

Attachment N

Project Plans for The Olivia on Marsh Creek

"THE OLIVIA ON MARSH CREEK" A 55+ COMMUNITY

6170 High St.
Clayton, CA 94517

CONSULTANTS

Structural Engineer:
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4143 Cowell Rd
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(925) 589-9130

Consultant:
John Newton
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JNewton@9880global.com
Attan: John Newson/Lela Mashhood

Civil Engineer:
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kalcoc@milari-eng.com
Attan: Kim Alcock

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MFO@fotheringham.com
Attan: Michael Fotheringham/Ben Hu

Planning Consultants:
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1625 Shattuck Ave. #300
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Attan: Charlie Knox

Biologist:
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(Wetland Regulation and Permitting)
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Jeff@oberdingenv.com

Soils Engineer:
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(Geologist and soils)
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Attan: John Frier

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Attan: Steven Thorburn

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Attan: Ben Hule

Up Light Electrical Engineering
3130 Twitchell Island rd
West Sacramento, CA 95691
jlevy@uplight.com
Attan: Jim Levy

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines.
Authenticity was a word we kept going back to when we were looking at elevations. The project architect captured this by using horizontal siding, pattern board siding, tall windows, parapet roof styles, porches, heavy trim for shutters, brick features, and colors that are meant to be reminiscent of an old Western or 19th town architecture style.
The buildings fit within the downtown with similar features of neighboring commercial development. This development will cater to adults who are ready to downsize as well as working professionals. The project will have social events and clubs. The units will have luxury features that this demographic seeks. It will free up local homes for the residents' children to move or to sell to while remaining close to family and their existing social life.
The project will enhance and realize a downtown that is known for struggling businesses and vacancies. A condominium conversion will be forthcoming on this project for future sales.

VICINITY MAP



PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6170 High St., Clayton
6450 Marsh Creek Rd., Clayton
6490 Marsh Creek Rd., Clayton

General Plan Designation: Multi-Family High Density (PHD)
Zoning: Planned Development (PD)
Specific Plan: Town Center Specific Plan (for 6170 High St. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element: 205-2023
Applicable Laws:
Clayton Municipal Code
California Density Bonus Law
Housing Accountability Act

General Info:
6170 High St. Lot Size: 48,378 SF
6450 Marsh Creek Rd. Lot Size: 42,361 SF
6490 Marsh Creek Rd. Lot Size: 40,663 SF
Base number of units: 59 units
Density Bonus Law for 53% increase for 7 very low income units
Total Number of units: 81
Number of units per lot:
6170 High St.: 30 units
6450 Marsh Creek Rd.: 26 units
6490 Marsh Creek Rd.: 25 units
Unit mix:
6170 High St.:
2 bedrooms 2 bath units: 9
1 bedroom 1 bath units: 21
Base VU: 1 1/2

Class room: 1
Fitness room: 1
Reception entry: 1
6450 Marsh Creek Rd.
2 bedrooms 2 bath units: 13
1 bedroom 1 bath units: 13
Base VU: 2 1/2

Class room: 1
Fitness room: 1
Reception entry: 1
6490 Marsh Creek Rd.
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 11
Base VU: 1 1/2

Class room: 1
Fitness room: 1
Reception entry: 1
6170 High St.: 29,929 SF
6450 Marsh Creek Rd.: 27,822 SF
6490 Marsh Creek Rd.: 27,822 SF
Building Height Allowed:
40 feet
Building Height via Density Bonus Law Waiver:
6170 High St.: 39'-2"
6450 Marsh Creek Rd.: 37'-4"
6490 Marsh Creek Rd.: 38'-4"

Setbacks via Density Bonus Law Waiver:
See Civil plans and Landscape plans

Parking Required:
See Civil plans and Landscape plans

Lot Coverage:
65%
See Civil plans and Landscape plans

SHEET INDEX

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- A50 HIGH-RISEWOOD CONTEXT



1
A10 VIEW FROM HIGH ST RENDERING

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia on Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6170 High St.
Clayton, CA 94517
APN: 119-021-0653

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

COVER SHEET,
PROJECT INFO,
& RENDERING

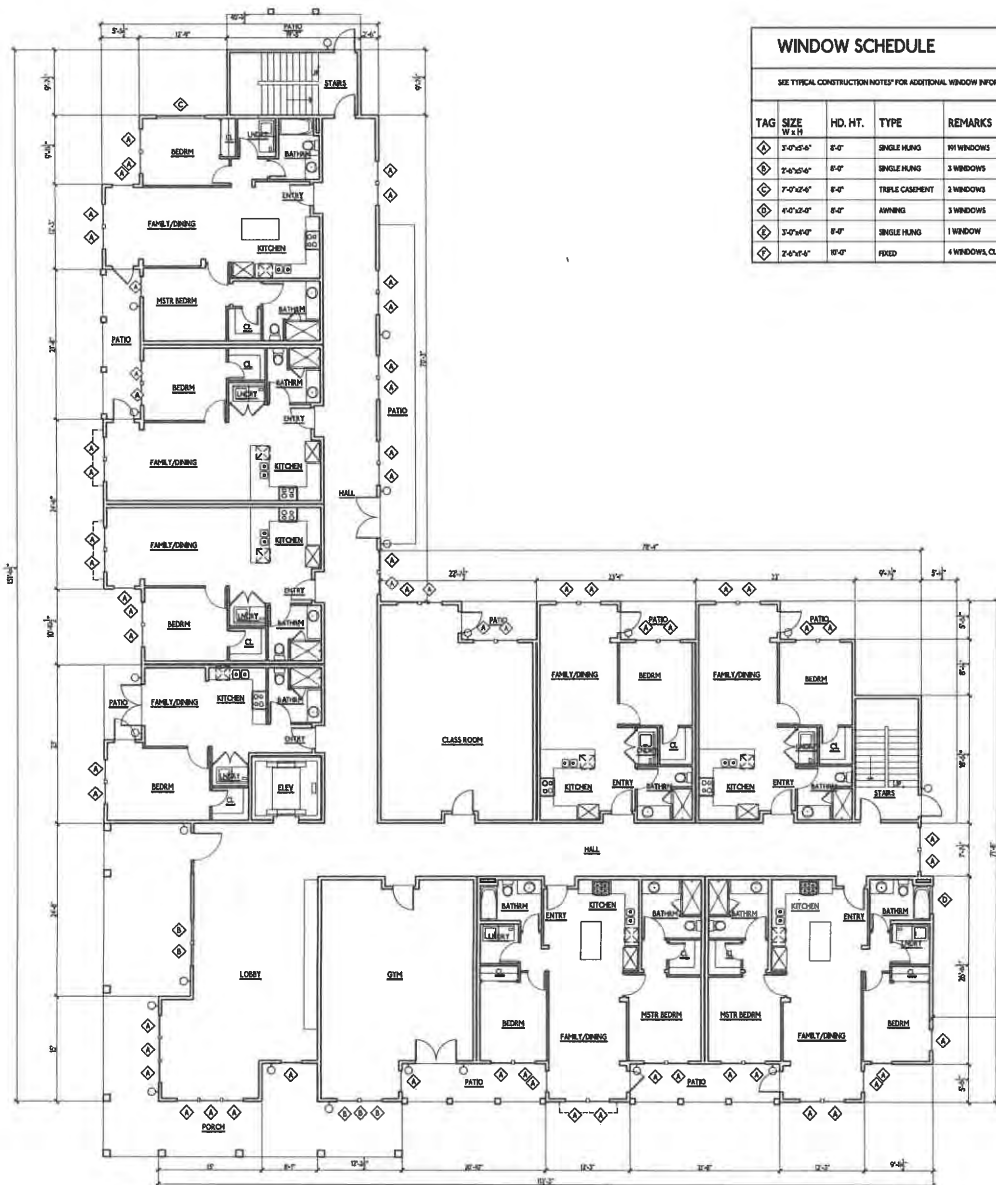
REVISION

No.	Description	Date
Δ 1	DESIGN REV	1/22/19

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/2/19

A1.0



WINDOW SCHEDULE				
SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION				
TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
◇	3'-0" x 4'-0"	8'-0"	SINGLE HUNG	11 WINDOWS
◇	2'-0" x 2'-0"	8'-0"	SINGLE HUNG	3 WINDOWS
◇	7'-0" x 2'-0"	8'-0"	TRIPLE CASHEMENT	3 WINDOWS
◇	6'-0" x 2'-0"	8'-0"	AWNING	3 WINDOWS
◇	3'-0" x 4'-0"	8'-0"	SINGLE HUNG	1 WINDOW
◇	2'-0" x 4'-0"	8'-0"	FIXED	4 WINDOWS, CUSTOM (SEE ELEVATION)

ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE A4.0 FOR CUI SHEET
 □ wall mounted light fixture (typical), □ ceiling mounted light fixture, □ recessed ceiling light fixture, □ pendant light fixture, □ sconce, □ switch, □ outlet, □ receptacle, □ dimmer, □ sensor, □ motion sensor, □ photo eye sensor, □ photo eye sensor controlled, □ ramp, □ ramp, □ photo eye sensor controlled

1st FLOOR PLAN
 1/8" = 1'-0"
 TOTAL: 29929 SF
 0 2 4 8 FEET NORTH

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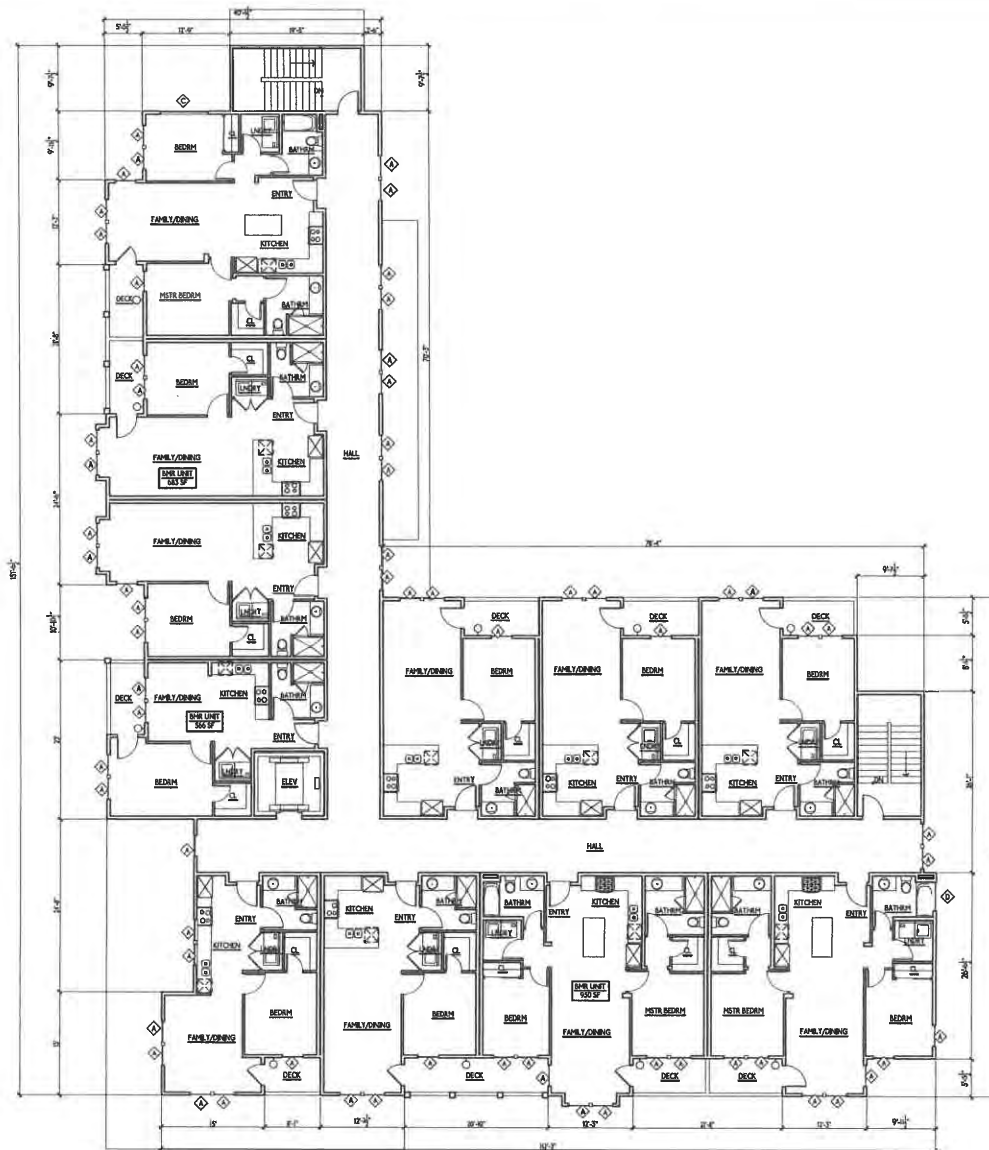
1st FLOOR PLAN

REVISION

No.	Description	Date
△	DESIGN REV	1/22/19

PROJECT No.:
 DRAWN BY: WJP
 CHECKED BY: WJP
 DATE: 10/2/19

A2.0



ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER, UNLESS OTHERWISE NOTED.
 SEE ALSO FOR CUIT SIZES
 □ well mounted light (high efficiency lamp typical U.A.N.), "FL" fluorescent w/ elec ballast
 □ "A" damp rated, "P" photoconduction sensor controlled

2nd FLOOR PLAN
 1/17/19 210 TLA 1001 SF
 TRUE NORTH

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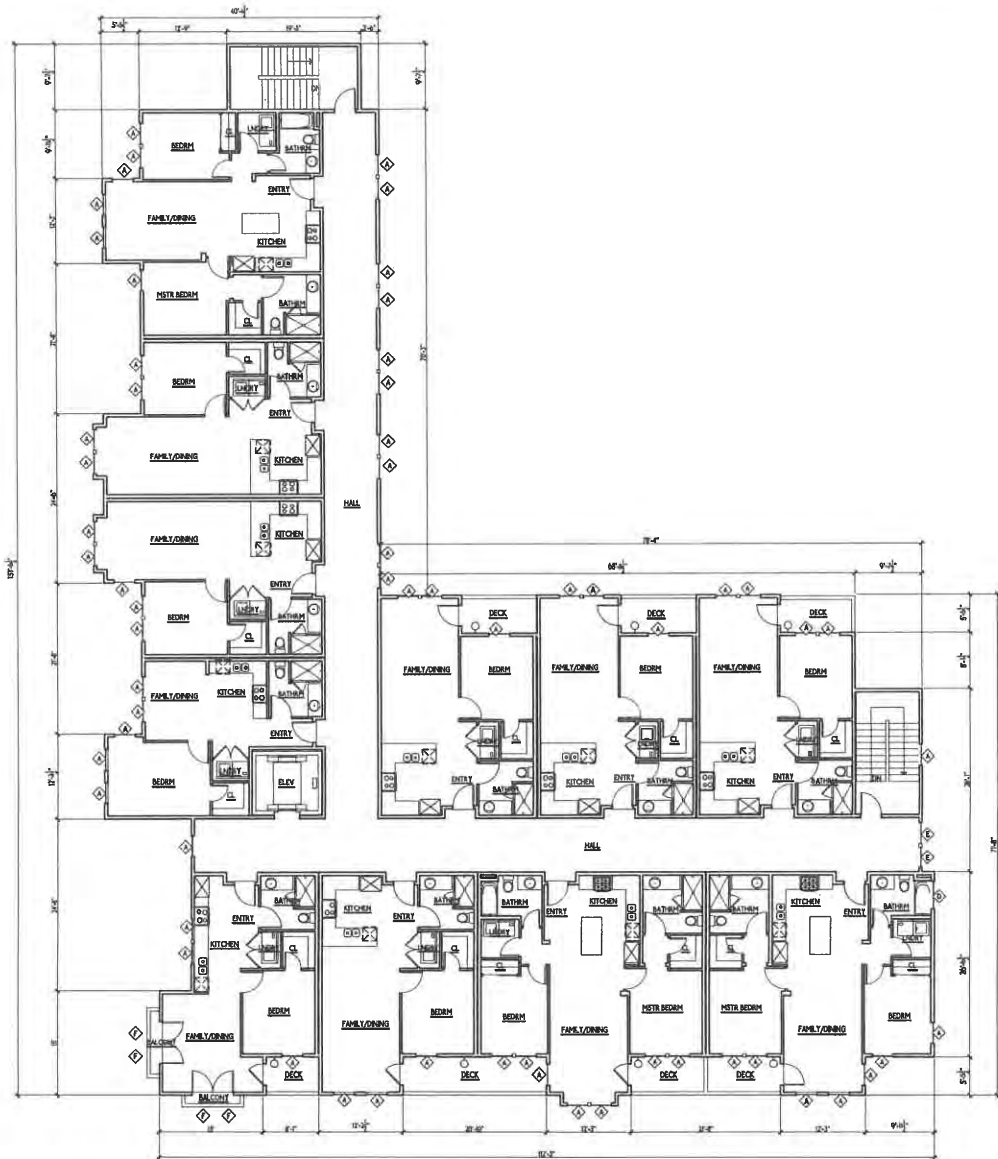
2nd FLOOR PLAN

REVISION

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PROJECT No.:
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 CHECKED BY: WJP
 DATE: 1/22/19

A2.1



ELECTRICAL PLAN LEGEND

NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED SEE A&P FOR CUT SHEET

- wall mounted light (high efficacy lamp typical s.d.a.s.), "FL" measurement of elec fixture
- "amp rated," "PM" photoconduction sensor controlled

1 3rd FLOOR PLAN
 10/21/19 VPV-2 3RD FLR 1600 SF
 0 2 4 8 FEET NORTH

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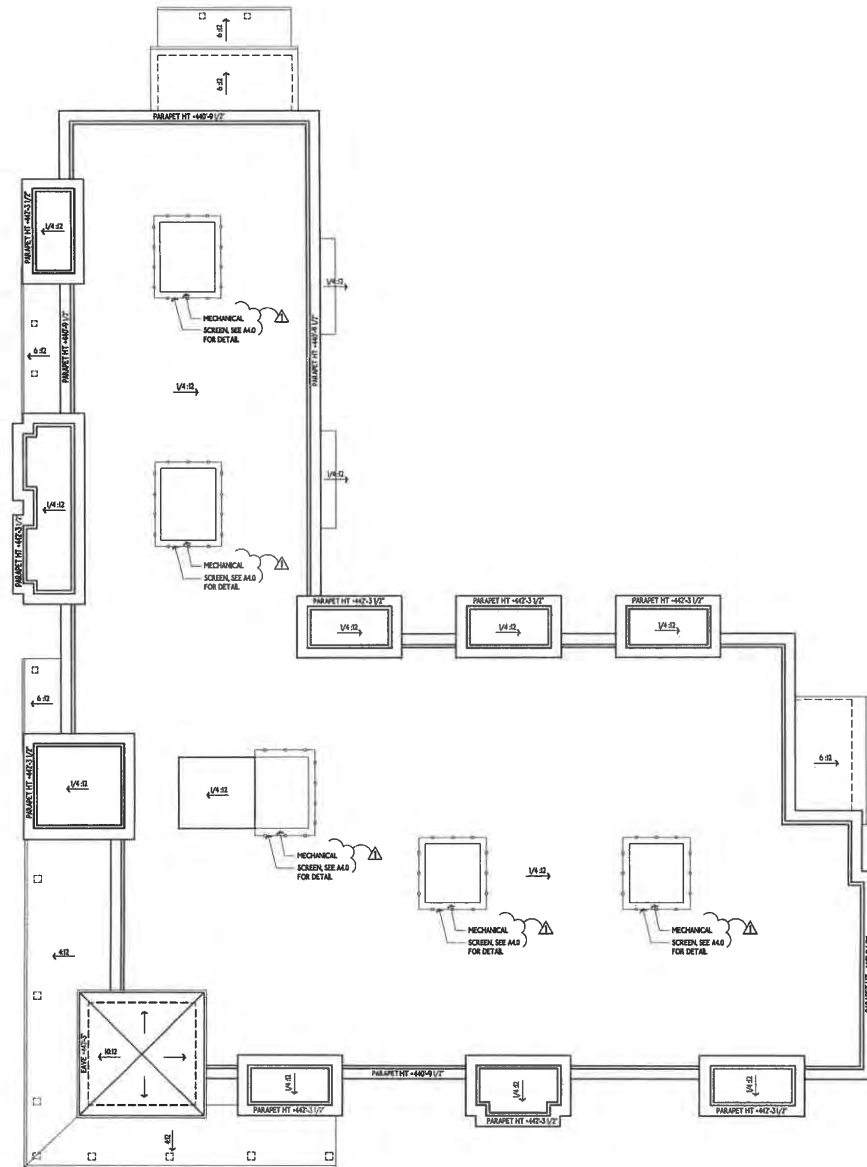
3rd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	1/2/19

PROJECT No. 2
 DRAWN BY: WJZ
 CHECKED BY: WJZ
 DATE: 10/21/19

A2.2



1 ROOF PLAN
 1/8" = 1'-0" TELE NORTH

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ROOF PLAN

REVISION

No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.:
 DRAWN BY: YPJ
 CHECKED BY: YPJ
 DATE: 10/7/18

A2.3



SEE M.2 FOR TYPICAL MATERIALS
REAR (SOUTH) ELEVATION
 1/13 1/8" = 1'-0"



SEE M.2 FOR TYPICAL MATERIALS
LEFT (EAST) ELEVATION
 1/13 1/8" = 1'-0"

