and pedestrian areas to the maximum extent possible. The rooftop equipment shall be painted to match the color of the interior parapet.
- f. All minor and secondary rooftop equipment shall be clustered together and screened from roads, the trail system, adjacent properties, and pedestrian areas to the maximum extent possible.
- g. Any future re-painting of the project's Oak Street and High Street frontages shall provide for color distinction for the individual storefronts.
- h. All utility meters shall be properly screened.
- i. The southeast corner of the building shall incorporate the second-story octagonal bay window projection, as shown in Option 3, submitted at the June 8, 2010 Planning Commission meeting.

Landscaping Conditions

- 27. The landscape plans shall have overall dimensions of 24" x 36"; shall be approved by the Community Development Director and Maintenance Department; shall satisfy and/or include the following:
 - a. Conform to the requirements of the State Department of Water resources "Model Water Efficient Landscape Ordinance", dated September 10, 2009, or locally adopted replacement ordinance in effect at the time of application for a building permit.
 - b. Trees in the public right-of-way shall comply with the City street tree list or as otherwise approved by City Maintenance.
 - c. All landscaped areas shall be planted at the following planting densities: five-gallon shrubs shall be at an average density of 1 shrub/5 feet; and one-gallon groundcover plantings shall be at an average density of 1 shrub/3 feet.
 - d. All trees shall be 24-inch box containers.
 - e. All trees shall be planted at least ten feet away from any public water, sewer, or storm drain lines. All trees shall be installed with support staking. All nursery stakes must be removed from trees. All trees planted within eight feet of a sidewalk or driveway shall be installed with root guards.
 - f. All anti-siphon water valves and ground-mounted utility equipment shall be screened with landscaping.
 - g. All on-site walkway hardscape areas shall be paved with a colored and wood-stamped paving surface which matches the color and texture of the sidewalks in the Town Center.
 - h. A layer of mulch two to four inches shall be applied and maintained in all landscape areas until groundcover plantings are fully established so as to cover exposed soils.
 - i. Show all existing and proposed public utilities within the project limits, including adjacent public right-of-way affected by the project.
- 28. Three sets of the Landscape and Irrigation Plans shall be submitted with the building plans for review and approval by the Community Development Department, Engineering Department, and the Maintenance Department. These plans shall be approved prior to issuance of building, grading, or encroachment permits.

29. Landscaping shall be installed in conformance with approved plans prior to approval for occupancy.
30. Prior to occupancy, successor-in-interest property owners/lessees shall enter into an agreement with the City which ensures they permanently maintain the on-site landscaping as well as the trees installed in the public right-of-way on Oak Street and High Street.

Engineering Conditions

Subdivision Number

31. While this is a one lot subdivision, its ultimate disposition will create at least eight separate ownerships, therefore it would qualify as a major subdivision and require the filing of a Final Map as opposed to a Parcel Map. Prior to the preparation and submittal of the Final Map, the developer shall obtain a subdivision number from the County.

Subdivision Boundary

32. The proposed boundary shown on the tentative map includes a portion of the Center Street right of way west of Oak Street. In lieu of abandoning the right of way, the City intends to close that portion of Center Street to traffic and issue a special encroachment permit for use by the Project. The developer shall modify the boundary on the Final Map to exclude any existing public street right-of-way.

Use of Public Street Right of Way

33. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the northerly 19' of the High Street right of way, west of Oak Street.
34. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the portion of the Center Street right of way, west of Oak Street, presently shown as being within the project boundary.
35. Prior to approval of the final map and/or any construction documents, the developer shall obtain a special encroachment permit allowing the uses and improvements shown on the tentative map over the portion of the Oak Street right of way, adjacent to project boundary.

Homeowners Association

Note: A developer has not indicated a preference regarding future ownership and maintenance responsibilities. For the purposes of these conditions of approval, it is assumed that all of the property will be "common area" with the exception of partition walls within each unit, either residential or commercial. Future owners (either commercial or residential) will have sole fee title interest only in the "airspace" within their units and will have a prorated share interest in all of the common areas and common area improvements

(including the building itself). Maintenance of all common area improvements will be the responsibility of a Homeowners Association funded by the property owners. Should the developer wish to propose a different approach, any change would have to be approved by the City of Clayton City Council.