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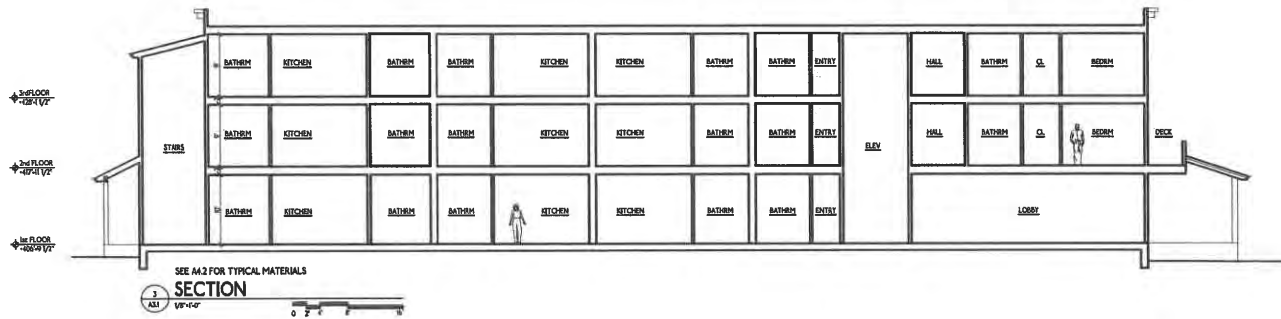
LEFT (EAST) &
 REAR (SOUTH)
 ELEVATIONS

REVISION

No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.:
 DRAWN BY: WJJ
 CHECKED BY: WJJ
 DATE: 10/7/19

A3.0



SEE A4.2 FOR TYPICAL MATERIALS
SECTION
 1
 VP-10'



SEE A4.2 FOR TYPICAL MATERIALS
RIGHT (WEST) ELEVATION
 2
 VP-10'



SEE A4.2 FOR TYPICAL MATERIALS
FRONT (NORTH) ELEVATION
 3
 VP-10'

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FRONT (NORTH),
 RIGHT (WEST)
 ELEVATIONS &
 SECTION

REVISION

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A3.1

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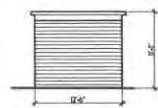
TRASH BIN ENC.
 FLOOR PLANS &
 ELEVATIONS

REVISION

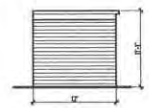
No.	Description	Date
1	DESIGN REV	1/21/19

PROJECT No.:
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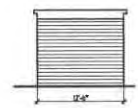
A3.2



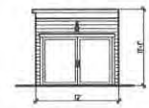
3 BIN TRASH ENCLOSURE
 LEFT ELEVATION
 1
 ALL VP-102



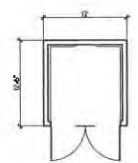
3 BIN TRASH ENCLOSURE
 REAR ELEVATION
 1
 ALL VP-102



3 BIN TRASH ENCLOSURE
 RIGHT ELEVATION
 1
 ALL VP-102



3 BIN TRASH ENCLOSURE
 FRONT ELEVATION
 1
 ALL VP-102



3 BIN TRASH ENCLOSURE
 FLOOR PLAN
 1
 ALL VP-102 TRASH ENCLOSURE

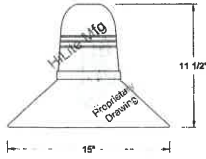


H-13115
Pacific Collection

Job Name: _____
Type: _____
Quantity: _____

HI-LITE MFG.
CO., INC

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
email: sales@hilitemfg.com



FINISH - Offered in exceptional finishes, comprised of: poly-urethane/powder coated, baking enamel liquid, new metal, or galvanized finishes.
Standard Finishes inc: S1 (Black), S2 (White), S3 (Dark Green), S5 (Silver/Grey), BR47 (Powder Coat Rust), BK01 (Black Texture), GN22 (Powder Coat Patina).
Upgraded Finishes are: 29, 60, 62, 60, 62, 64, 67, 68, 100, 103, 104, 105, 110, 112, 113, 114, 116, 117, 118, 119, 120, 127, 128, 129, 130, 134, 135, 136, 68, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 45, 49, 55, 16.

For interior finish of fixture refer to color chart on pages 244-246.

MOUNTING - Cord, Stem, Arm, and Flush mounting available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-T6 and/or 1100-O, galvanized 22 gauge, steel 2002 gauge, copper 032040 and brass 032040 construction. Dependent on finish.

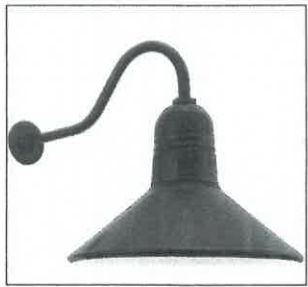
SOCKETS/LAMPS - Available in: Incandescent - rated 200 watt max/120 volt, medium base. Compact Fluorescent(CFL) - rated 131/125/25/42/57 watt max/120/277 volt, G24Q base. Metal Halide(MH) - rated 300/370/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket. High Pressure Sodium(HPS) - rated 60/70/100/150 watt max/120/277 volt, medium base. Light-Emitted Diode(LED) - See LED specification sheet.

ON BOARD BALLAST OPTION(OBB) - CFL 13 - 57 watt.

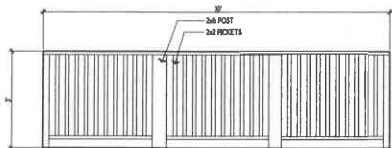


MADE IN THE U.S.A.

Suitable for wet location.
(Except when cord mounted)



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



VIEW PARKING LOT RENDERING



REAR VIEW RENDERING

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APR: 119-021-063

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(925) 872-7249

RENDERINGS &
EXTERIOR LIGHTING
CUT SHEET

REVISION		
No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.: _____
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CHECKED BY: WJ
DATE: 10/11/19

A4.0

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MATERIAL &
 COLOR BOARD

REVISION

No.	Description	Date
1	DESIGN REV	1/22/19

PROJECT No.:
 DRAWN BY: WPI
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 DATE: 10/21/19

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN



COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

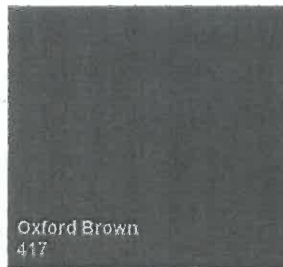


RETAINING WALL

COLORS
 (KELLY MOORE PAINTS)



TRIM COLOR



TOWER WALL COLOR



WALL COLOR



WALL COLOR



ROOF COLOR



1381 SHELL LN = 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



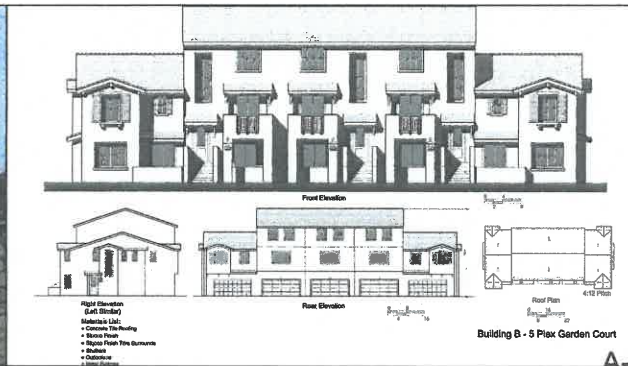
1784-1786 INDIAN WELLS WAY=32' TALL



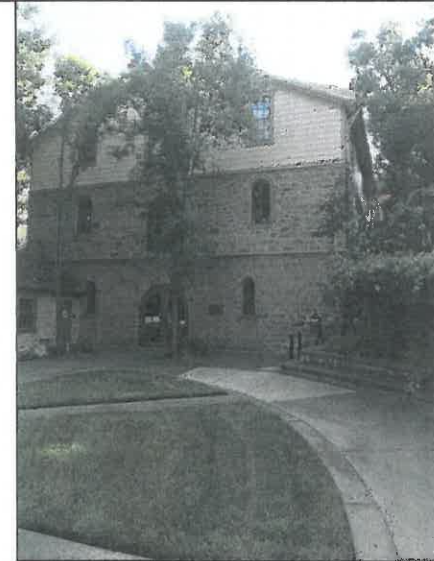
4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD= 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

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HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

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1	DESIGN REV	1/22/19

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Peter Schmidt
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5666 Telegraph Ave, Suite A
Oakland, CA 94609
JNewton7@SBCGlobal.net
JNewton7@SBCGlobal.com
Attn: John Newton/Lela Mashwood

Civil Engineer:
M&L and Associates Engineering
2555 Starwell Dr. #105
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Kkrock@mla-eng.com
Attn: Ken Alcock

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1700 North Broadway, Suite 350
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MDF@Fotheringham.com
Attn: Michael Fotheringham/Den Hu

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Clnow@placeworks.com
Attn: Charlie Knox

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(Wetland Regulation and Permitting)
3170 Crow Canyon Place, Suite 260
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Jeff@oberdingenv.com

Soils Engineer:
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(geologist and soils)
2656 Nicholson Street
San Leandro, CA 94577
Frier451@gmail.com
Attn: John Frier

Notes:
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20880 Baker Road
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3j@thornburn.com
Attn: Steven Thornburn

Traffic Engineer:
Kinley Horn
4657 Chabot Drive Suite 300
Pittsburg, CA 94565
Ben.kule@kinley-horn.com
Attn: Ben Hule

Up Light Electrical Engineering
3130 Twitchell Island rd
West Sacramento, CA 95691
Jeny@uplightee.com
Attn: Jim Levy

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines. Authenticity was a word we kept going back to when we looking at elevations. The project architect captured this by using horizontal siding, beamed board siding, tall windows, pergol roof styles, porches, heavy trim for shadows, brick features, and colors that are meant to be reminiscent of an old Western or Mining town architecture style. The buildings fit within the downtown with similar features of neighboring commercial development. This development will cater to adults who are ready to downsize as well as working professionals. The project will have social events and clubs. The units will have luxury features that this demographic seeks. It will have up local homes for the resident's children to rent or to sell to while remaining close to family and their existing social life. The project will enhance and reinvigorate a downtown that is known for struggling businesses and vacancies. A condominium conversion will be forthcoming on this project for future sales.

VICINITY MAP



PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6070 High St., Clayton
6450 Marsh Creek Rd., Clayton
6490 Marsh Creek Rd., Clayton

General Plan Designation: Multi-Family High Density (P4-D)
Zoning: Planned Development (PD)
Specific Plan: Town Center Specific Plan (for 6170 High St. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element 2015-2033
Applicable Laws:
Clayton Planning Code
California Density Bonus Law
Housing Accountability Act

General Info:
6170 High St. Lot Size: 48,378 SF
6450 Marsh Creek Rd. Lot Size: 42,361 SF
6490 Marsh Creek Rd. Lot Size: 40,603 SF
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Density Bonus Law for 33% increase for 7 very low income units
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Reception entry: 1
6450 Marsh Creek Rd.
2 bedrooms 2 bath units: 13
1 bedroom 1 bath units: 11
6170 High St.:
1/2/2

Class room: 1
Fitness room: 1
Reception entry: 1

Square Feet of Buildings:
6170 High St.: 29,929 SF
6450 Marsh Creek Rd.: 27,821 SF
6490 Marsh Creek Rd.: 27,821 SF
Building Height Allowed:
40 Feet
Building Height via Density Bonus Law Waiver:
6170 High St.: 39'-2"
6450 Marsh Creek Rd.: 37'-4"
6490 Marsh Creek Rd.: 38'-0"

Setbacks via Density Bonus Law Waiver:
See Civil plans and Landscape plans

Parking Required:
See Civil plans and Landscape plans
Lot Coverage Max: 65%
Lot Coverage:
See Civil plans and Landscape plans

SHEET INDEX

- A10 COVER SHEET, PROJECT INFO, & RENDERING
- A20 1st FLOOR PLAN
- A21 2nd FLOOR PLAN
- A22 3rd FLOOR PLAN
- A23 ROOF PLAN
- A30 LEFT AND REAR ELEVATIONS
- A31 FRONT AND RIGHT ELEVATIONS
- A32 TRASH FLOOR PLANS & ELEVATIONS
- A40 COLOR RENDERINGS
- A41 MATERIALS
- A50 NEIGHBORHOOD CONTEXT

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
Creek"
A 55+ Community

PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

COVER SHEET,
PROJECT INFO,
& RENDERING

REVISION

No.	Description	Date

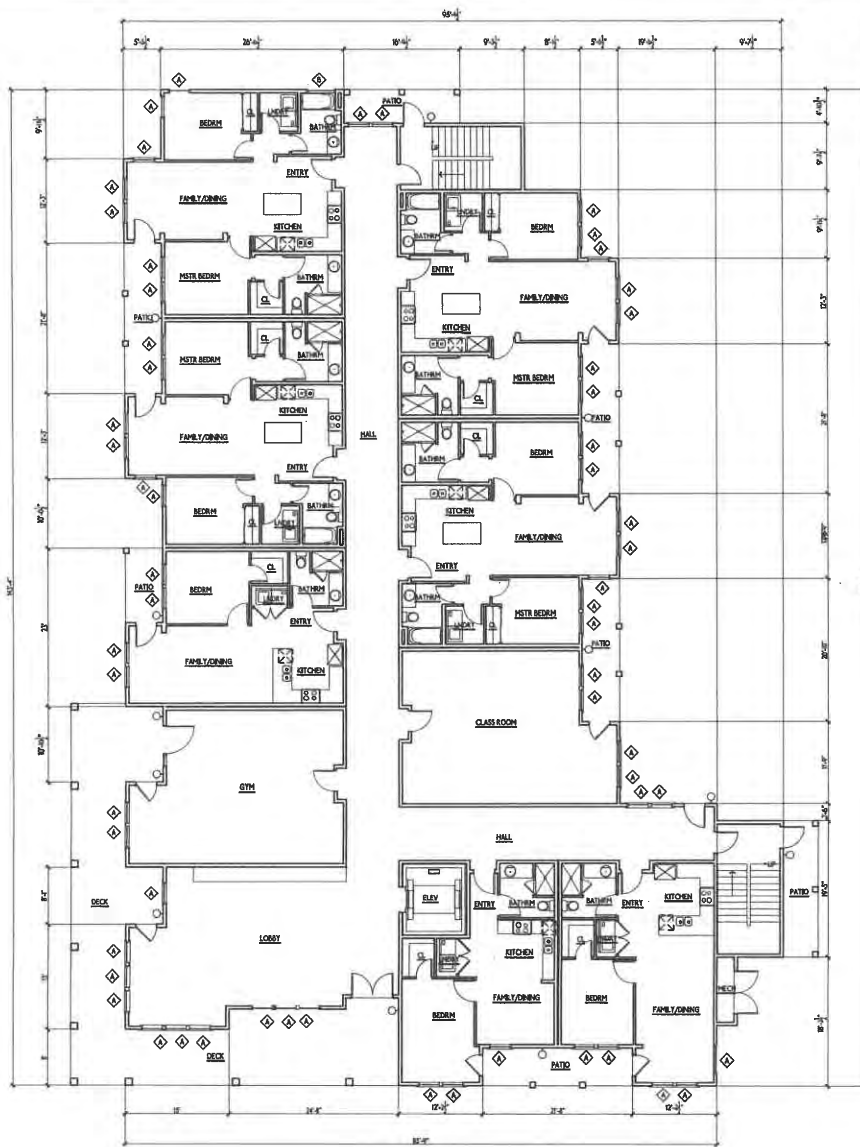
PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/18

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.



VIEW FROM MARSH CREEK RD TOWER VIEW RENDERING

A1.0



WINDOW SCHEDULE			
SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION			
TAG	SIZE W x H	HD. HT.	TYPE
◇	3'-0" x 3'-6"	8'-0"	SINGLE HUNG
◇	6'-0" x 3'-0"	8'-0"	AWNING
◇	8'-0" x 2'-6"	12'-0"	FIXED

ELECTRICAL PLAN LEGEND
 NOTE ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE A44 FOR CUT SHEET

- ⊕ wall mounted light (high efficacy lamp hybrid LED), "FL" fluorescent w/ auto ballast
- ⊕ dimmer rated, "PM" photocontrolled motion sensor controlled

1st FLOOR PLAN
 1st FLOOR PLAN
 TOTAL AREA: 10,713 SQ FT
 TOTAL OVERLAP: 0.00 SQ FT
 TRUE NORTH

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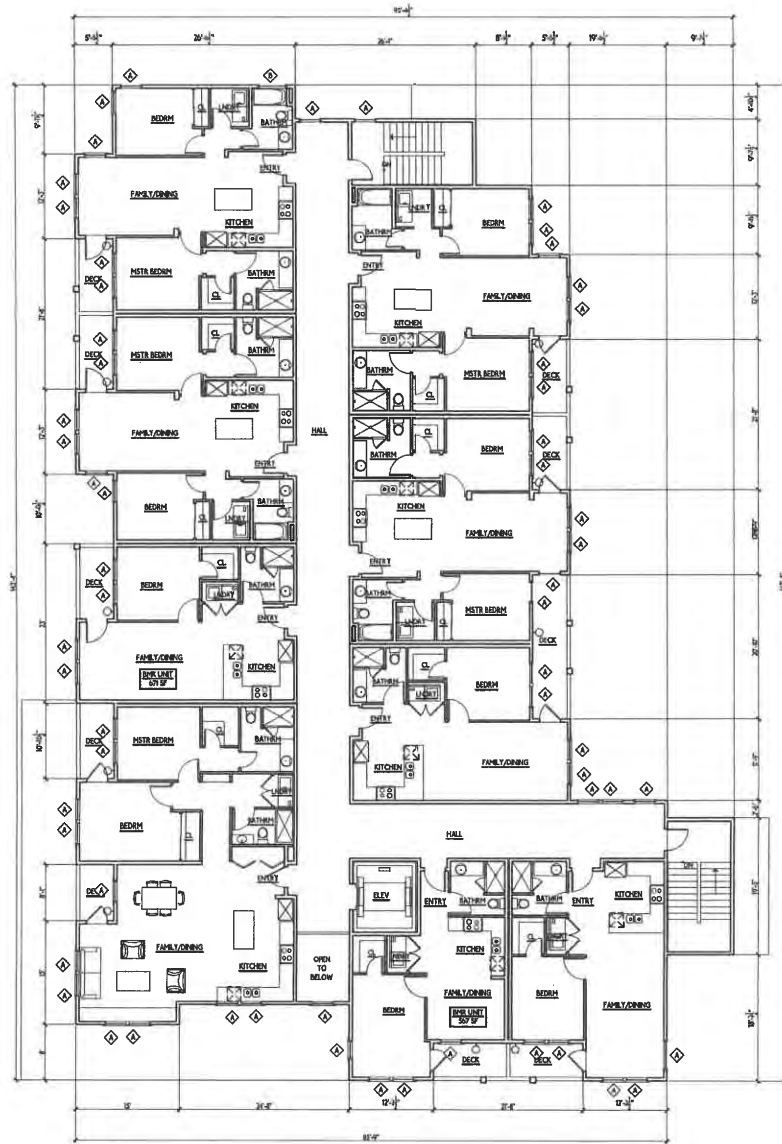
1st FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 10/7/18

A2.0



ELECTRICAL PLAN LEGEND
 NOTE ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE A/E FOR CUTOFF SHEET

□ wall mounted light (high efficacy lamp typical unless noted), "FL" - fluorescent of same ballast
 □ "A" - damp rated, "PM" - photoconduction sensor controlled

2nd FLOOR PLAN
 1/4" = 1'-0" 2ND FLOOR: 935 SF
 TRUE NORTH

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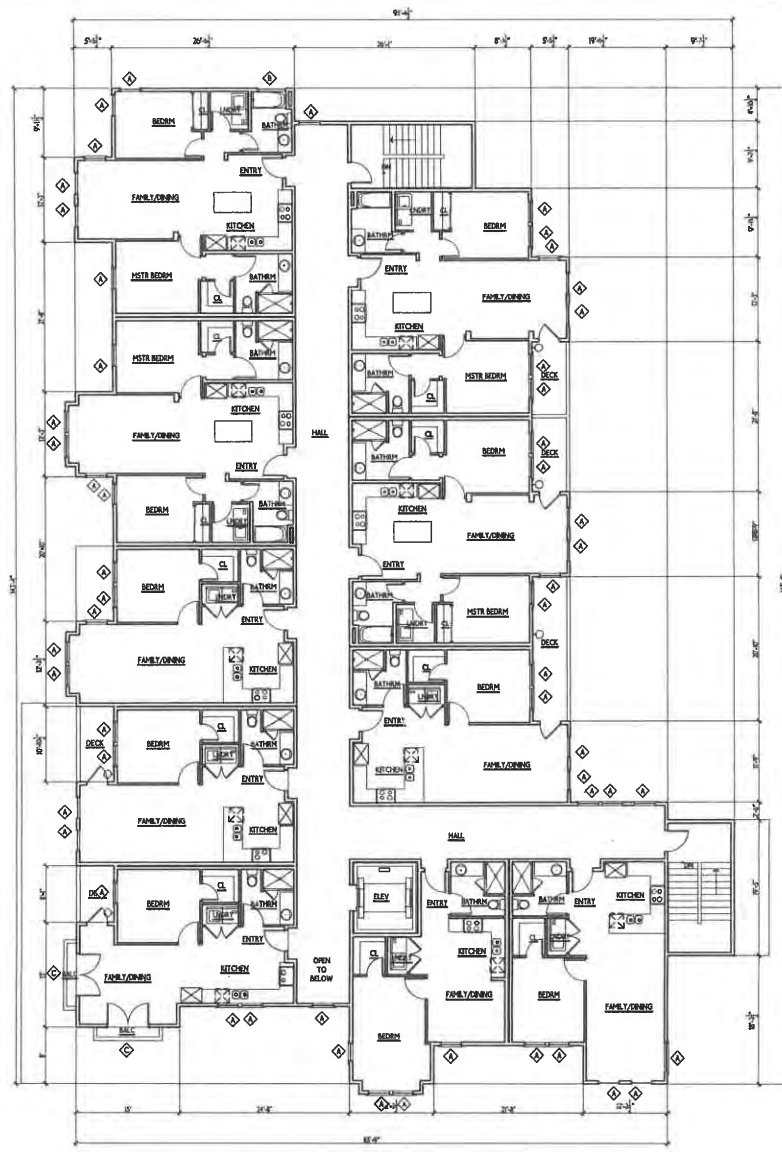
2nd FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
 DRAWN BY: WJP
 CHECKED BY: WJP
 DATE: 10/21/18