36. Prior to approval of the final map, the developer shall submit the proposed Covenants, Conditions, and Restrictions (CC&Rs) for review and approval by the City. Prior to issuance of any certificate of occupancy, the developer shall have the City-approved CC&Rs recorded in the County Recorder's Office and a copy of the recorded documents submitted to the City. The CC&Rs shall include a provision barring any changes or revisions without prior approval by the City.
37. Prior to issuance of any certificate of occupancy, the developer shall form a Homeowners Association comprised of all the project property owners, both commercial and residential. The Homeowners Association shall be responsible for the operations and maintenance of all common area improvements and facilities, including stormwater, trash, and creek maintenance, monitoring, and reporting necessary to comply with NPDES requirements. Further, the Homeowners Association shall be responsible for the maintenance of all improvements located on existing street rights of way being utilized by the project under special encroachment permits and as shown on the tentative map.
38. The developer shall record disclosure statements with the deeds for the project's lots. The disclosure statements shall be reviewed and approved by the City Attorney and the Community Development Director and shall address the following issues.
 - a. Special events occur throughout the year in the downtown area and at Endeavor Hall, which may temporarily increase noise levels at the residential properties as well as increase traffic and demand for parking.
 - b. Special events occur throughout the year in the downtown area which result in the closure of adjacent streets except for emergency vehicle access. During these events vehicular access to and from the project may be prohibited (i.e., Oak, High, Center, and Main Streets). Vehicular access to and from Oak Street via Roundhill Place will remain open.
 - c. Commercial land use and zoning designations on adjacent properties to the east of the project site allow a variety of commercial activities, including parking lots and multi-story commercial buildings. It is the policy of the City of Clayton to encourage commercial development of the commercially-zoned properties in the Town Center.
 - d. The City of Clayton owns the parcel (APN 119-016-005) at the northwest corner of High Street and Diablo Street. The property will initially be developed as a parking lot for the general public. In the future, the property may be developed as a multi-story parking structure or a multi-story commercial building.

Condominium Plan

39. Prior to issuance of any certificate of occupancy, the developer shall have prepared and recorded a condominium plan delineating the proposed commercial and residential units. The condominium plan shall be submitted to the City for review prior to recordation. A certified copy of the recorded condominium plan shall be provided to the City prior to issuance of any certificate of occupancy.

General Engineering Conditions

40. All work shall be designed and constructed in accordance with the Municipal Code, as well as the City's Standard Plans and Specifications, and to the satisfaction of the City Engineer.
41. Upon approval of the final map, the subdivision shall be annexed into the existing City of Clayton Street Light Assessment District.
42. Upon recording of the final map, the City shall be given a full size, reproducible, photo mylar copy of the recorded map and an electronic file of the map in a form which can be imported into AutoCAD, and configured as directed by the City Engineer. Upon completion of the improvements and prior to City Council acceptance, the City shall be given a full size, reproducible, photo mylar copy of the improvement plans, and an electronic version in AutoCAD, annotated to reflect any changes that occurred during construction and signed by the Project Engineer.
43. The developer shall ensure that all project contractors shall conform to the requirements of the "Best Management Practices for Construction Sites" required by the City, including detention and/or filter materials to preclude an increase in water quantity and quality impacts from debris and sediments entering the stormwater system over "non-development" conditions.
44. The developer shall identify the Best Management Practices for protection of air quality to minimize the generation of dust during construction. Such measures shall be included within the project grading plan and shall be approved prior to issuance of project grading permits.
 - a. Earthmoving or other dust-producing activities shall be suspended during periods of high winds (i.e., instantaneous wind gusts of 25 mph or greater);
 - b. Equipment and manpower for watering of all exposed or disturbed soil surfaces shall be provided at least twice daily on any day of high winds or when construction activities occur, including weekends and holidays. A dust suppressant, added to the water before application, shall be used;
 - c. Stockpiles of debris, soil, sand or other materials that can be blown by the wind, shall be watered or covered;
 - d. Construction area and adjacent streets shall be swept of all mud and debris, since this material can be pulverized and later re-suspended by vehicle traffic;
 - e. A compliance officer, responsible for implementation and monitoring, shall be identified as part of the grading permit process.
45. The developer shall connect to the sanitary sewer system, obtain applicable permits, and pay applicable fees required by the City of Concord Public Works Department.
46. If archeological, historical or Native American materials are uncovered during any construction or pre-construction activities on the site, all work within 100 feet of these materials shall be immediately stopped. The Community Development Department and a qualified professional archeologist shall be notified. Work within this area shall not recommence until the archeologist has had an opportunity to evaluate the significance of the find, and outline appropriate mitigation measures, if they are deemed necessary.
47. Grading permits and stormwater permits shall be obtained from the City Engineer.