A2.1



ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE A&E FOR CUT SHEET

- wall mounted light (high efficacy lamp hybrid LED), "L" fluorescent w/ dim ballast
- "A" damp rated, "PM" photoconduction sensor controlled

3rd FLOOR PLAN
 1 A2.2 1/8"=1'-0" 3RD F.L. 9/17/18 TRUE NORTH

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OWNER:
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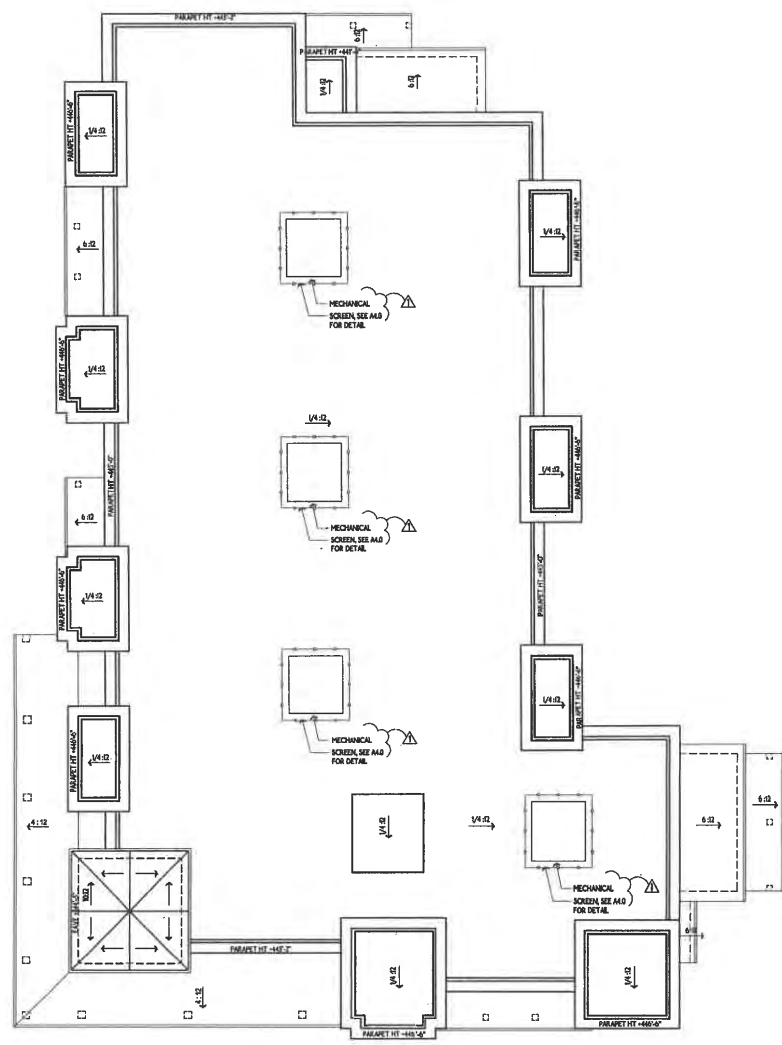
3rd FLOOR PLAN

REVISION

No.	Description	Date

PROJECT No.:
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 9/17/18

A2.2



1
A2.3 ROOF PLAN
1/8" = 1'-0"
TRUE NORTH

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Design & Development
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Clayton, CA 94517
(925) 872-7249

"The Olivia On Marsh
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PROJECT ADDRESS:
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Clayton, CA 94517
APN: 19-021-055

OWNER:
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(925) 872-7249

ROOF PLAN

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/1/18

A2.3



3
ASB
1/8" = 1'-0"
0 2 4 6 8 10
REAR (SOUTH) ELEVATION



1
ASB
1/8" = 1'-0"
0 2 4 6 8 10
LEFT (EAST) ELEVATION

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"The Olivia On Marsh
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PROJECT ADDRESS:
6450 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-028-055

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

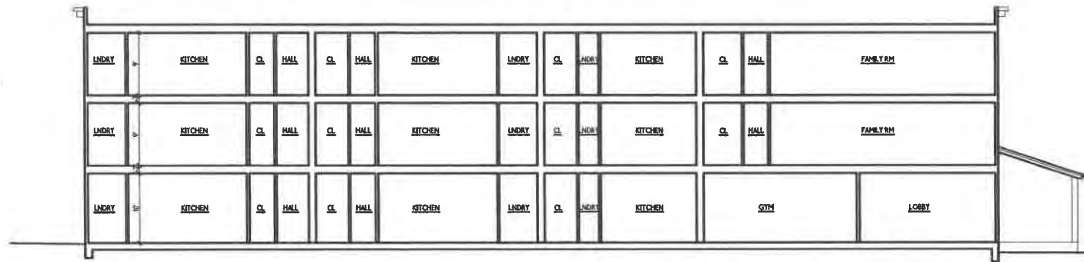
LEFT (EAST) &
REAR (SOUTH)
ELEVATIONS

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WPP
CHECKED BY: WPP
DATE: 10.7.18

A3.0



SECTION
 A3.1
 0 2 4 6 8 10



RIGHT (WEST) ELEVATION
 A3.1
 0 2 4 6 8 10



FRONT (NORTH) ELEVATION
 A3.1
 0 2 4 6 8 10

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FRONT (SOUTH),
 RIGHT (EAST)
 ELEVATIONS, &
 SECTION

REVISION

No.	Description	Date

PROJECT No.:
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 DATE: 10/7/18

A3.1

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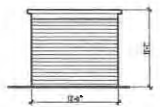
TRASH BIN ENC.
 FLOOR PLANS &
 ELEVATIONS

REVISION

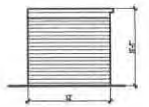
No.	Description	Date

PROJECT No.:
 DRAWN BY: WPP
 CHECKED BY: WPP
 DATE: 10/17/18

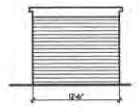
A3.2



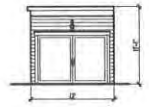
1
 A3.2
 3 BIN TRASH ENCLOSURE
 LEFT ELEVATION



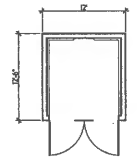
1
 A3.2
 3 BIN TRASH ENCLOSURE
 REAR ELEVATION



1
 A3.2
 3 BIN TRASH ENCLOSURE
 RIGHT ELEVATION



2
 A3.2
 3 BIN TRASH ENCLOSURE
 FRONT ELEVATION



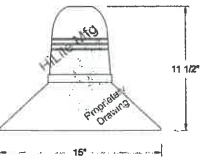
1
 A3.2
 3 BIN TRASH ENCLOSURE
 FLOOR PLAN



H-13115
Pacific Collection

Job Name: _____
 Type: _____
 Quantity: _____

HI-LITE MFG. CO., INC.
 13450 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 455-1999
 Toll Free: (800) 465-2211
 Fax: (909) 455-2957
 web: www.hilitecorp.com
 email: sales@hilitecorp.com

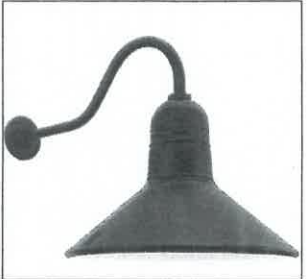


- FINISH** - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.
Standard Finishes are: 91 (Black), 93 (White), 93 (Dark Green), 99 (Galvanized), 99 (Powder Coat Pearl), 99 (Black Texture), 99 (Powder Coat Pearl).
- Upgraded Finishes are:** 29, 63, 92, 90, 92, 94, 97, 98, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 130, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 151, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 94, 44, 46, 48, 15, 16.
- For interior finish of fixture refer to color chart on pages 344-346.
- MOUNTING** - Cord, Stem, Arm, and Flush mounting available.
- ACCESSORIES** - CGU (Cast Guard and Glass), LCGU (Large Cast Guard and Glass), WGU (Wire Guard and Glass), LWGU (Large Wire Guard and Glass), ARN (Azom Globe), LARN (Large Azom Globe), SIK (Steel Kevlar) and EPX (flexible tubing for cord mounted fixture only) available.
- REFLECTOR** - Heavy duty, spun shade, aluminum 9051-0 and/or 1100-0, galvanized 22 gauge, steel 2022 gauge, copper 032040 and brass 032040 construction. Dependant on finish.
- SOCKETS/LAMPS** - Available in: Incandescent
 - rated 200 watt max/120 volt, medium base.
 Compact Fluorescent (CFL)
 - rated 13W/26S/24/27 watt max/120/277 volt, C0/C0 base.
 Metal Halide (MH)
 - rated 350W/1010/1501/175 watt max/120/260/400/277 volt, medium base, 4KV socket.
 High Pressure Sodium (HPS)
 - rated 507W/1001/180 watt max/120/277 volt, medium base.
 Light-Emitting Diode (LED)
 - See LED specification sheet.
- ON BOARD BALLAST OPTION(OBB)** - CFL 13 - 17 watt.

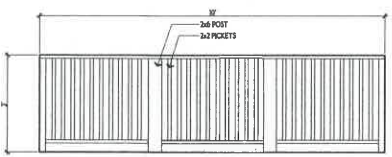
MADE IN THE U.S.A. Suitable for wet location. (Except when cord mounted)



VIEW FROM MARSH CREEK RENDERING



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



REAR VIEW RENDERING

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 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia On Marsh
 Creek"
 A 55+ Community

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 Clayton, CA 94517
 APN: 119-021-055

OWNER:
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 Clayton, CA 94517
 (925) 872-7249

RENDERINGS & EXTERIOR LIGHTING CUT SHEET

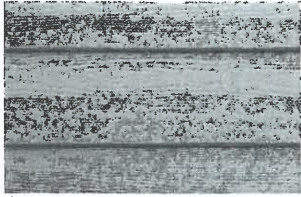
REVISION

No.	Description	Date

PROJECT No.: _____
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 10/2/18

A4.0

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN

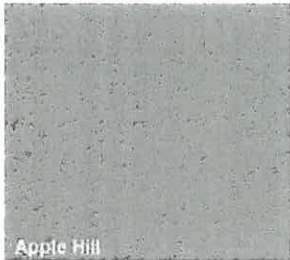


COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

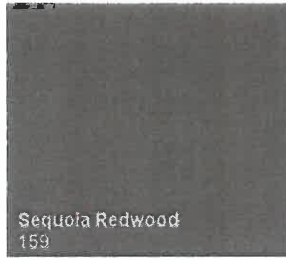
**COLORS
(KELLY MOORE PAINTS)**



Apple Hill
WALL COLOR



Gray Spell
KM4899
WALL COLOR



Sequoia Redwood
159
TOWER WALL COLOR



Sausalito Ridge
KM5800
TRIM COLOR

Whitest White
KMW43
WALL COLOR



TERRA-COTTA
METAL ROOF COLOR



NATIONAL BLUE
SHINGLE ROOF COLOR



RETAINING WALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

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OWNER:
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(925) 872-7249

MATERIAL &
COLOR BOARD

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WPI
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DATE: 10/7/18

A4.1



1381 SHELL LN= 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



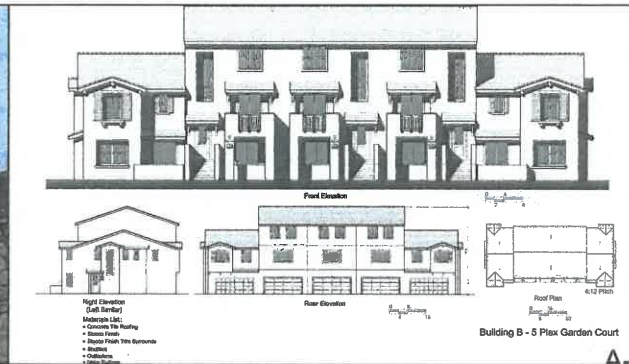
1784-1786 INDIAN WELLS WAY=32' TALL



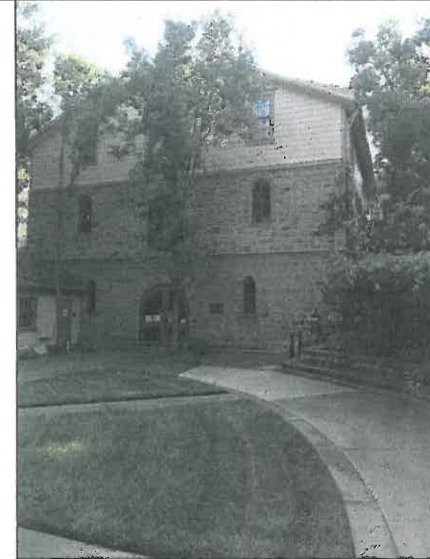
4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD= 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

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APN: 119-021-055

OWNER:
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(925) 872 7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date

PROJECT No.:
DRAWN BY: WPJ
CHECKED BY: WPJ
DATE: 10/7/18

A5.0

"THE OLIVIA ON MARSH CREEK"

A 55+ COMMUNITY

6490 Marsh Creek Rd.
Clayton, CA 94517

CONSULTANTS

Structural Engineer:
AG Schmidt
Peter Schmidt
4185 Crowell Rd
Concord, CA 94518
(925) 689-9100

Consultant:
John Newton
2656 Telegraph Ave, Suite A
Oakland, CA 94609
jnewton@msc2.com
LH@hshoff.com
Attn: John Newton/Lela Mashhood

Civil Engineer:
Milani and Associates Engineering
2565 Stearns Dr., #103
Concord, CA 94520
Kakook@milani-eng.com
Attn: Ken Klock

MD Featheringham, Landscape Architects Inc.
1700 North Broadway, Suite 390
Walrus Creek, CA 94596
MDF@featheringham.com
Attn: Michael Featheringham/Ben Hu

Planning Consultants:
PlaceWorks
1625 Shattuck Ave., #300
Berkeley, CA 94709
Cmor@placeworks.com
Attn: Charlie Knox

Biologist:
Olberding Environmental, Inc.
(Wetland Regulation and Permitting)
3170 Crow Canyon Place, Suite 200
San Ramon, CA 94583
Jeff@olberdingenv.com

Soils Engineer:
Frar Associates, Incorporated
(geologic and social)
2656 Nicholson Street
San Leandro, CA 94577
Frar4515@gmail.com
Attn: John Frar

Notes:
Thornburn Associates
20880 Baker Road
Castro Valley, CA 94546
S@thornburn.com
Attn: Steven Thornburn

Traffic Engineer:
Kinley Horn
4637 Chabot Drive Suite 300
Pleasanton, CA 94568
BenH@kinley-horn.com
Attn: Ben Hale

Up Light Electrical Engineering
3100 Twitshall Island rd
West Sacramento, CA 95691
jlevy@uplight.com
Attn: Jim Levy

PROJECT STATEMENT

The project was designed to fit into the context of downtown Clayton while paying attention to the Town Center Specific Plan urban guidelines. Authenticity was a word we kept going back to when we were looking at elevations. The project architect captured this by using horizontal siding, basket weave siding, tall windows, parapet roof styles, porches, heavy trim for shadows, brick features, and colors that are meant to be reminiscent of an old Western or Flaring town architecture style. The buildings fit within the downtown with similar features of neighboring commercial development. This development will cater to adults who are ready to downsize as well as working professionals. The project will have social events and clubs. The units will have luxury features that this demographic seeks. It will bring up local homes for the residents' children to move or sell to while remaining close to family and their existing social life. The project will enhance and realize a downtown that is known for struggling businesses and vacancies. A condominium conversion will be forthcoming on the project for future sale.

VICINITY MAP



William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

PROJECT INFO

Project: "The Olivia on Marsh Creek"
Address:
6700 High St., Clayton
6490 Marsh Creek Rd., Clayton
6490 Marsh Creek Rd., Clayton
General Plan Designation: Multi-Family High Density (P4D)
Zoning: Planned Development (PD)
Specific Plan: Town Center Specific Plan (for 6700 High St. only)
Applicable City of Clayton Policy:
City of Clayton Housing Element: 2015-2023
Applicable Law:
Clayton Municipal Code
California Density Bonus Law
Housing Accountability Act

General Info:
6700 High St Lot Size: 46,376 SF
6490 Marsh Creek Rd Lot Size: 42,361 SF
6490 Marsh Creek Rd Lot Size: 40,603 SF
Base number of units: 59 units
Density Bonus Law for 30% increase for 7 very low income units
Total Number of units: 66
Number of units per lot:
6700 High St: 30 units
6490 Marsh Creek Rd: 26 units
6490 Marsh Creek Rd: 26 units
Unit mix:
6700 High St:
2 bedrooms 2 bath units: 9
1 bedroom 1 bath units: 21
6700 High St:
1/2/2

Class room: 1
Fitness room: 1
Reception entry: 1
6490 Marsh Creek Rd.
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 13
6700 High St:
1/2/2

Class room: 1
Fitness room: 1
Reception entry: 1
6490 Marsh Creek Rd.
2 bedrooms 2 bath units: 14
1 bedroom 1 bath units: 13
6700 High St:
1/2/2

Square Feet of Building:
6700 High St.: 29,929 SF
6490 Marsh Creek Rd.: 27,883 SF
6490 Marsh Creek Rd.: 27,883 SF
Build Height Allowed:
40 Feet
Building Height via Density Bonus Law Waiver:
6700 High St.: 39'-4"
6490 Marsh Creek Rd.: 37'-4"
6490 Marsh Creek Rd.: 38'-6"

Setbacks via Density Bonus Law Waiver:
See Civil plans and Landscape plans
Parking Required:
See Civil plans and Landscape plans
Lot Coverage Max: 65%
Lot Coverage:
See Civil plans and Landscape plans

SHEET INDEX

- A1.0 COVER SHEET, PROJECT INFO, & RENDERING
- A2.0 1st FLOOR PLAN
- A3.1 3rd FLOOR PLAN
- A3.2 4th FLOOR PLAN
- A3.3 ROOF PLAN
- A3.0 LEFT AND REAR ELEVATIONS
- A3.1 FRONT AND RIGHT ELEVATIONS
- A3.2 TRASH/FLOOR PLANS & ELEVATIONS
- A4.0 COLOR RENDERINGS
- A4.1 MATERIALS
- A5.0 NEIGHBORHOOD CONTEXT

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

**COVER SHEET,
PROJECT INFO,
& RENDERING**

REVISION

No.	Description	Date
1	DESIGN REV	11/3/18

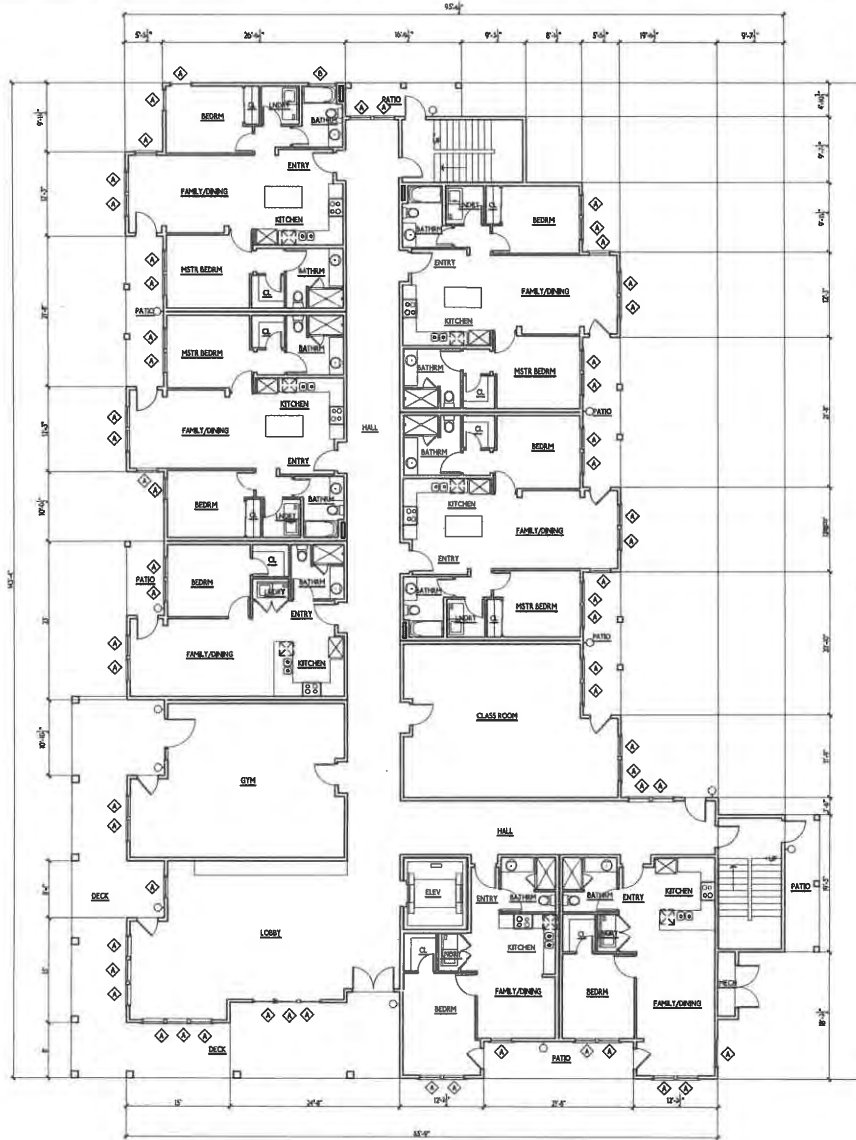
RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

PROJECT No.:
DRAWN BY: WPI
CHECKED BY: WPI
DATE: 11/7/18

A1.0



VIEW FROM MARSH CREEK RD TOWER VIEW RENDERING



WINDOW SCHEDULE

SEE TYPICAL CONSTRUCTION NOTES FOR ADDITIONAL WINDOW INFORMATION

TAG	SIZE W x H	HD. HT.	TYPE	REMARKS
◇	3'-0" x 4'-0"	8'-0"	SINGLE HUNG	124 WINDOWS
◇	4'-0" x 2'-0"	8'-0"	AWNING	3 WINDOWS
◇	6'-0" x 2'-0"	8'-0"	FIXED	2 WINDOWS

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Design & Development
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(925) 872-7249

"The Olivia On
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PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 019-021-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872 7249

1st FLOOR PLAN

REVISION

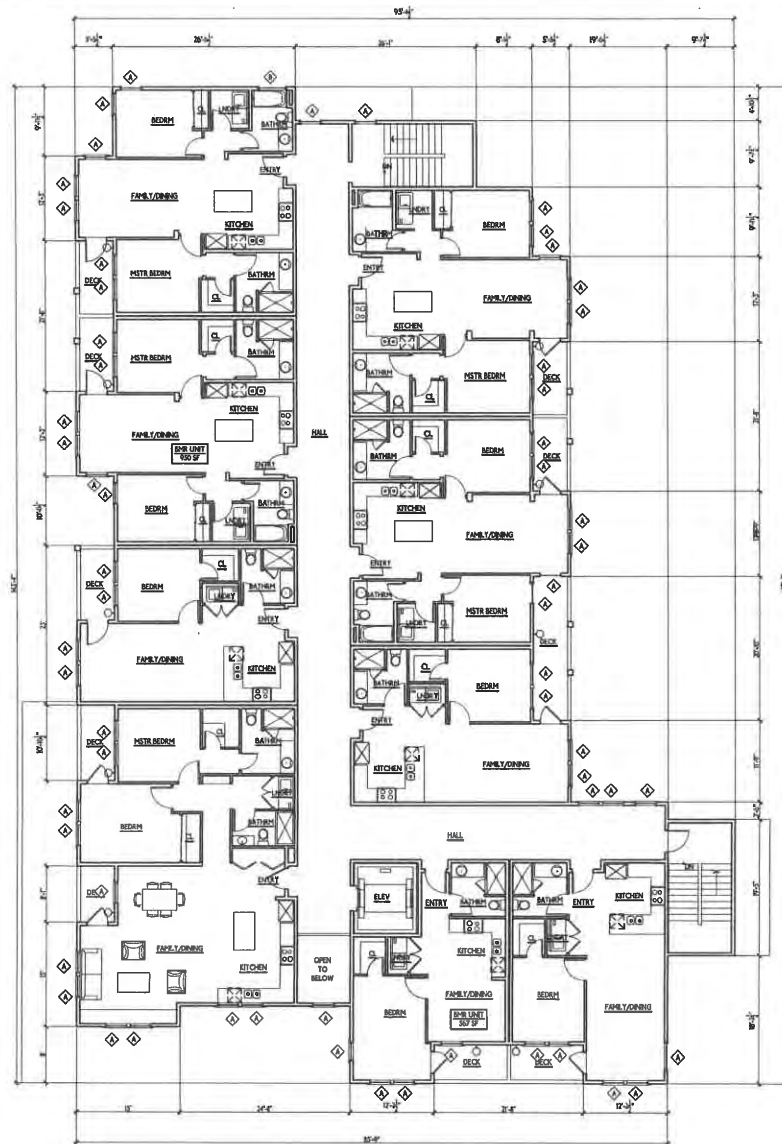
No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/7/19

A2.0

ELECTRICAL PLAN LEGEND
NOTE ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
SEE APP FOR CUTO SHEET
□ wall mounted light (high efficacy lamp typical S.A.S.), "FL" fluorescent w/ auto ballast
○ dimmer rated, "PM" photoconduction sensor controlled





ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER UNLESS OTHERWISE NOTED
 SEE AIA FOR CUT SHEET

wall mounted light fixture (high efficacy lamp typical S.A.L.T.), *PL* - placement of elect ballast
 DM - photocorrelation sensor controlled

2nd FLOOR PLAN
 1 ALL 1/8"=1'-0" 2ND FLOOR: 1/32"=1'-0"
 TRUE NORTH

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

"The Olivia On
 Marsh Creek"
 A 55+ Community

PROJECT ADDRESS:
 6490 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 019-021-013

OWNER:
 William Jordan
 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

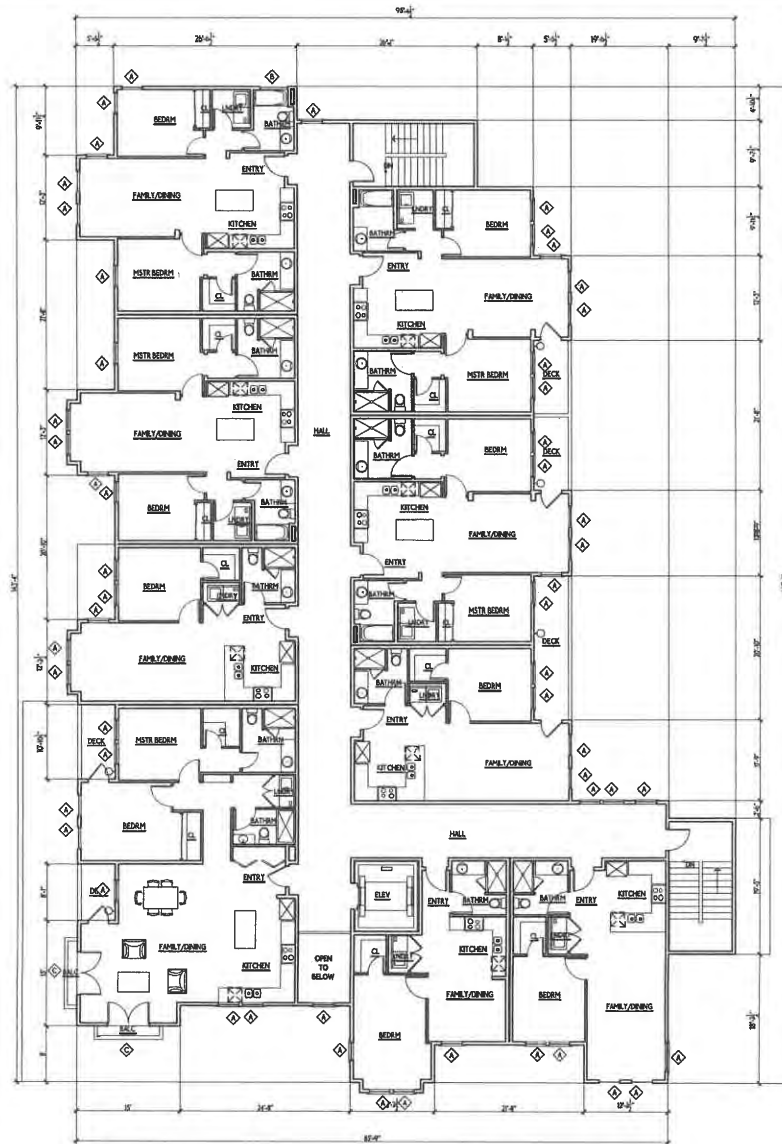
2nd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
 DRAWN BY: WJP
 CHECKED BY: WJP
 DATE: 10/7/19

A2.1



ELECTRICAL PLAN LEGEND
 NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER, UNLESS OTHERWISE NOTED. SEE AG-0 FOR CLUT SYMBOLS.
 □ wall mounted light (high efficacy lamp typical w/ULN), "PL" reflectance w/ shade bellcast.
 ○ "C"=comp rated, "PM"=photoconductive sensor controlled.

3rd FLOOR PLAN
 1/8" = 1'-0" 3RD FLR: 1977 SF
 TRUE NORTH

William Jordan
 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

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OWNER:
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 (925) 872.7249

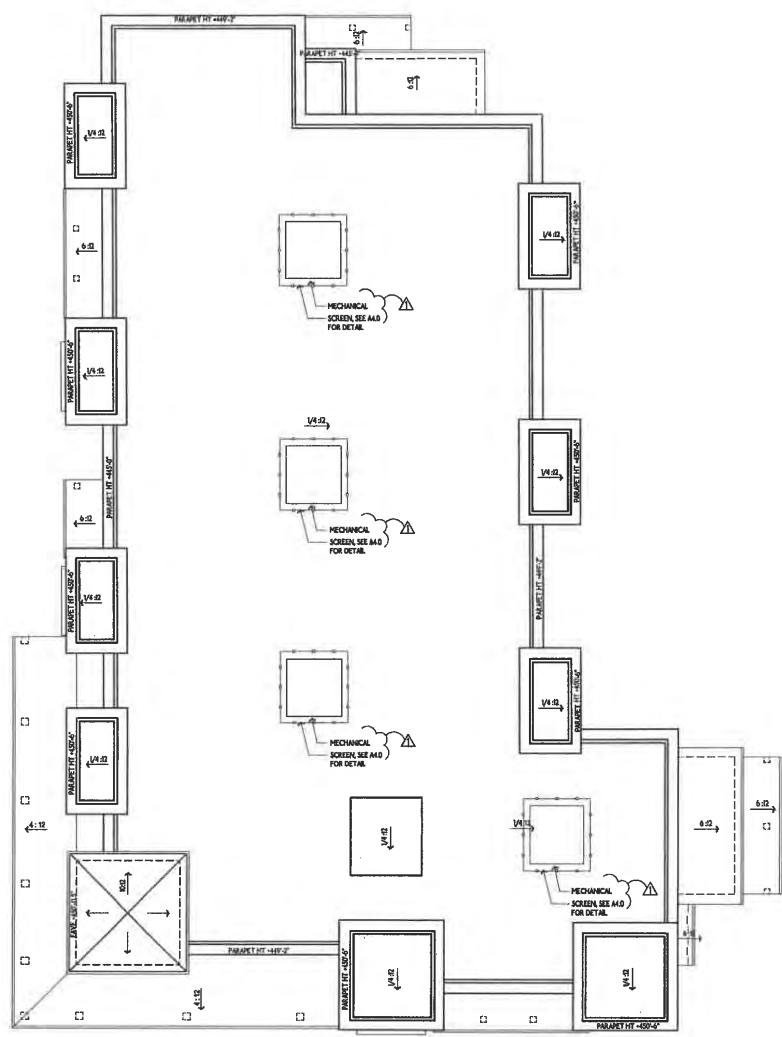
3rd FLOOR PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/3/16

PROJECT No.:
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 10/2/19

A2.2



1 ROOF PLAN
VP-V-07
0 4 8
TRUE NORTH

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Clayton, CA 94517
(925) 872-7249

"The Olivia On
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Clayton, CA 94517
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ROOF PLAN

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/2/19

A2.3

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 Design & Development
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"The Olivia On
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 6490 Marsh Creek Rd.
 Clayton, CA 94517
 APN: 119-021-013

OWNER:
 William Jordan
 P.O.Box 547
 Clayton, CA 94517
 (925) 872 7249

LEFT (EAST) &
 REAR (SOUTH)
 ELEVATIONS



REAR (SOUTH) ELEVATION
 1/8" = 1'-0"

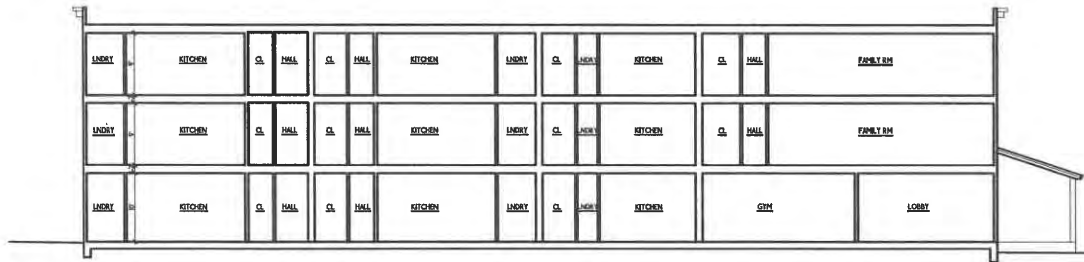


LEFT (EAST) ELEVATION
 1/8" = 1'-0"

REVISION		
No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 10/27/19

A3.0



SECTION
1/2" = 1'-0"



RIGHT (WEST) ELEVATION
1/2" = 1'-0"



FRONT (NORTH) ELEVATION
1/2" = 1'-0"

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"The Olivia On
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PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 119-024-013

OWNER:
William Jordan
P.O. Box 547
Clayton, CA 94517
(925) 872-7249

FRONT (SOUTH),
RIGHT (EAST)
ELEVATIONS, &
SECTION

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
DRAWN BY: WPI
CHECKED BY: WPI
DATE: 10/2/19

A3.1

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 Clayton, CA 94517
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OWNER:
 William Jordan
 P.O. Box 547
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 (925) 872-7249

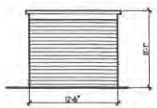
TRASH BIN ENC.
 FLOOR PLANS &
 ELEVATIONS

REVISION

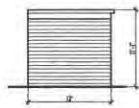
No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.:
 DRAWN BY: WPI
 CHECKED BY: WPI
 DATE: 10/7/18

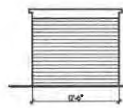
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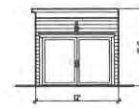
3 BIN TRASH ENCLOSURE
 LEFT ELEVATION
 1
 A3.2 WPI/CR



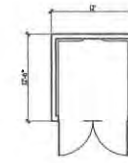
3 BIN TRASH ENCLOSURE
 REAR ELEVATION
 1
 A3.2 WPI/CR



3 BIN TRASH ENCLOSURE
 RIGHT ELEVATION
 1
 A3.2 WPI/CR



3 BIN TRASH ENCLOSURE
 FRONT ELEVATION
 1
 A3.2 WPI/CR



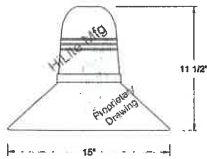
3 BIN TRASH ENCLOSURE
 FLOOR PLAN
 1
 A3.2 WPI/CR TRASH ENC 150 SF



13450 Monte Vista Avenue
Chico, California 94710
Telephone: (925) 455-1999
Toll Free: (800) 455-0211
Fax: (925) 455-0602
web: www.hilitemfg.com
email: sales@hilitemfg.com

H-13115
Pacific Collection

Job Name: _____
Type: _____
Quantity: _____



FINISH - Offered in exceptional finishes, comprised of: polymer/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.
Standard Finishes are: 91 (Black), 83 (White), 85 (Dark Green), 86 (Charcoal), 87 (Powder Coat Rust), 8K01 (Black Texture), 8K02 (Powder Coat Peina).
Upgraded Finishes are: 25, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 138, 141, 105, 137, 138, 139, 140, 121, 122, 124, 125, 126, 11, 01, 22, 25, 33, 77, 83, 84, 44, 48, 49, 15, 16.

For interior finish of fixtures refer to color chart on pages 344-349.

MOUNTING - Cord, Stem, Arm, and Flush mounting available.

ACCESSORIES - CGU (Cast Guard and Glass), LCGU (Large Cast Guard and Glass), WGU (Wire Guard and Glass), LWGU (Large Wire Guard and Glass), ARN (Acorn Globe), LARN (Large Acorn Globe), BK (Bowl Knobs) and FXP (fixture tubing for cord mounted fixture only) available.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-T6 and/or 1100-T6, galvanized 22 gauge, steel 2022 gauge, copper 1020/40 and brass 032/40 construction. Dependent on finish.

SOCKET/LAMP - Available in:
Incandescent
- rated 200 watt max/120 volt, medium base.
Compact Fluorescent (CFL)
- rated 13W/26/32/34/37 watt max/120/277 volt, G24/Q base.
Metal Halide (MH)
- rated 250/70/100/150/175 watt max/120/208/240/277 volt, medium base, 4KV socket.

High Pressure Sodium (HPS)
- rated 50/70/100/150 watt max/120/277 volt, medium base.

Light-Emitting Diode (LED)
- See LED specification sheet.

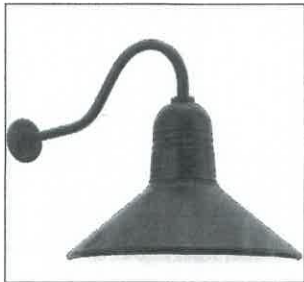
ON BOARD BALLAST OPTION(OBB) - CFL 15 - 57 watt.

MADE IN THE U.S.A.

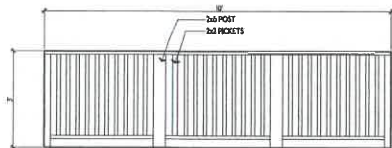
Suitable for wet location.
(Except when cord mounted)



VIEW FROM MARSH CREEK RD RENDERING



EXTERIOR LIGHT TO BE INSTALLED AT ALL ENTRANCES, EXITS, PORCHES, GARAGES



MECHANICAL SCREEN ELEVATION



REAR VIEW RENDERING

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

"The Olivia On
Marsh Creek"
A 55+ Community

PROJECT ADDRESS:
6490 Marsh Creek Rd.
Clayton, CA 94517
APN: 19-024-013

OWNER:
William Jordan
P.O.Box 547
Clayton, CA 94517
(925) 872-7249

RENDERINGS &
EXTERIOR LIGHTING
CUT SHEET

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No.: _____
DRAWN BY: WPI
CHECKED BY: WPI
DATE: 10/7/19

A4.0

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 Design & Development
 PO Box 547
 Clayton, CA 94517
 (925) 872-7249

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OWNER:
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 P.O. Box 547
 Clayton, CA 94517
 (925) 872-7249

MATERIAL &
 COLOR BOARD

REVISION

No.	Description	Date
1	DESIGN REV	11/3/18

PROJECT No.:
 DRAWN BY: WPP
 CHECKED BY: WPP
 DATE: 10/7/19

A4.1

MATERIALS



SMOOTH HARDIE LAP SIDING



BRICK BASE



SMOOTH HARDIE BOARD & BATTEN

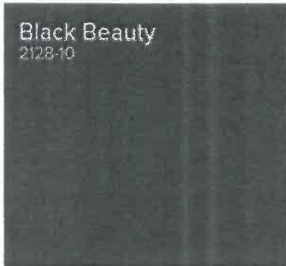


COMP. SHINGLE ROOF



CORRUGATED METAL ROOF

COLORS
 (KELLY MOORE & BENJAMIN MOORE PAINTS)



WALL COLOR



WALL COLOR



TOWER WALL COLOR



TRIM COLOR



METAL ROOF COLOR



SHINGLE ROOF COLOR



RETAINING WALL



1381 SHELL LN= 28' TALL



1754-1756 INDIAN WELLS WAY=30' TALL



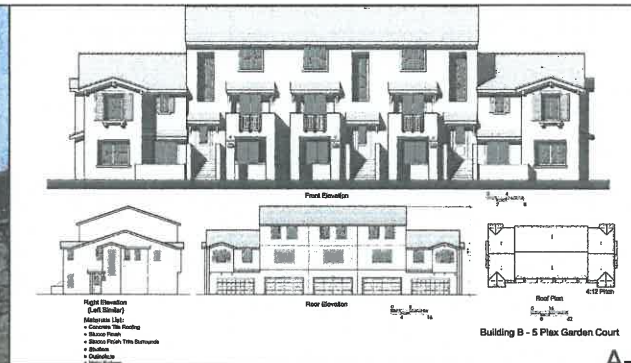
1784-1786 INDIAN WELLS WAY=32' TALL



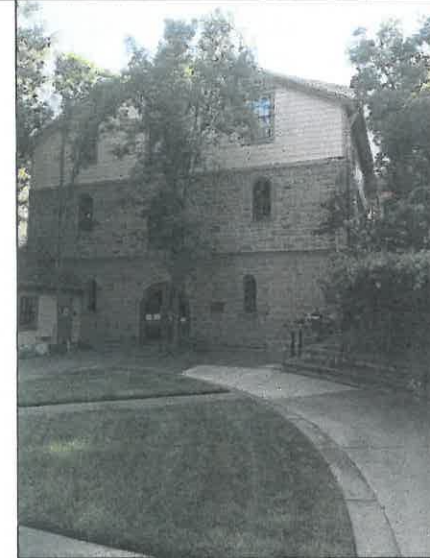
4805 KELLER RIDGE=26' TALL



6061 CLAYTON VIEW= 42' TALL (4-STORIES)



PROJECT UNDER REVIEW, 5701 CLAYTON RD= 37'-9" TALL



CLAYTON CITY HALL
6000 HERITAGE TRAIL=40' TALL



6024 HIGH ST=34' TALL

William Jordan
Design & Development
PO Box 547
Clayton, CA 94517
(925) 872-7249

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Clayton, CA 94517
APN: 119-021-013