48. Construction sequencing and work times shall be adjusted as may be required by the City Engineer to minimize impacts and inconveniences during school drop-off and pick-up times.
49. Access to and over the High Street bridge at Mitchell Creek shall be maintained at all times for those residents located on the west side of the bridge. In the event that access must be restricted for some limited period, the contractor shall coordinate the closure with residents west of the bridge to the satisfaction of the City Engineer.

Street Construction Conditions

50. High Street - All existing improvements are to be removed and new improvements constructed generally as shown on the tentative map and to the satisfaction of the City Engineer.
51. Oak Street - All existing improvements are to be removed and new improvements constructed generally as shown on the tentative map and to the satisfaction of the City Engineer, except for the proposed planter within the parking lane which is not approved.
52. The sidewalk along Oak Street shall be colored, stamped concrete and shall match the color and pattern of the Town Center sidewalks.
53. Upon completion of building construction, the existing pavement on Oak Street from Center Street to High Street, including the intersections and other areas as may be determined by the City Engineer, shall be slurry sealed and restriped to the satisfaction of the City Engineer.
54. Any existing street, sidewalk, curb, gutter, or other existing improvement which, in the sole opinion of the City Engineer, is damaged by any party at any time, either on or adjacent to the project site, shall be repaired by the Developer, at his sole cost, to the satisfaction of, and in the manner required by, the City Engineer.

Stormwater Control and Treatment Conditions

55. The improvement plans shall reflect that all on-site storm drain inlets shall be labeled "No Dumping – Drains to Creek" using thermoplastic stenciling or equivalent permanent method, subject to City approval.
56. Prior to issuance of any construction permits, a final Storm Water Control Plan, satisfying all of the latest requirements of the terms of the City's Stormwater Discharge Permit, shall be submitted for review and approval by the City.
57. The volume and rate of stormwater runoff from the site shall be comparable to pre-development conditions to the maximum extent practicable. The project shall bear the financial responsibility of the construction and perpetual maintenance (including monitoring and reporting) of these facilities with a funding mechanism acceptable to the City that addresses costs for capital replacement, inflation, and administration.
58. Any exterior building washing/cleaning, exterior window washing/cleaning or sidewalk washing/cleaning shall comply with Best Management Practices (inlets protected and water vacuumed) and be done only by a certified surface cleaner. Such certification shall

be recognized by the Contra Costa Clean Water Program. In addition any contracts for such leaning by the property owner or tenants shall also include language requiring the compliance with Best Management Practices and certification. Documentation, monitoring, and reporting shall be included in the Stormwater Operation and Maintenance (OMP).