OWNER:
William Jordan
P.O.Box 547
Clayton, CA 94517
(925) 872 7249

HIGH DENSITY
NEIGHBORHOOD
CONTEXT

REVISION

No.	Description	Date
1	DESIGN REV	12/3/18

PROJECT No. :
DRAWN BY: WJP
CHECKED BY: WJP
DATE: 10/7/19

A5.0

SITE 1

The Olivia on Marsh Creek

6170 High Street
Clayton, CA 94517



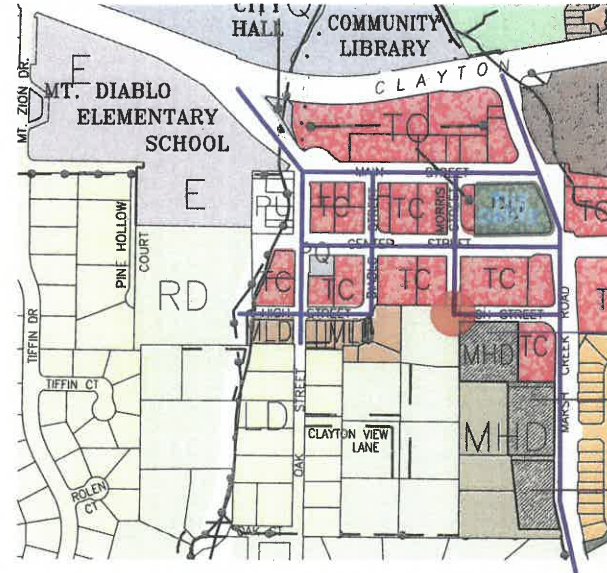
SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek



SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

-  BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
-  PROPOSED PROJECT



CONNECTIVITY DIAGRAM

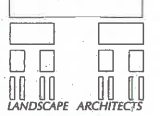
-  PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
-  NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS
1700 Marsh Blinnery, Suite 390
Walpole, CA 94595
Telephone: 925-929-8292
Fax: 925-929-8294
email: mdf@mdfotheringham.com

Landscape



Consultant

Project
THE OLIVIA ON
MARSH CREEK

Clayton, CA

SITE 1
6170 High Street
Clayton, CA 94517

Client

William P. Jordan Trust

Sheet Title

CONTEXT
PLAN

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
BVS/PMDF

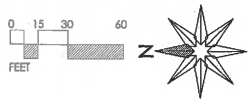
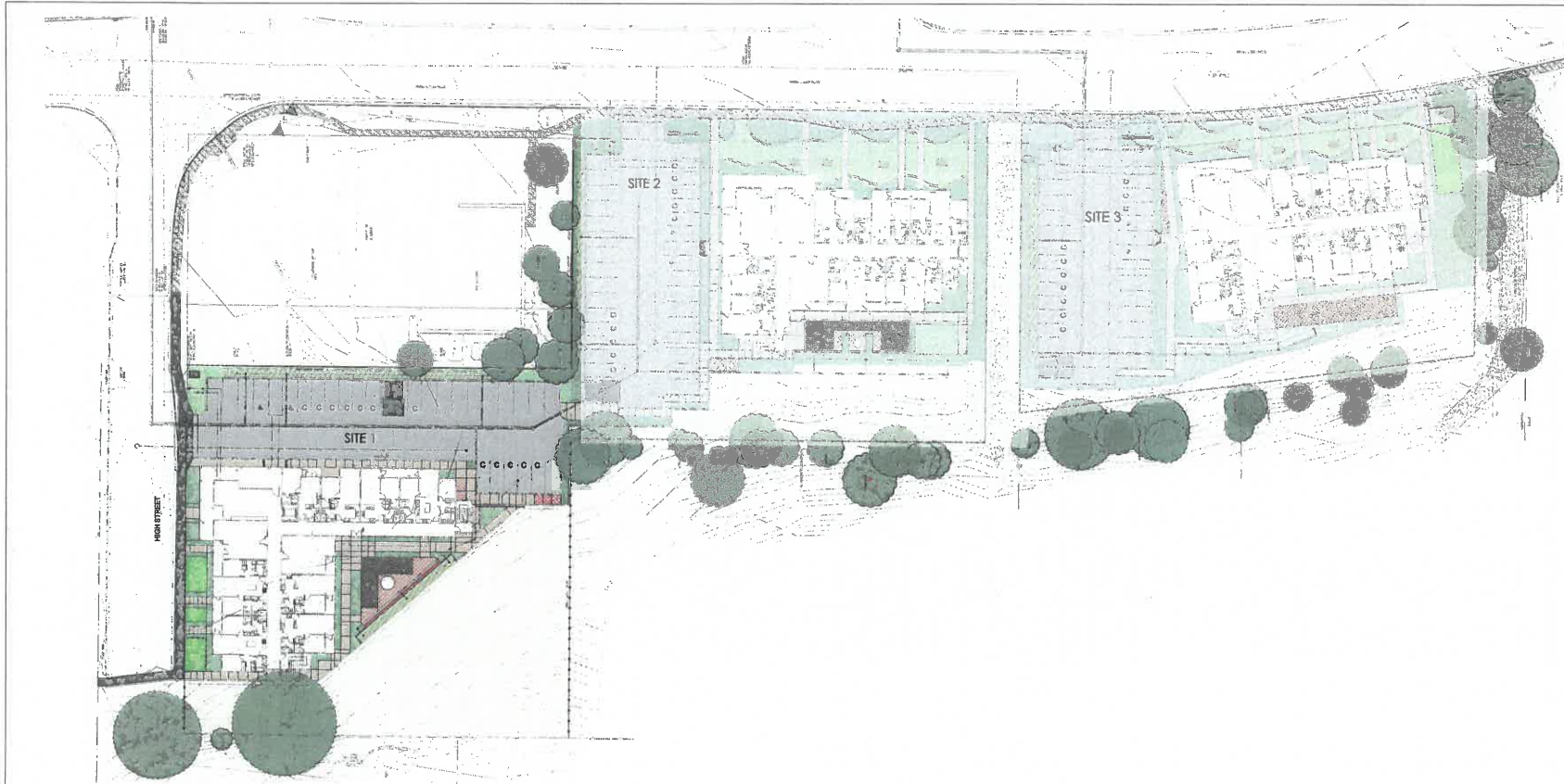
Checked by
MDF

Revisions

Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

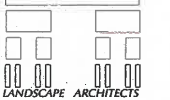
Project Number
1707
Sheet Number

L-1



**SITE 1
LOCATION PLAN**

M. D. FOTHERINGHAM



1740 North Broadway, Suite 306
 Walnut Creek, CA 94596
 Telephone: 925-939-8221
 Fax: 925-939-8244
 email: md@mdfotheringham.com



License Stamp

Countdown

Project
**THE OLIVIA ON
 MARSH CREEK**
 Clayton, CA

SITE 1
 4170 High Street
 Clayton, CA 94517

Client
 William P. Jordan Trust

Sheet Title

**SITE 1
 LOCATION
 PLAN**

Preliminary Design Submittal #2

Scale
 As Shown on Plan

Designed by
 MDF

Drawn by
 BH/SP/MDF

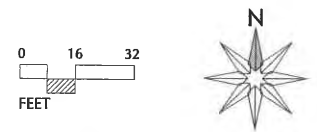
Checked by
 MDF





Revisions

Sheet Date: JUNE 1, 2018
 Issue Date: OCTOBER 7, 2011
 Project Number
 1707
 Sheet Number



**SITE 1
OPEN SPACES PLAN VIEW**



- SITE 1 LAND ACCOUNT**
-  BUILDING FOOTPRINT: 11,659 SF
 -  PARKING/UTILITY PAVEMENT: 10,721 SF
 -  ACTIVE OPEN SPACE: 9,716 SF
 -  PASSIVE OPEN SPACE/SLOPE AREA: 16,282 SF

TOTAL: 48,378 SF

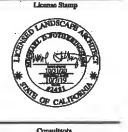
17.20.150 Item C
 Minimum Landscape Area Required = 20% of 48,378 SF = 9,676 SF
 Landscape Area Provided = 21,447 SF (44.3%)
 Minimum Vegetated Landscape Required = 75% of 9,676 SF = 7,257 SF
 Vegetated Landscape Provided = 21,447 SF

17.28.100
 Minimum Open Space Required = 20% of 48,378 SF = 9,676 SF
 Open Space Provided = 25,998 SF (54%)
 Minimum Active Open Space Required = 51% of 9,676 SF = 4,935 SF
 Active Open Space Provided = 9,716 SF

**OLIVIA - Site 1 High Street
LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
SITE 1	
Building Footprint	11,659 SF
Garage Footprint	0 SF
Parking	10,697 SF
Utility Pavement	24 SF
Entry Sign Wall	32 LF
Seawall	171 LF
C3 Planting & Basins	1,136 SF
Shrub Planting Areas	3,423 SF
Lawn	606 SF
Staped Open Space Revegetation	5,450 SF
Staped Open Space Reserve	10,947 SF
Pedestrian Circulation	4,456 SF
Actual number totalled	48,378 SF
TOTAL LANDSCAPE AREA	15,051 SF
TOTAL OPEN SPACE AREA	31,428 SF
TOTAL LOT AREA	48,378 SF
OPEN SPACE AREA PERCENTAGE	64.95%
LANDSCAPE AREA PERCENTAGE	31.11%

M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS
 1700 North Broadway, Suite 300
 Walnut Creek, CA 94597
 Telephone: 925-929-8723
 Direct: 415-627-5344
 email: md@mdfotheringham.com

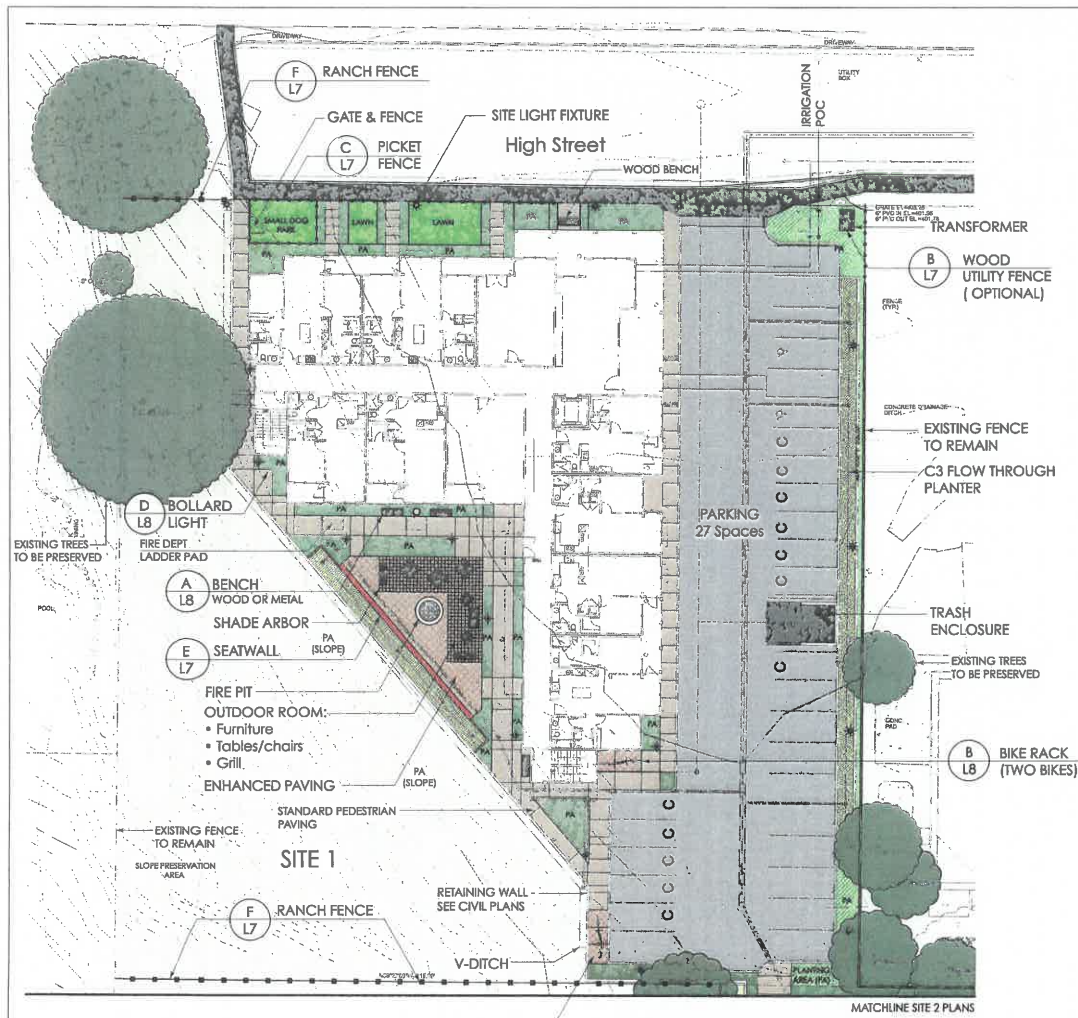


Project
**THE OLIVIA ON
MARSH CREEK**
 Clayton, CA
SITE 1
 6170 High Street
 Clayton, CA 94517
 Class
 William P. Jordan Trust

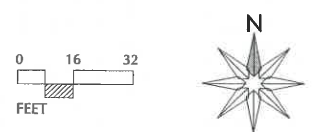
Sheet Title
**OPEN SPACE
CALCULATIONS**

Preliminary Design Submittal #2
 Scale
 As Shown on Plan
 Designed by
 MDP
 Drawn by
 BH/SP/MDP
 Checked by
 MDP
 Reviewed

Start Date: JUNE 1, 2016
 Issue Date: OCTOBER 7, 2019
 Project Number
 1707
 Sheet Number



**SITE 1
LAYOUT PLAN**



NOTE:
SEE SHEET L-6 FOR PLANTING DESIGN OF SITE 1

M. D. FOTHERINGHAM
LANDSCAPE ARCHITECTS
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Walnut Creek, CA 94596
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Direct: 415-603-5244
email: mdf@mddfcofdesign.com



Consultants

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 1
4170 High Street
Clayton, CA 94517
Client
William P. Jordan Trust

Sheet Title

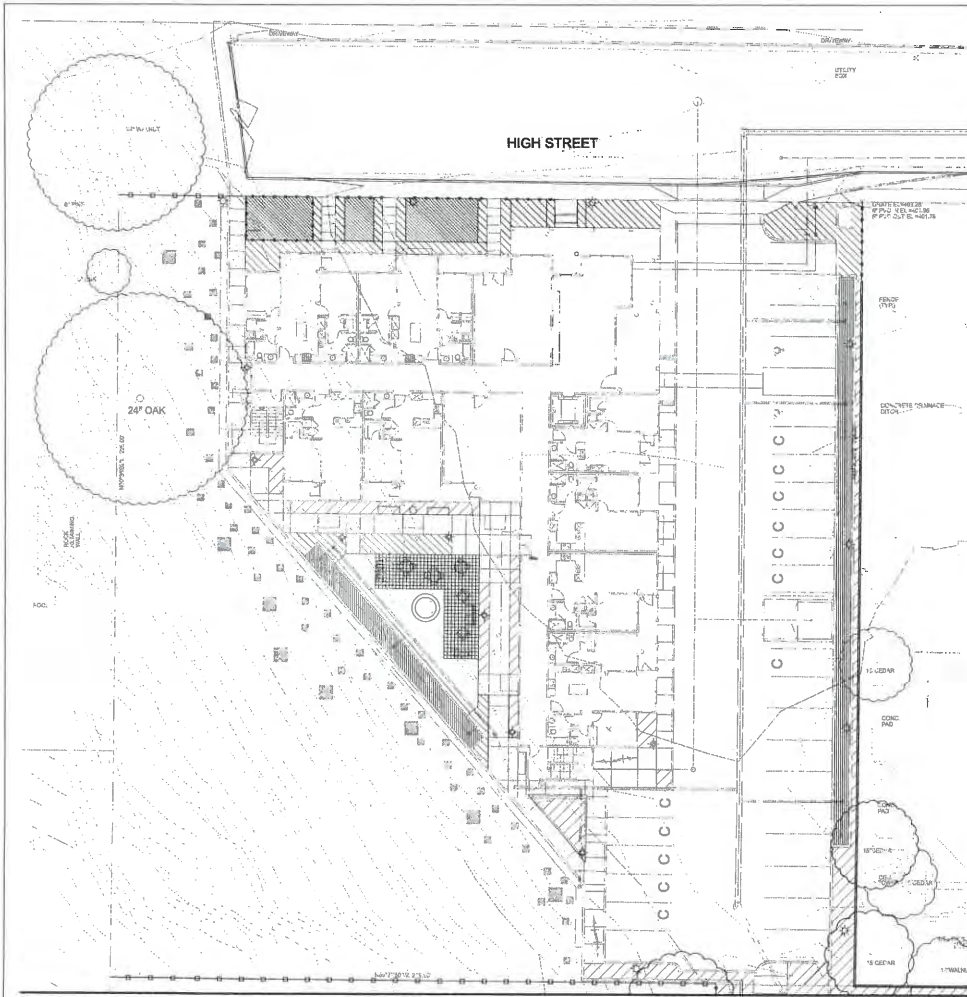
**LAYOUT
PLAN**

Preliminary Design Submittal #2







Scale
As Shown on Plan
Designed by
MDF
Drawn by
BR/SP/MDF
Checked by
MDF
Revised

2. Revised Site & Vegetated Area: 10/9/17

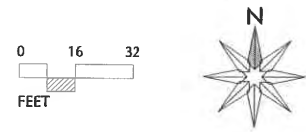
Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019
Project Number
1707
Sheet Number



HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

**SITE 1
HYDROZONE PLAN**



MATCHLINE SITE 2 PLANS

M. D. FOTHERINGHAM
 LANDSCAPE ARCHITECTS
 1700 North Broadway, Suite 300
 Walnut Creek, CA 94597
 Telephone: 925-938-8223
 E-mail: md@totaldesigngroup.com



Consultants

Project
**THE OLIVIA ON
MARSH CREEK**
 Clayton, CA
SITE 1
 4170 High Street
 Clayton, CA 94517
 Client
 William P. Jordan Trust

Sheet Title

**HYDROZONE
PLAN**

Preliminary Design Submittal #2
 Scale
 As Shown on Plan

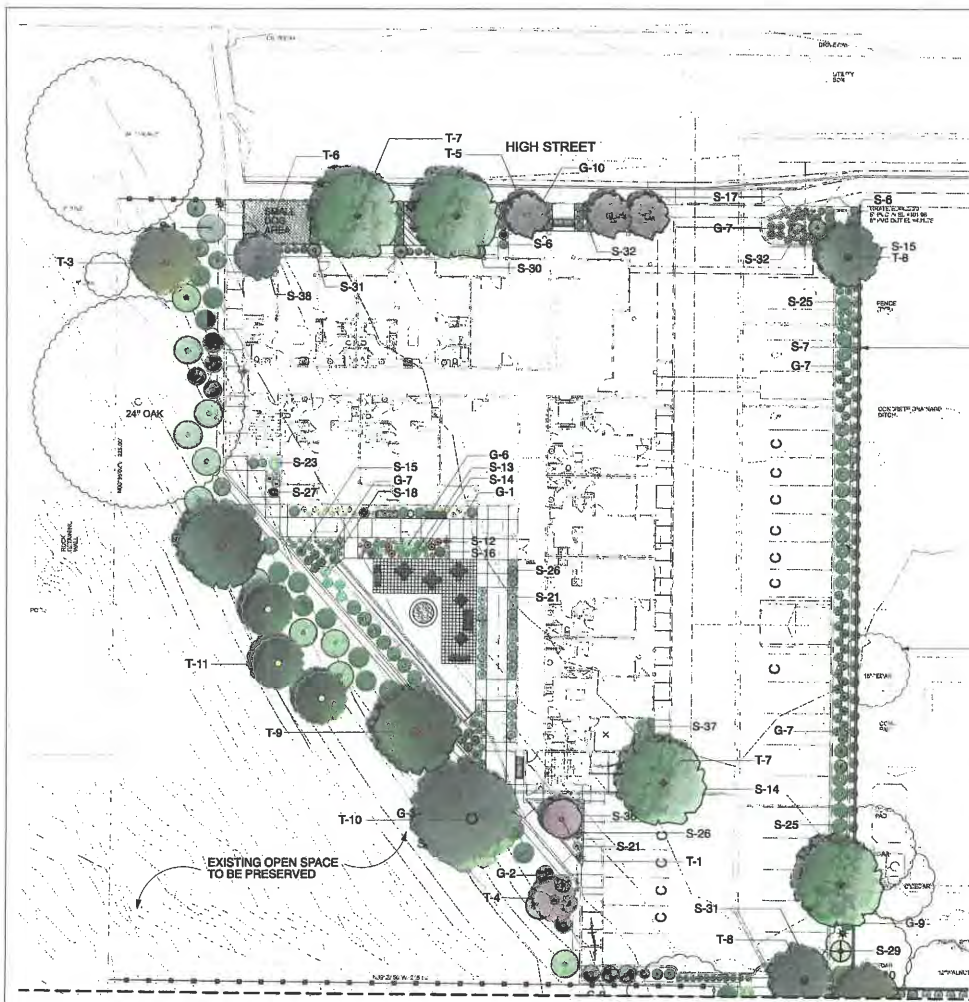
Designed by
 M.D.F.

Drawn by
 B4/S/P/M.D.F.

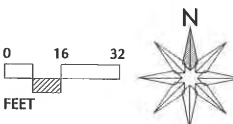
Checked by
 M.D.F.

Revisions

Sheet Date: JUNE 1, 2018
 Issue Date: OCTOBER 7, 2019
 Project Number
 1707
 Sheet Number



SITE 1 PLANTING PLAN



NOTE:
SHRUB & GROUND COVER PLANTING IS
INDICATIVE OF SPACING AND MATURE GROWTH
EXPECTATIONS. NOT ALL PLANTS IN THE PLANT
SCHEDULE ARE LABELED ON THESE PLANS.

TREE REPLACEMENT CHART			SITE 1			
	Existing Trees - Removed Data		Proposed Trees	New Trees		
	Number	Trunk Inches Removed		Required Replacement	Required Replacement	Required Replacement
Protected Trees Removed	7	124.5	38			
Tree Tags	1, 5, 8, 8, 16, 16					
Other Trees Removed	0					
Tree Tags	10, 11, 12, 14, 16, 16					
Trees Removal Impacts	13	124.5	41			
New Trees				10	11	7
Required Replacement Trunk Inches:			41	42.00 Inches	19.25 inches	22.76 inches
Mitigation Tree Replacement:				18	11	7

TREE REPLACEMENT ANALYSIS						
	SITE 1		SITE 2		SITE 3	
	Quantities	Replacement Ratio at 35%	Quantities	Replacement Ratio at 35%	Quantities	Replacement Ratio at 35%
Protected Trees Removed	7		18		28	
Removed inches	103"		303.2"		389.5"	
Replacement Ratio at 35%	34"	62"	100"	182"	159"	185"
New Trees	10	11	7	7	41	42.00"
Average New Trunk Diameter (DBH)	1.6"	2.3"	2.7"	4.1"	3.2"	4.75"

America's Standard for Nursery Stock (ANSI Z60.1-2004)

Table 6 - Root ball diameters - field grown trees

Type 1 and Type 2 Shade Trees		Type 3 and Type 4 Small Upright and Small Spreading Trees	
Caliper	Minimum diameter root ball	Caliper (6" and over)	Minimum diameter root ball
1/4 in.	12 in.	2 ft.	19 in.
3/8 in.	14 in.	3 ft.	12 in.
1 in.	16 in.	4 ft.	14 in.
1 1/2 in.	18 in.	5 ft.	16 in.
1 3/4 in.	20 in.	7 1/2 in.	16 in.
1 1/2 in.	22 in.	1 in.	18 in.
2 1/8 in.	24 in.	1 1/2 in.	19 in.
2 3/8 in.	26 in.	1 3/4 in.	20 in.
3 in.	32 in.	1 1/2 in.	22 in.
3 1/2 in.	36 in.	2 in.	24 in.
4 in.	42 in.	2 1/2 in.	28 in.
4 1/2 in.	48 in.	3 in.	32 in.
5 in.	54 in.	3 1/2 in.	38 in.
5 1/2 in.	57 in.	4 in.	42 in.
6 in.	60 in.	4 1/2 in.	48 in.
7 in.	72 in.	5 in.	54 in.
8 in.	80 in.	5 1/2 in.	57 in.
		6 in.	60 in.
		7 in.	70 in.
		8 in.	80 in.

PRELIMINARY PLANT LIST

Symbol	Scientific Name	Common Name	Installation Size	Water Demand	Plant Spacing
T-1	<i>Arbutus Menziesii</i> (M-E)	Manzanita	See Replacement Chart	Low	See Plan
T-2	<i>Cercocarpus wrightii</i> (E)	Dorado Cedar	See Replacement Chart	Low	See Plan
T-3	<i>Phytolacca americana</i> (E)	Chinaman Plantain	See Replacement Chart	Low	See Plan
T-4	<i>Quercus occidentalis</i> (M-E)	Western RedOak	See Replacement Chart	Very Low	See Plan
T-5	<i>Chilopsis linearis</i> (M-E)	Golden Rain Tree	See Replacement Chart	Low	See Plan
T-6	<i>Lagerströmia speciosa</i> (E)	Keweenaw Crane Myrtle	See Replacement Chart	Low	See Plan
T-7	<i>Philadelphus lewisii</i> (E)	Woodland Lilac	See Replacement Chart	Moderate	See Plan
T-8	<i>Mercureia scandens</i> (Lima Germ) (E)	Lima Germ Southern Manzanita	See Replacement Chart	Moderate	See Plan
T-9	<i>Quercus laevis</i> (M-E)	Coast Live Oak	See Replacement Chart	Very Low	See Plan
T-10	<i>Quercus laevis</i> (M-E)	Coast Live Oak	See Replacement Chart	Low	See Plan
T-11	<i>Umbellularia Californica</i> (M-E)	California Bay Tree	See Replacement Chart	Moderate	See Plan
B-1	<i>Azalea mollis</i>	Flowering Azalea	4 Gallon	Moderate	2' O.C.
B-2	<i>Asparagus plumosus</i>	Blue Flag	1 Gallon	Moderate	2' O.C.
B-3	<i>Asparagus plumosus</i>	White Flag	1 Gallon	Moderate	2' O.C.
B-4	<i>Azalea mollis</i>	Flowering Azalea	4 Gallon	Moderate	2' O.C.
B-5	<i>Azalea mollis</i>	Flowering Azalea	4 Gallon	Moderate	2' O.C.
B-6	<i>Buxus microphylla</i>	Common Buxus	1 Gallon	Moderate	2' O.C.
B-7	<i>Calliandra</i>	Dwarf Bottlebrush	4 Gallon	Low	2' O.C.
B-8	<i>Ceanothus leucanthus</i>	California Lilac	1 Gallon	Low	2' O.C.
B-9	<i>Citrus aurantium</i>	Dwarf Orange	1 Gallon	Low	2' O.C.
B-10	<i>Citrus aurantium</i>	Dwarf Orange	1 Gallon	Low	2' O.C.
B-11	<i>Coccoloba</i>	Tree Dew	1 Gallon	Low	2' O.C.
B-12	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-13	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-14	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-15	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-16	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-17	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-18	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-19	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-20	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-21	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-22	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-23	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-24	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-25	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-26	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-27	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-28	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-29	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-30	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-31	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-32	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-33	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-34	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-35	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-36	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-37	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-38	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-39	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-40	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-41	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-42	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-43	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-44	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-45	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-46	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-47	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-48	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-49	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-50	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-51	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-52	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-53	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-54	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-55	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-56	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-57	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-58	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-59	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-60	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-61	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-62	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-63	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-64	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-65	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-66	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-67	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-68	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-69	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.
B-70	<i>Hamamelis virginica</i>	Winged Seedling	1 Gallon	Moderate	2' O.C.

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 LANDSCAPE ARCHITECTS
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 Email: mdfo@mdfoandscape.com
 License State of California



Project
THE OLIVIA ON MARSH CREEK
 Clayton, CA

SITE 1 4170 High Street Clayton, CA 94517

Client
 William P. Jordan Trust

Sheet Title

PLANTING PLAN

Preliminary Design, Submitted #2

As Shown on Plan

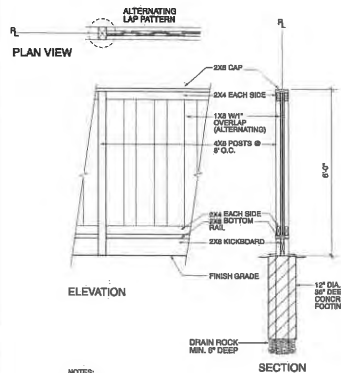
Designed by
 MDP

Drawn by
 BVS/MDP

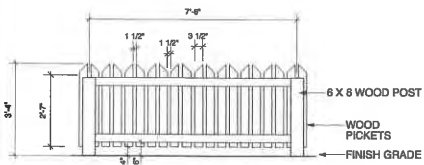
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Revisions

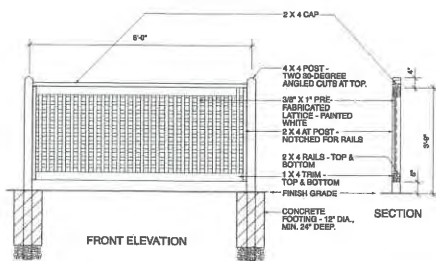
Sheet Date: JUNE 1, 2018
 Issue Date: OCTOBER 7, 2019
 Project Number
 1707
 Sheet Number



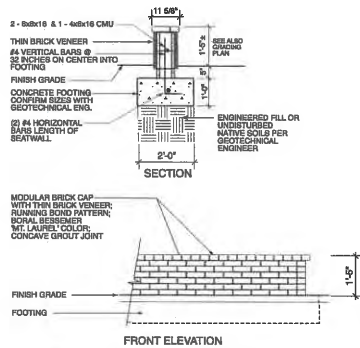
D
L7
GOOD NEIGHBOR FENCE
1/2" = 1'-0"



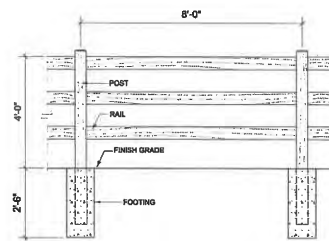
C
L7
40 IN. HIGH PICKET FENCE
1/2" = 1'-0"



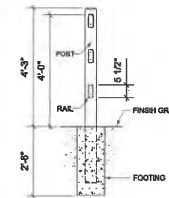
B
L7
WOOD UTILITY SCREEN
1/2" = 1'-0"



E
L7
BRICK VENEER SEAT WALL
1/2" = 1'-0"



F
L7
ELEVATION - 3 RAIL FENCE
NOTE: FENCE MATERIAL CAN BE WOOD OR CONCRETE



SECTION - 3 RAIL FENCE

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Coordinator

Project
THE OLIVIA ON MARSH CREEK
Clayton, CA
SITE 1
4170 High Street
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 1

Preliminary Design Submittal #2
Scale
As Shown on Plan

Designed by
MDF

Drawn by
BH/SP/MDF

Checked by
MDF

Revisions

Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 2, 2019

Project Number
1707

Sheet Number
L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDINANCE PROJECT SUMMARY

PROJECT NAME: The Olivia at Marsh Creek - Site 1
 CITY LOCATION: Clayton ETS LOCATION: Concord
 LANDSCAPE ARCHITECT: M.D. Fotheringham, Landscape Architects, Inc.
 prepared by: M.D. Fotheringham, Landscape Architects, Inc.
 1700 North Broadway, Suite 200
 Walnut Creek, CA 94596
 925-938-8282

Date: 10/7/19

Total Landscaped Area (SLA): 9,221
 Total Calculated Hydrozone Area (HA): 9,221
 Annual ETg (gallons): 43.3
 Total Special Landscape Area: 0

INCLUDED IN THIS PROJECT SUBMITTAL PACKAGE:
 (Check to include submittal)

Box	Item	gallons/year without rainfed	gallons/year with rainfed
<input checked="" type="checkbox"/>	1 Maximum Applied Water Allowance	77,990	77,990
<input checked="" type="checkbox"/>	2 Submittal Total Water Use	64,907	64,907
<input checked="" type="checkbox"/>	3 Covered Water from Effective Precipitation		0
<input checked="" type="checkbox"/>	4 Expected Water Budget Percent Savings	15.50%	15.50%

Notes: If the design assumes that a part of the ETWA will be provided by precipitation, the Effective Precipitation calculation should be completed and submitted.

- 4 Hydrozone Report
- 5 Soil Fertility Analysis
- 6 Grading Design Plan
- 7 Planting Design Plan
- 8 Irrigation Design Plan
- 9 Irrigation Schedule

POST-INSTALLATION INSPECTION:

- A Maintenance Schedule
- B Irrigation Audit
- C Plants installed as specified (substitutions accepted)
- D Irrigation system installed as designed (as-builts included)
- E Landscape irrigation audit performed
- F Submittal package and site certification package have been provided to owner, building or site manager and final report signed.

gallons/year without rainfed	gallons/year with rainfed
77,990	77,990
64,907	64,907
	0
15.50%	15.50%

WELO MAXIMUM APPLIED WATER ALLOWANCE

PROJECT NAME: The Olivia at Marsh Creek - Site 1 Date: 10/7/19
 CITY OF: Clayton ETS Location: Concord
 SECTION B1 MAXIMUM APPLIED WATER ALLOWANCE
 MAWA = $ETg \times .82 \times (.55 \times HA) + (.45 \times SLA)$

YEARLY ETg: 43.3
 CONVERSION FACTOR: 0.62
 ET ADJUSTMENT FACTOR: 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 5,221
 SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,990
 TOTAL ACRE FEET: 0.24

Calculations:
 $43.3 \times 0.62 \times 0.55 \times 5,221 + 0.45 \times 0 = 77,990$

Effective Precipitation (Eppit)
 Use 25% of annual precipitation in the following equation:
 $MAWA = (ETg - Eppit) \times .82 \times (.55 \times HA) + (.45 \times SLA)$

YEARLY ETg: 43.3
 EFFECTIVE PRECIPITATION (Eppit) = $XX/XX \text{ in/yr} \times 25 = 0$
 NET ETg: 43.3
 CONVERSION FACTOR: 0.62
 ET ADJUSTMENT FACTOR: 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 5,221
 SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year): 77,990
 TOTAL ACRE FEET: 0.24

Calculations:
 $43.3 \times 0.62 \times 0.55 \times 5,221 + 0.45 \times 0 = 77,990$

RESULTS: Irrigation reductions by adding precipitation (gallons/year): 0

WELO ESTIMATED TOTAL WATER USE

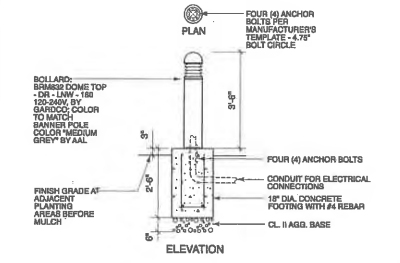
PROJECT NAME: The Olivia at Marsh Creek - Site 1 Date: 10/7/19
 CITY OF: Clayton ETS City: Concord
 SECTION B3 ESTIMATED TOTAL WATER USE (ETWA, gallons per year)
 $ETWA = ETg \times .82 \times (.99 \times HA/1E) + SLA$

Calculate the following for each hydrozone (H2):

YEARLY ETg (gallons per year): 43.3
 CONVERSION FACTOR (in gallons per square foot): 0.62
 AVG PF - PLANT FACTOR (grant water demand, defined for each hydrozone): 0.34
 TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet): 5,221
 SPECIAL LANDSCAPE AREA (SLA in Square Feet): 0
 AVG IE - IRRIGATION EFFICIENCY FACTOR (minimum .75): 0.80
 TOTAL ESTIMATED TOTAL WATER USE (gallons/year): 64,907
 TOTAL ACRE FEET: 0.20

Calculations:
 $43.3 \times 0.62 \times 0.34 \times 5,221 + 0 = 64,907$

YEARLY CONVERSION H2 ETg FACTOR	H2 NO.	HYDROZONE DESCRIPTION	PLANT SPECIES	IRRIGATION EFFICIENCY METHOD	ETWA #/100	ETWA #/100	ETWA #/100	% AREA	LANDSCAPE AREA (Sq Ft)	ESTW Area	ESTW Area
43.3	0.82	1	Low-Med	0.62	0.91	0.55	15.24	17.24	360	360	360
43.3	0.82	2	Med-High	0.62	0.91	0.49	14.92	17.24	702	702	702
43.3	0.82	3	High-Dry	0.62	0.91	0.35	11.61	17.24	315	315	315
43.3	0.82	4	Low-High	0.62	0.91	1.17	13.39	17.24	848	848	848
43.3	0.82	5	CP Flower/Perfor	0.62	0.91	0.41	11.97	17.24	591	591	591
43.3	0.82	6	CP Small	0.62	0.91	0.49	9	17.24	405	405	405
43.3	0.82	7	Tree-Low	0.62	0.91	0.28	2.88	17.24	91	91	91
43.3	0.82	8	Tree-Very Low	0.62	0.91	0.13	1.44	17.24	56	56	56
43.3	0.82	9	Tree-Medium	0.62	0.91	0.48	5.52	17.24	245	245	245
			Special Landscape Area						0	0	0
TOTAL AVERAGE PF:										0.34	
AVERAGE IE:										0.80	
AVERAGE ETWA:										64,907	64,907



D LIGHT BOLLARD
 1/2" = 1'-0"



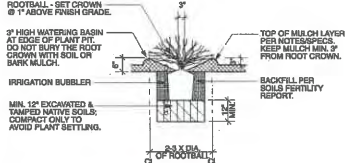
C TRASH RECEPTACLE
 NTS



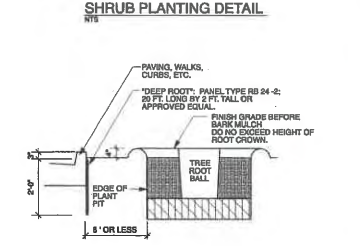
B BICYCLE RACK
 NTS



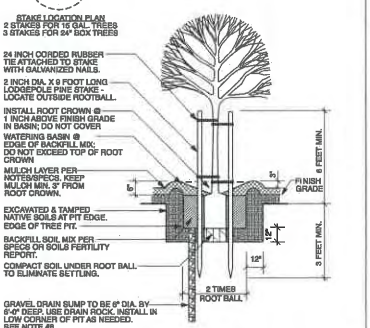
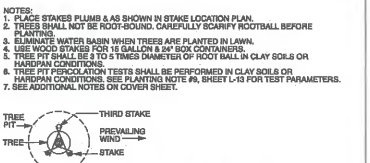
A BENCH W/BACK/BACKLESS
 NTS
 (Show architectural dwgs for alternate wood bench)



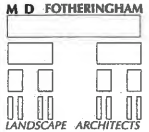
NOTES:
 1. FOR GROUND COVER AREAS, ROTBALL AMENDMENTS AS RECOMMENDED BY SOLS REPORT OR TO 9\"/>



ROOT BARRIER DETAIL
 NTS



TREE INSTALLATION DETAIL
 NTS



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 Walnut Creek, CA 94596
 Telephone: 925-938-8282
 Email: md@mdfotheringham.com



Project
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 1
 4170 High Street
 Clayton, CA 94517

Client
 William P. Jordan Trust

CONSTRUCTION DETAILS 2 & WELO CALCULATIONS

Preliminary Design Submittal #2
 Scale: As Shown on Plan

Designed by: MDP

Drawn by: BH/SP/MPD

Checked by: MDP

Revision

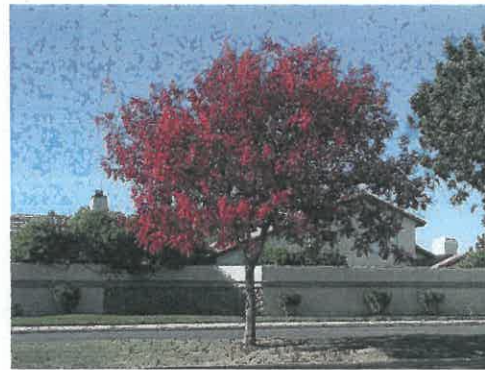
Sheet Date: JUNE 1, 2019
 Sheet Date: OCTOBER 7, 2019
 Project Number: 1707
 Sheet Number: L-8



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

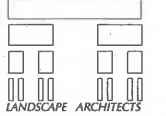


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



LANDSCAPE ARCHITECTS
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Landscape Design