59. All pest management practices for the site and building by the property owner and or tenants shall also and done by company that is Integrated Pest Management (IPM) Certified. Such certification shall be recognized by the Contra Costa Clean Water Program. In addition any contracts for such cleaning by the property owner or tenants shall also include language requiring the compliance with Best Management Practices and certification. Documentation, monitoring, and reporting shall be included in the OMP.
60. The Property Owner shall be responsible for the perpetual maintenance of the site's storm drain system, including the monitoring of the storm drain facilities. In addition, the Property Owner shall be responsible for any future stormwater quality and quantity reporting requirements by the Regional Water Quality Control Board.
61. The Mosquito and Vector Control District and its contractors shall have the right of access to conduct inspections and maintenance of all on-site drainage devices. Such rights shall be conveyed in the property owner documents and any property rental or lease documents.
62. The developer shall remove the existing curb cut and driveway apron across the sidewalk on the Oak Street frontage of the project site and shall restripe the pavement as required by the City Engineer. The replacement sidewalk shall be paved with a colored and wood-stamped paving surface which matches the color and texture of the sidewalks in the Town Center.
63. All work shall be designed and constructed in accordance with the *Municipal Code*, as well as the City's Standard Plans and Specifications.
64. The improvements to be installed by the Developer shall generally conform to those shown on the site plan, as said improvements may be modified by these conditions of approval and/or the City Engineer.
65. The developer shall be solely responsible for obtaining any right of way and/or easements necessary to permit the construction of the proposed improvements.
66. The ramp across the sidewalk at the southwestern corner of the site, which is for refuse and recycling pickup purposes, shall meet ADA requirements as the ramp will cross the public sidewalk.
67. Prior to the issuance of the certificate of occupancy for the fourth residential unit, the developer shall provide one of the residential units affordable to low-income households with deed restrictions in accordance with the City of Clayton Housing Element and Redevelopment Agency requirements to the satisfaction of the Community Development Director.

Agency Conditions

68. The developer shall connect to the sewer system and obtain applicable permits required by the City of Concord Public Works Department.
69. The Developer shall satisfy Contra Costa County Fire Protection District requirements as follows:
- a. Access must be cable of supporting the imposed fire apparatus loading of 37 tons. (503) CFC.
 - b. Access roadways (High Street) of less than 28-feet unobstructed width shall have signs posted or curbs painted red with the words *NO PARKING – FIRE LANE* clearly marked. (503.3) CFC.
 - c. The developer shall provide an adequate and reliable water supply for fire protection with a minimum fire flow of 1750 GPM. Required flow must be delivered from not more than one (1) hydrant flowing for a duration of 180 minutes while maintaining 20-pounds residual pressure in the main. (508.1, (B105) CFC.
 - d. The developer shall provide one (1) hydrant of the East Bay type. Final placement of hydrant(s) shall be determined by the Fire District. (C103.1) CFC.
 - e. The developer shall submit three (3) copies of site improvement plans indicating all existing or proposed hydrant locations and fire apparatus access for review and approval prior to obtaining a building permit. (501.3) CFC.
 - f. The required hydrant shall be installed, in service, and inspected by the Fire District prior to construction or combustible storage on site. (501.4) CFC.
 - g. The building proposed shall be protected with an approved automatic fire sprinkler system. Submit three (3) sets of plans to the Fire District for review and approval prior to installation. (903.2) CFC, Contra Costa County Ordinance 2007-47.
 - h. Vegetation clearance requirements in urban-wildland interface areas shall be in accordance with the *International Wildland-Urban Interface Code*. (304.1.2) CFC.
 - i. The developer shall submit three (3) complete sets of building plans and specifications of the subject project, including plans for the following required submittals, to the Fire District for review and approval prior to construction to ensure compliance with minimum requirements related to fire and life safety. Plan review fees will be assesses at that time.
 - Private underground fire service water mains
 - Fire sprinklers

Plans are to be submitted to: Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

The Fire District reference for this project is as follows:

CCCFPD Project No.: 113977-PL

- j. Open-flame grills on the balconies on the east elevation facing Oak Street shall be subject to all Fire Code restrictions, regulations, and prohibitions.