Consultants

Project
THE OLIVIA ON
MARSH CREEK
Clayton, CA
ALL SITES

Client
William P. Jordan Trust

Sheet Title

TREE
IMAGES

Preliminary Design, Submittal #2

Scale
As Shown on Plans

Designed by

MDF

Drawn by

BH/SP/MDF

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Revisions



Start Date: JUNE 1, 2018

Issue Date: OCTOBER 7, 2019

Project Number

1702

Sheet Number

L-9

SITE 2

The Olivia on Marsh Creek

6450 Marsh Creek Road
Clayton, CA 94517



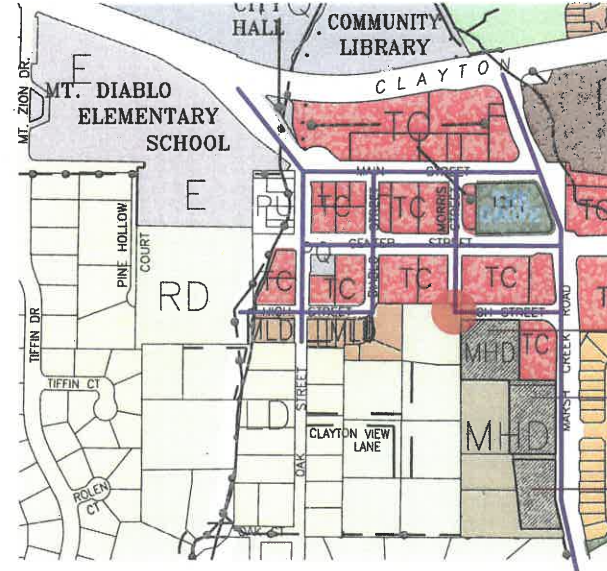
SITE 1
The Olivia on
Marsh Creek

SITE 2
The Olivia on
Marsh Creek

SITE 3
The Olivia on
Marsh Creek

DOWNTOWN DISTRICT

- BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
- PROPOSED PROJECT

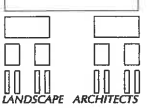


CONNECTIVITY DIAGRAM

- PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
- NEW SIDEWALK

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



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License Number



Contract

Project
**THE OLIVIA ON
MARSH CREEK**

Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

CONTEXT PLAN

Preliminary Design **Submitted #2**

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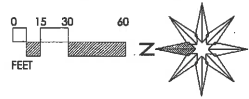
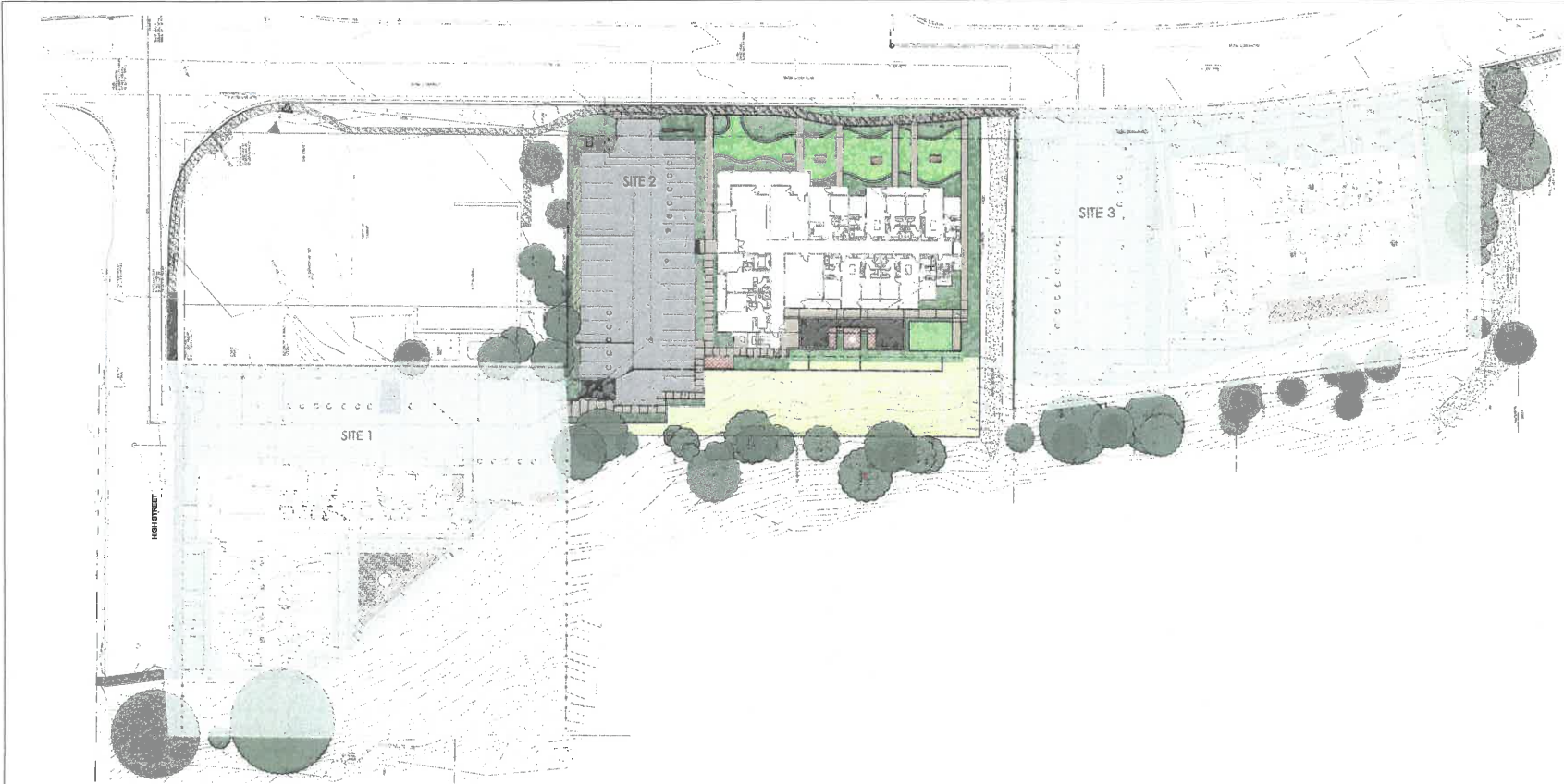
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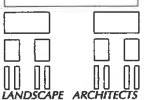
1707

Sheet Number



**SITE 2
LOCATION PLAN**

M. D. FOTHERINGHAM



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License Stamp



Consultants

Project
**THE OLIVIA ON
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Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517
Client
William P. Jordan Trust

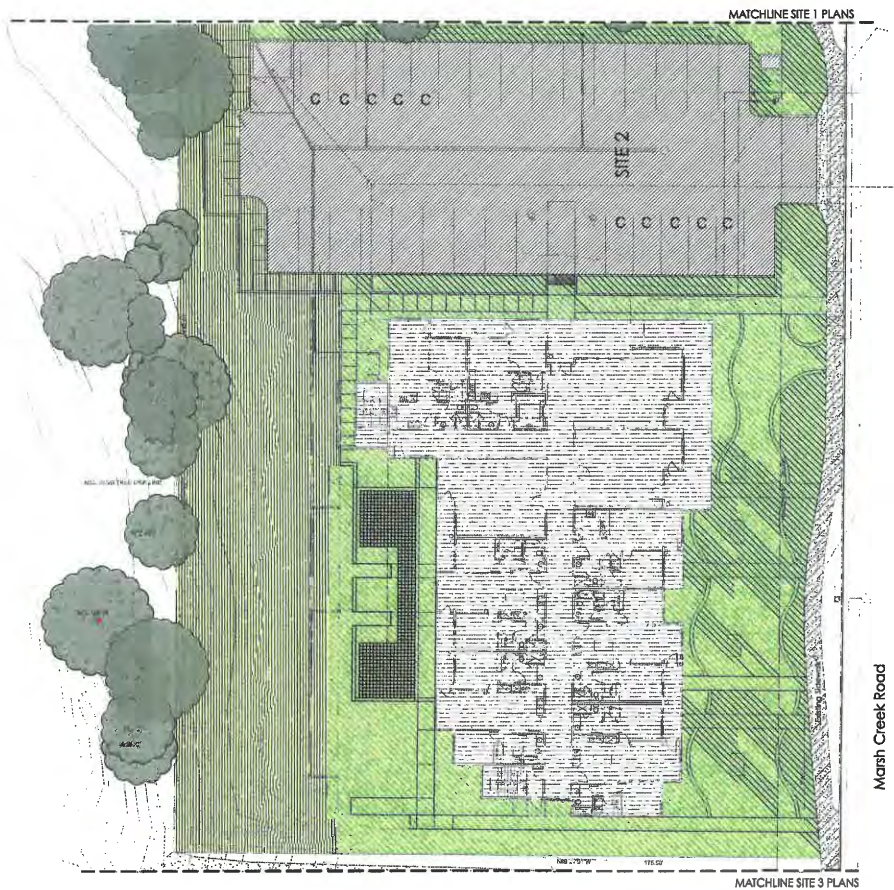
Sheet Title
**SITE 2
LOCATION
PLAN**





Preliminary Design Submittal #2
Scale
As Shown on Plan

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MDF
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Revisions

Scale
Sent Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019
Project Number
1707
Sheet Number

L-2



- SITE 2 LAND ACCOUNT**
-  BUILDING FOOTPRINT: 10,966 SF
 -  PARKING/UTILITY PAVEMENT: 10,336 SF
 -  ACTIVE OPEN SPACE: 12,863 SF
 -  PASSIVE OPEN SPACE/SLOPE AREA: 8,196 SF

TOTAL LOT AREA: 42,361 SF (Does not include offsite)

17.20.150 Item C
 Minimum Landscape Area Required = 20% of 42,361 SF = 8,472 SF
 Landscape Area Provided = 19,338 SF (45.7%)
 Minimum Vegetated Landscape Required = 75% of 8,472 SF = 6,354 SF
 Vegetated Landscape Provided = 14,643 SF

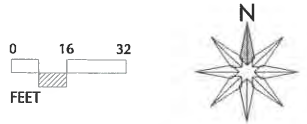
17.28.100
 Minimum Open Space Required = 20% of 42,361 SF = 8,472 SF
 Open Space Provided = 21,059 SF (49.7%)
 Minimum Active Open Space Required = 51% of 8,472 SF = 4,321 SF
 Active Open Space Provided = 12,863 SF

**THE OLIVIA ON MARSH CREEK - SITE 2
 LANDSCAPE & OPEN SPACE CALCULATIONS**

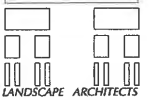
SITE IMPROVEMENT	QUANTITY
Building Footprint	10,966 SF
Garage Footprint	0 SF
Parking	10,306 SF
Sidewalk	1,368 SF
Utility Pavement	30 SF
C-3 Planters & Basins	92 SF
Shrub Planting Areas (includes offsite)	6,281 SF
Lawn	3,451 SF
Stained Open Space Revegetation	2,345 SF
Stained Open Space Reserve	5,052 SF
Moatband	331 SF
Pedestrian Circulation	4,722 SF
Actual number listed (includes offsite)	44,714 SF
TOTAL LANDSCAPE AREA	18,349 SF
TOTAL OPEN SPACE AREA	23,412 SF
TOTAL LOT AREA	44,714 SF
OPEN SPACE AREA PERCENTAGE	52.34%
LANDSCAPE AREA PERCENTAGE	41.06%

NOTE: The landscape improvements listed above include offsite improvements along the Marsh Creek Road frontage.

**SITE 2
 OPEN SPACES PLAN VIEW**



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Contractors

Project
**THE OLIVIA ON
 MARSH CREEK**
 Clayton, CA
SITE 2
 6450 Marsh Creek Road
 Clayton, CA 94517
 Client
 William P. Jordan Trust

Sheet Title

**OPEN SPACE
 CALCULATIONS**

Preliminary Design **Submital #2**

Scale
 As Shown on Plan

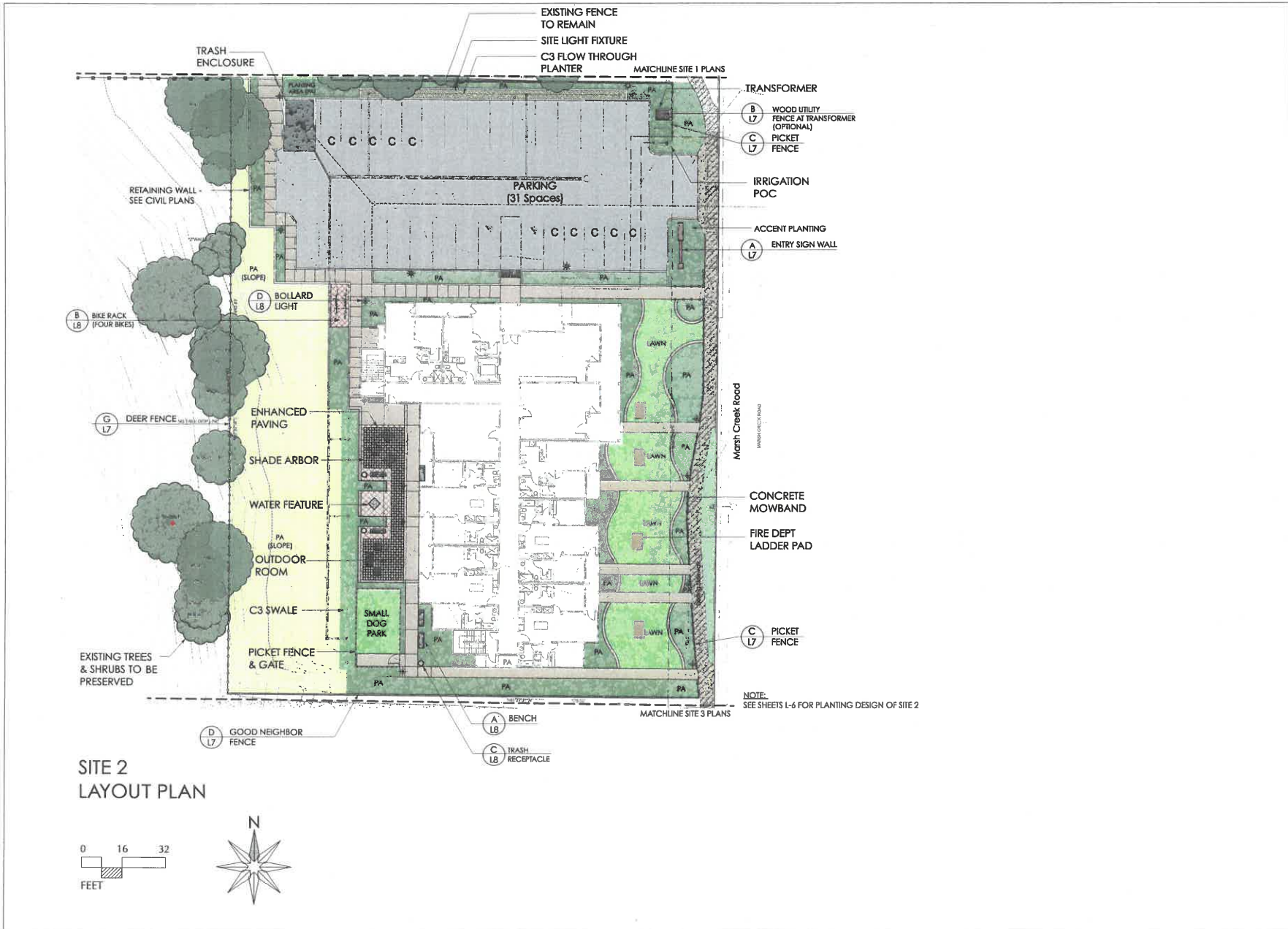
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Revisions

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Conditions

Project
THE OLIVIA ON MARSH CREEK
 Clayton, CA
SITE 2
 6450 Marsh Creek Road
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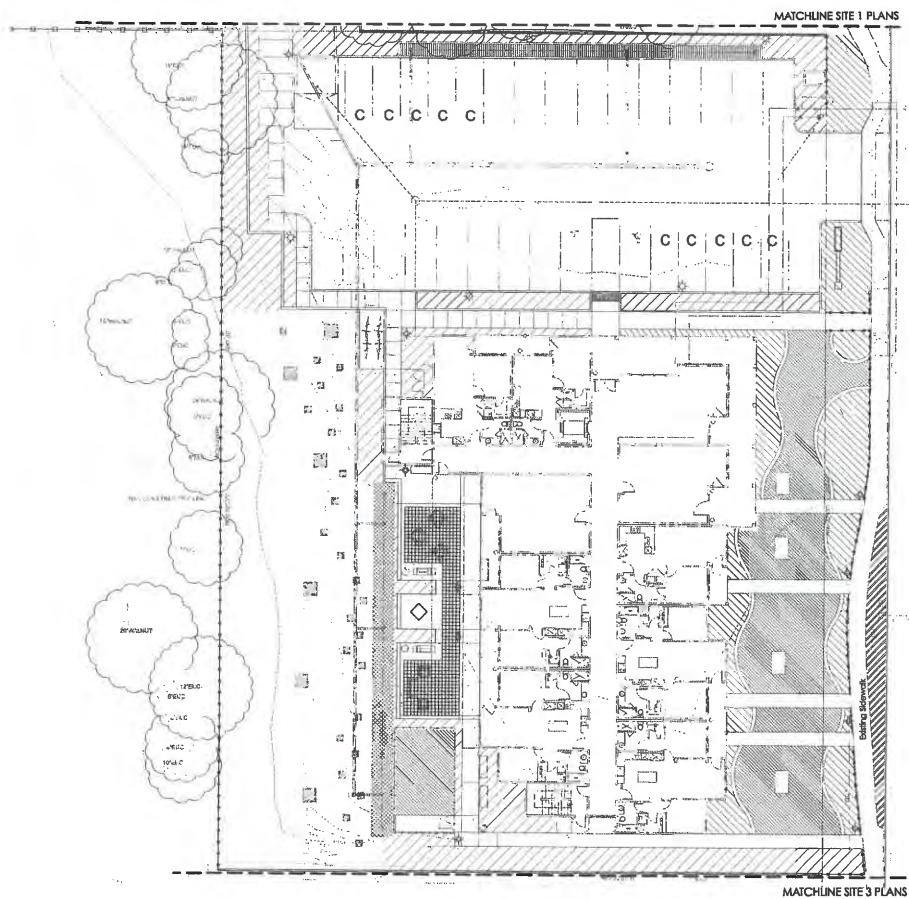
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LAYOUT PLAN








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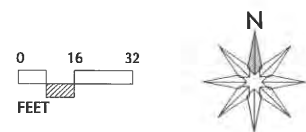
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HYDROZONE LEGEND

-  S/W PLANTING - LOW WATER DEMAND
-  N/E PLANTING - MODERATE WATER DEMAND
-  LAWN/TURF/ANNUALS - HIGH WATER DEMAND
-  C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
-  C3 SWALE PLANTING - MODERATE WATER DEMAND
-  SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND
-  PARKWAY STRIP PLANTING - LOW WATER DEMAND

**SITE 2
HYDROZONE PLAN**



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Project
**THE OLIVIA ON
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 Clayton, CA
SITE 2
 6450 Marsh Creek Road
 Clayton, CA 94517
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**HYDROZONE
 PLAN**

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NOTE:
SHRUB & GROUND COVER PLANTING IS
INDICATIVE OF SPACING AND MATURE GROWTH
EXPECTATIONS. NOT ALL PLANTS IN THE PLANT
SCHEDULE ARE LABELED ON THESE PLANS.



**OLIVIA - Site 2 Marsh Creek Road
LANDSCAPE REQUIREMENTS**

ITEM	AREA/RATIO
SITE 2	
Parking Lot Area	10,306 SF
Landscape Area of Parking Lot	2,099 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	20%
Total Landscape Area (triplicated)	11,058 SF
Required Trees of 1 per 300 SF	37
Provided Trees	37
Existing Onsite Trees Preserved	2
Parking Perimeter Landscape Area*	807 SF
Required Trees of 1 per 150 SF	5
Provided Trees*	4
Required Trees of 1 per 3 parking spaces [3]	10
Provided Trees*	4
*Limited due to C&G facility & offset trees	

TREE REPLACEMENT CHART		SITE 2			
Tree Tags	Existing Trees - Removed Data		New Trees		
	Number	Trunk Inches Removed	Proposed Trees	Required Replacement	Required Replacement
Protected Trees Removed	8	28			
Other Trees Removed	36, 34, 48, 66, 68, 69				
Tree Tags	27, 28, 29, 30, 31, 32, 33				
Tree Removal Impacts	44, 45, 46	40 inches			
New Trees			36	35	0
Required Replacement Trunk Inches:			64 inches	58 inches	0 inches
Mitigation Tree Replacement			40	35	0

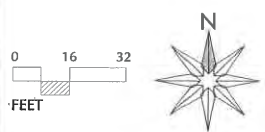
Table 6 - Root ball diameters - field grown trees
American Standard for Nursery Stock (ANSI Z60.1-2004)

Type 1 and Type 2 Shade Trees		Type 3 and Type 4 Small Upright and Small Spreading Trees	
Caliper	Minimum diameter root ball	Small Upright and Spreading (6' and over) Caliper	Minimum diameter root ball
1/2 in.	12 in.	2 ft.	10 in.
3/4 in.	14 in.	3 ft.	12 in.
1 in.	16 in.	4 ft.	14 in.
1 1/4 in.	18 in.	5 ft.	16 in.
1 1/2 in.	20 in.	6 ft.	18 in.
1 3/4 in.	22 in.	1 in.	18 in.
2 in.	24 in.	1 1/4 in.	19 in.
2 1/4 in.	28 in.	1 1/2 in.	20 in.
3 in.	32 in.	1 3/4 in.	22 in.
3 1/2 in.	38 in.	2 in.	24 in.
4 in.	42 in.	2 1/4 in.	28 in.
4 1/2 in.	48 in.	3 in.	32 in.
5 in.	54 in.	3 1/2 in.	38 in.
5 1/2 in.	57 in.	4 in.	40 in.
6 in.	60 in.	4 1/2 in.	48 in.
7 in.	70 in.	5 in.	54 in.
8 in.	80 in.	5 1/2 in.	57 in.
		6 in.	60 in.
		7 in.	70 in.
		8 in.	80 in.

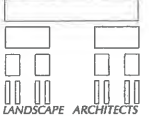
PRELIMINARY PLANT LIST

Symbol	Botanical Name	Common Name	Installation Size	Water Demand	Plant Spacing
T-1	Acacia saligna (N)	Manra Greyhound Tree	See Replacement Chart	Low	See Plan
T-2	Cedrus deodara (N)	Deodar Cedar	See Replacement Chart	Low	See Plan
T-3	Platanus orientalis (N)	Chinese Platane	See Replacement Chart	Low	See Plan
T-4	Cornus canadensis (N)	Flowering Dogwood	See Replacement Chart	Very Low	See Plan
T-5	Chionodoxa (N)	Golden Rain Tree	See Replacement Chart	Low	See Plan
T-6	Leucophaea x. Makinoana (N)	Lavender Crap Myrtle	See Replacement Chart	Low	See Plan
T-7	Platanus x. 'Bloodgood' (N)	Bloodgood London Plane	See Replacement Chart	Moderate	See Plan
T-8	Magnolia grandifolia (N)	Little Gem Southern Magnolia	See Replacement Chart	Moderate	See Plan
T-9	Quercus agrifolia (N)	Coast Live Oak	See Replacement Chart	Very Low	See Plan
T-10	Quercus laevis (N)	Water Oak	See Replacement Chart	Low	See Plan
T-11	Ulmus americana (N)	California Elm Tree	See Replacement Chart	Moderate	See Plan
S-1	Acacia saligna	Princessia Grevia	5 Gallon	Moderate	2' O.C.
S-2	Acacia saligna 'Polar Bear'	Blue Ice-Of-The-Berlin	1 Gallon	Moderate	2' O.C.
S-3	Acacia saligna 'White Star'	White Ice-Of-The-Berlin	1 Gallon	Moderate	2' O.C.
S-4	Asaragracea d. 'Sensational'	Starburst Asparagus	5 Gallon	Moderate	2' O.C.
S-5	Artemisia arbuscula x. 'Best Johnson'	Best Johnson Artemisia	5 Gallon	Moderate	2' O.C.
S-6	Buxus x. 'Green Giant'	Green Giant Boxwood (Hedge)	5 Gallon	Moderate	2' O.C.
S-7	Callistemon x. 'Sally Jean'	Sheep Broomrape	5 Gallon	Low	2' O.C.
S-8	Carolinia x. 'Carolina Pearl'	Carolina Yellow-flowering Cane	5 Gallon	Low	2' O.C.
S-9	China x. 'Caroline'	China Rose	1 Gallon	Low	2' O.C.
S-10	China x. 'Caroline'	China Rose	1 Gallon	Low	2' O.C.
S-11	China x. 'Caroline'	China Rose	1 Gallon	Low	2' O.C.
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S-100	China x. 'Caroline'	China Rose	1 Gallon	Low	2' O.C.