70. The Developer shall provide an adequate number of hydrants of the "East Bay" type at locations determined by the Fire Protection District.
71. Prior to approval of building permit, the Developer shall obtain written approval from Allied Waste Services that the facility can be serviced and the waste container options that would be acceptable given the range of tenant occupancies within the project and submit such written documentation to the Community Development Department.
72. The property owner is responsible for ensuring refuse and recycling pickup services are provided as often as necessary in order to ensure refuse and recycling receptacles do not overflow. Documentation, monitoring, and reporting shall be included in the OMP.
73. Prior to building permit approval applicant/developer shall provide documentation that the waste/recycling area can meet state regulations regarding mandatory space for recycling.
74. The Developer shall obtain a building permit from the Contra Costa Building Department in accordance with applicable California Building Code (CBC) requirements prior to commencement of the construction of the project.
75. The Developer shall satisfy Contra Costa Water District (CCWD) requirements as follows:
 - a. Treated and Untreated water service is governed by CCWD Code of Regulations Section 5 (Reg 5).
 - b. The two existing services will need to be relocated from their current locations (which will become a sidewalk/walkway) to a better location at the side of the building.
 - c. New meters should be "banked" at one location, each serving individual units.
 - d. A separate meter for landscape irrigation may be required (Reg. 5.32.020).
 - e. A common fire service will be required for the building.
 - f. Water service will likely require backflow prevention devices, which could reduce water pressure. Proper planning is necessary to ensure backflow prevention devices are located appropriately.
 - g. Location of all new and relocated services must be coordinated with developer to ensure acceptable installations for CCW, the City, and the developer.

Standard Condition

76. The developer agrees to indemnify, protect, defend, and hold harmless the City and its elected and appointed officials, officers, employees, and agents from and against any and all liabilities, claims, actions, causes, proceedings, suits, damages, judgments, liens, levies, costs, and expenses of whatever nature, including, but not limited to, attorney's fees, costs, and disbursements arising out of or in any way relating to the issuance of this entitlement, any actions taken by the City relating to this entitlement, and any environmental review conducted under the California Environmental Quality Act for this entitlement and related actions.

Advisory Notes

Advisory notes are provided to inform the applicant of: (a) *Clayton Municipal Code* requirements; or (b) requirements imposed by other agencies. The advisory notes are not part of the conditions of approval.

1. Prior to obtaining a building permit, the developer shall prepare an erosion and stormwater control plan for review and approval by the City Engineer (CMC § 13.12.050).
2. Prior to commencement of grading, demolition or construction activities the developer shall obtain City approval of a construction and demolition recycling plan (CMC § 15.80.040).
3. Prior to performing any work in the public right of way, the developer shall obtain an encroachment permit from the City Engineer.
4. Prior to any grading or construction, the developer shall obtain a Stormwater Permit from the City Engineer.
5. An administrative use permit from the Community Development Director is required for any outdoor seating.
6. A master sign plan must be approved by the Planning Commission prior to installation of any signage.
7. A tree removal permit is required prior to removing any trees with a single or multiple trunk diameter of six inches or greater (CMC §15.70.020).
8. All grading, construction, and other work shall occur only between 7:00 a.m. and 5:00 p.m. Monday through Friday. Any such work beyond these hours and days is strictly prohibited unless previously authorized in writing by the City Engineer (CMC §15.01.010) located at 1005 Oak Street, 925-672-9700.
9. The developer shall obtain the necessary building permits from the Contra Costa County Building Inspection Department.
10. The developer shall comply with all applicable state, county, and city codes, regulations, and adopted standards.
11. Additional requirements may be imposed by the Contra Costa County Fire Protection District. Before proceeding with the project, it is advisable to check with the Fire District located at 2010 Geary Road, Pleasant Hill, 925-930-5500.
12. Development impact and related fees (including, but not limited to, community facilities development, off-site arterial improvement, childcare, parkland dedication, open space in-lieu, and habitat conservation fees) shall be paid per applicable City Code regulations and resolution.

DP\2008\01-08.Creekside Terrace Conditions of Approval - 6.8.10