**SITE 2
PLANTING PLAN**



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Landscape Design



Clayton, CA

**Project
THE OLIVIA ON
MARSH CREEK**

Clayton, CA
SITE 2
6450 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

**PLANTING
PLAN**

Preliminary Design Submitted #2

Scale
As Shown on Plan

Designed by
MDF

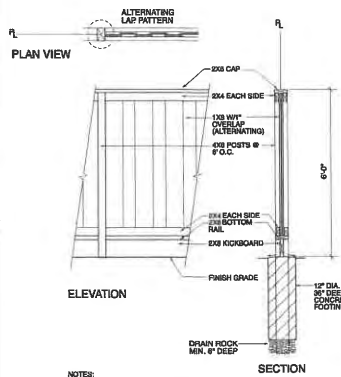
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Checked by
MDF

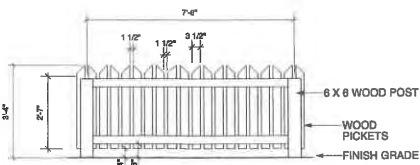
Revisions

Rev Date: JAN 1, 2018
Rev Desc: OCTOBER 7, 2019
Project Number
1707

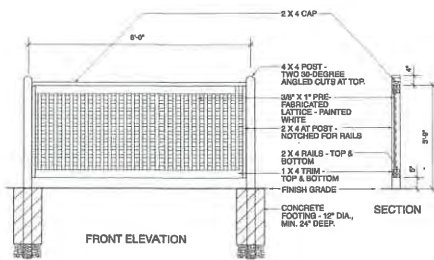
Sheet Number
L-6



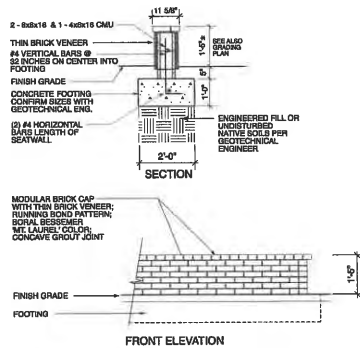
D L7 **GOOD NEIGHBOR FENCE**
1/2" = 1'-0"



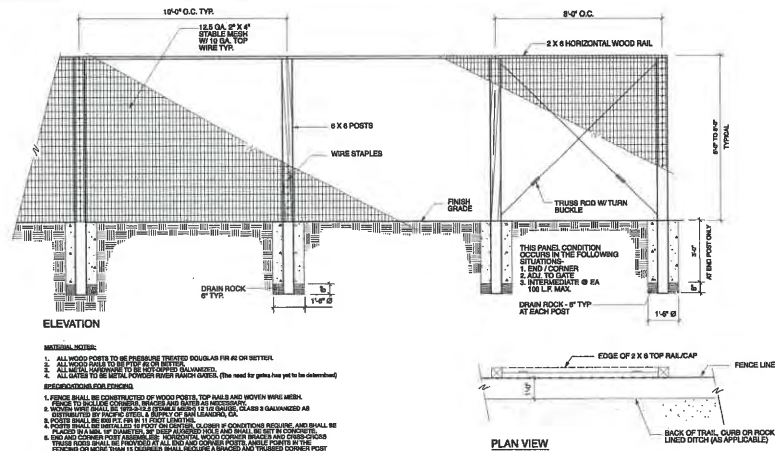
C L7 **40 IN. HIGH PICKET FENCE**
1/2" = 1'-0"



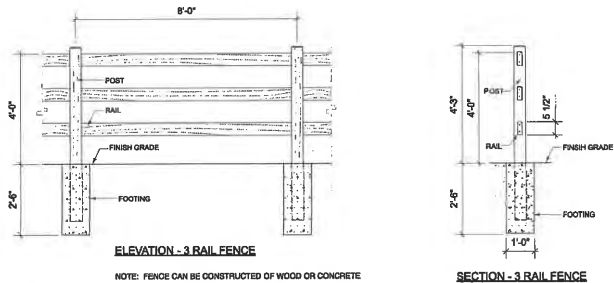
B L7 **WOOD UTILITY SCREEN**
1/2" = 1'-0"



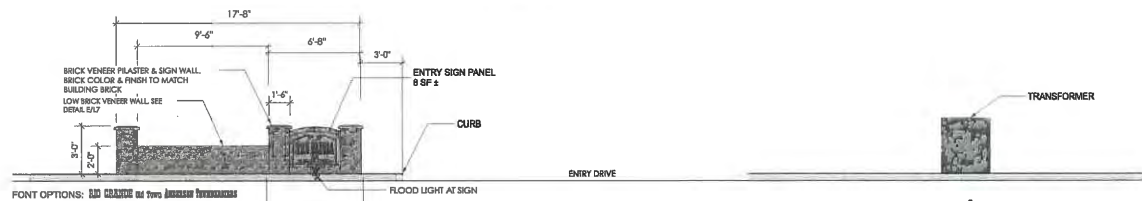
E L7 **BRICK VENEER SEAT WALL**
1/2" = 1'-0"



G L7 **DEER FENCE**
3/8" = 1'-0"



F L7 **RANCH FENCE**
1/2" = 1'-0"



A L7 **SECTION AT ENTRY SIGN**
1/4" = 1'-0"

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Project
THE OLIVIA ON MARSH CREEK
Clayton, CA
SITE 2
4450 Marsh Creek Road
Clayton, CA 94517

Client
William F. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 1

Preliminary Design Submittal #2

Scale
As Shown on Plan

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Revisions

Sheet Date: JUNE 1, 2016

Issue Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number

L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDINANCE PROJECT SUMMARY

prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA 94598 925-938-6282

PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19
 CITY LOCATION: Clayton ETo LOCATION: Concord
 LANDSCAPE ARCHITECT: Michael D. Fotheringham, Landscape Architects - CA #2181
 Total Landscape Area (SFL) 12,021 Total Calculated Maximum Area (SFL) 12,021
 Annual ETo (inches) 43.3 Total Special Landscape Areas 0

INCLUDED IN THIS PROJECT SUBMITTAL PACKAGE:
 (Check to indicate completion)

gallons/year without mulch gallons/year with mulch
 1 Maximum Applied Water Allowance: 177,484 177,484 177,484
 2 Estimated Total Water Use: 169,521 169,521 0
 3 Estimated Water Savings: 7,963 7,962 177,484
 Percent Savings: 4.6% 4.60%

NOTE: If the design assumes that a part of the ETWU will be provided by precipitation, the Effective Precipitation (Epppt) statement shall be completed and submitted.
 4 Hydrozone Report
 5 Soil Fertility Analysis
 6 Grading Design Plan
 7 Planting Design Plan
 8 Irrigation Design Plan
 9 Irrigation Schedule
POST-INSTALLATION INSPECTION:
 10 Maintenance Schedule
 11 Irrigation Audit
 12 Photo (submitted as specified) (substitutions accepted)
 13 Irrigation system tender as designed (as-built included)
 14 Landscape Irrigation audit performed
 15 Submittal package and this certification package have been provided to owner, holding of title manager and local water agency.

1

WELO MAXIMUM APPLIED WATER ALLOWANCE

prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA 94598 925-938-6282

PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19
 CITY OF: Clayton ETo Location: Concord
SECTION B1 MAXIMUM APPLIED WATER ALLOWANCE
 MAMA = ETo x .62 x (.55 x HA) + (.45 x SLA)
 YEARLY ETo 43.3
 CONVERSION FACTOR 0.62
 ET ADJUSTMENT FACTOR 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (HA In Square Feet) 12,021
 SPECIAL LANDSCAPE AREA (SLA In Square Feet) 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year) 177,484
 TOTAL ACRE FEET 0.54

CALCULATIONS:
 $43.3 \times 0.62 \times 0.55 \times 12,021 + 0.45 \times 0 = 177,484$
 Effective Precipitation (Epppt) Use 25% of annual precipitation in the following equation:
 MAMA = (ETo - Epppt) x .62 x (.55 x HA) + (.45 x SLA)

YEARLY ETo 43.3
 EFFECTIVE PRECIPITATION (Epppt) = .XX.XX In/yr x .25 0
 NET ETo 43.3
 CONVERSION FACTOR 0.62
 ET ADJUSTMENT FACTOR 0.55
 TOTAL IRRIGATED LANDSCAPE AREA (HA In Square Feet) 12,021
 SPECIAL LANDSCAPE AREA (SLA In Square Feet) 0
 MAXIMUM APPLIED WATER ALLOWANCE (gallons/year) 177,484
 TOTAL ACRE FEET 0.54
CALCULATIONS:
 $43.3 \times 0.62 \times 0.55 \times 12,021 + 0.45 \times 0 = 177,484$

RESULTS: Irrigation reductions by adding precipitation (gallons/year): 0

2

WELO ESTIMATED TOTAL WATER USE

prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA 94598 925-938-6282

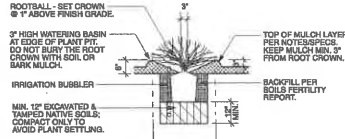
PROJECT NAME: The Olivia at Marsh Creek - Site 2 Date: 10/7/19
 CITY OF: Clayton ETo City: Concord
SECTION B2 ESTIMATED TOTAL WATER USE (ETWU, gallons per year)
 ETWU = ETo x .62 x (SFL x HA/LR) + SLA

Calculate the following for each Hydrozone (HZ):
 YEARLY ETo (inches per year) 43.3
 CONVERSION FACTOR (to gallons per square foot) 0.62
 AVG PP - PLANT FACTOR (plant water demand, defined for each hydrozone) 0.33
 TOTAL IRRIGATED LANDSCAPE AREA (HA In Square Feet) 12,021
 SPECIAL LANDSCAPE AREA (SLA In Square Feet) 0
 AVG IE - IRRIGATION EFFICIENCY FACTOR (minimum .75) 0.80
 TOTAL ESTIMATED TOTAL WATER USE (gallons/year) 169,521
 TOTAL ACRE FEET 0.52

CALCULATIONS:

YEARLY CONVERSION FC	HYDROZONE	PLANT	IRRIGATION	ETWU	INTERCROP	%	ETWU	LANDSCAPE
ETWU FACTOR	FC	DESCRIPTION	SPRINT METHOD	ETWU	PERIOD	PERIOD	AREA	ETWU AREA
43.3	0.62	Non-Est. Hydrozone	0.00	0	0.01	0.45	2,640	26,976
43.3	0.62	Non-Est. Edge Line	0.00	0	0.01	0.45	2,640	19,674
43.3	0.62	Annual Green - High	0.40	0	0.75	1.07	1,539	68,832
43.3	0.62	CI (Tree/Plant)	0.40	0	0.81	0.49	812	1,119
43.3	0.62	CI (Shrub)	0.40	0	0.81	0.49	812	1,119
43.3	0.62	Tree - May Low	0.10	0	0.81	0.17	18	3,196
43.3	0.62	Tree - Moderate	0.40	0	0.81	0.49	144	1,800
43.3	0.62	Pathway Strip - Low	0.00	0	0.81	0.25	384	2,640
TOTALS:								
		2,640 SFL	0.33				12,021	169,521
		LANDSCAPE AREA		0.40				100,000
		LANDSCAPE AREA						6,519

3

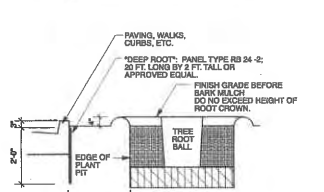


- NOTES:**
- PLACE STAKES PLUMB & AS SHOWN IN STAKE LOCATION PLAN.
 - TREES SHALL NOT BE ROOT-BOUND. CAREFULLY SOAKY ROOTBALL BEFORE PLANTING.
 - ELIMINATE WATER BASIN WHEN TREES ARE PLANTED IN LAWN.
 - USE WOOD STAKES FOR 16 GALLON & 24" BOX CONTAINERS.
 - TREE PIT SHALL BE 1 TO 1 THESE DIMENSIONS OF ROOT BALL IN CLAY SOILS OR SANDY CONDITIONS.
 - TREE PIT PERCOLATION TESTS SHALL BE PERFORMED IN CLAY SOILS OR SANDY CONDITIONS. SEE PLANTING NOTE #1, SHEET L-13 FOR TEST PARAMETERS.
 - SEE ADDITIONAL NOTES ON COVER SHEET.



- NOTES:**
- FOR GROUND COVER AREAS, ROTOTILL AMENDMENTS AS RECOMMENDED BY SOILS REPORT OR TO 6" DEPTH AFTER CROSS-RIPPING SUBGRADE TO 12" DEPTH.
 - SIDES AND BOTTOM OF PLANT PIT SHALL BE SCARIFIED BEFORE PLANTING.
 - ADD AGRIFORM PLANT TABLETS OR APPROVED EQUAL AT MANUFACTURER'S RATES, 1/2 DOWN FROM TOP OF BACKFILL.

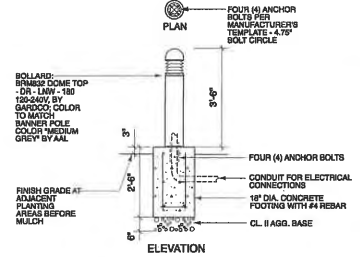
SHRUB PLANTING DETAIL



ROOT BARRIER DETAIL



TREE INSTALLATION DETAIL



D LIGHT BOLLARD
1/2" x 1'-0"



C TRASH RECEPTACLE
NTS

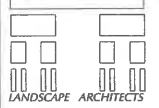


B BICYCLE RACK
NTS



A BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)

M D FOTHERINGHAM



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License Stamp



Concumbate

Project
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 Clayton, CA
SITE 2
 6450 Marsh Creek Road
 Clayton, CA 94517

Client
 William P. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 2

Preliminary Design: Submittal #2

Scale
 As Shown on Plan

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 BHP/AMDF

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Revised

Sheet Date: JUNE 1, 2018

Issue Date: OCTOBER 2, 2019

Project Number
 1707

Sheet Number

L-8



T-1 *Arbutus x 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

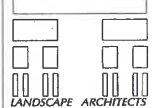


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M D FOTHERINGHAM



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Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
ALL SITES

Client
William P. Jordan Trust

Sheet Title

TREE IMAGES

Preliminary Design Submittal #2

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As Shown on Plan

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Plot Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number

SITE 3

The Olivia on Marsh Creek

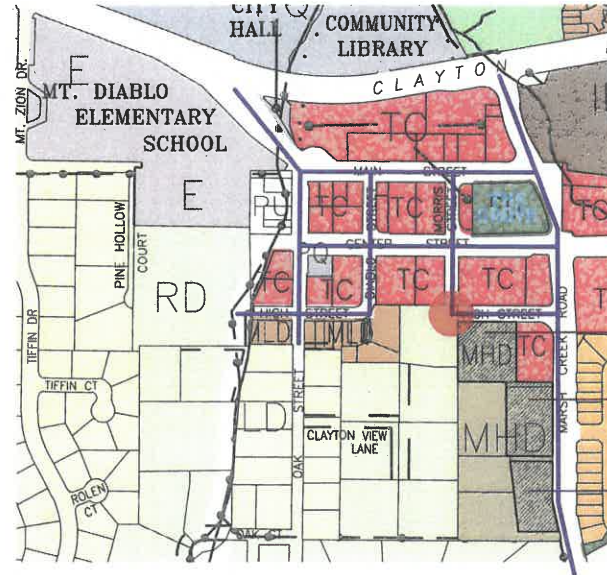
6490 Marsh Creek Road
Clayton, CA 94517



- SITE 1
The Olivia on Marsh Creek
- SITE 2
The Olivia on Marsh Creek
- SITE 3
The Olivia on Marsh Creek

DOWNTOWN DISTRICT

- BUILDING FOOTPRINTS IN DOWNTOWN CLAYTON
- PROPOSED PROJECT



CONNECTIVITY DIAGRAM

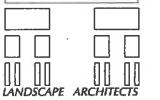
- PEDESTRIAN NETWORK IN DOWNTOWN CLAYTON
- NEW SIDEWALK

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

M. D. FOTHERINGHAM



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SITE 3
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Sheet Title

CONTEXT PLAN

Preliminary Design Submittal #2

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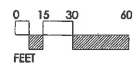
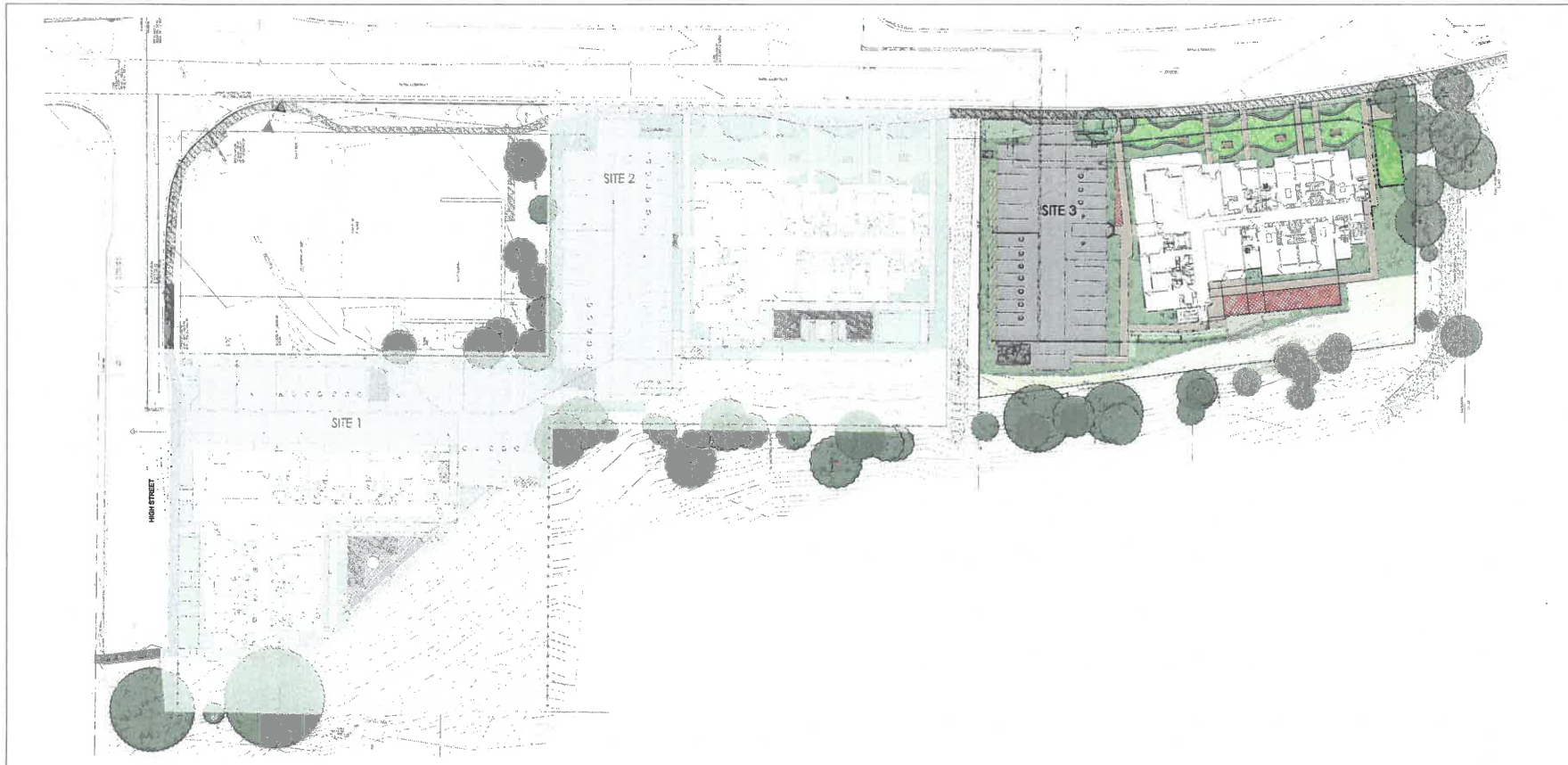
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Issue Date: JUNE 1, 2018
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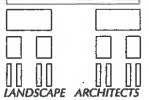
Project Number
1707

Sheet Number
L-1



**SITE 3
LOCATION PLAN**

M. D. FOTHERINGHAM



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License Stamp



Coordinates

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
SITE 3
6490 Marsh Creek Road
Clayton, CA 94517

Client
William F. Jordan Trust

Sheet Title

**SITE 3
LOCATION
PLAN**

Preliminary Design Submittal #2

Scale
As Shown on Plan

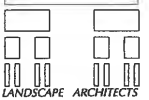
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Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019
Project Number
1707
Sheet Number



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Lianne Shung



Coauthors

Project
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SITE 3
 6490 Marsh Creek Road
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Sheet Title

OPEN SPACE CALCULATIONS

Preliminary Design Submittal #2
 Scale
 As Shown on Plan

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SITE 3 LAND ACCOUNT

-  BUILDING FOOTPRINT: 10,916 SF
-  PARKING/UTILITY PAVEMENT: 9,240 SF
-  ACTIVE OPEN SPACE: 15,991 SF
-  PASSIVE OPEN SPACE/SLOPE AREA: 4,456 SF

TOTAL: 40,603 SF (Does not include offsite)

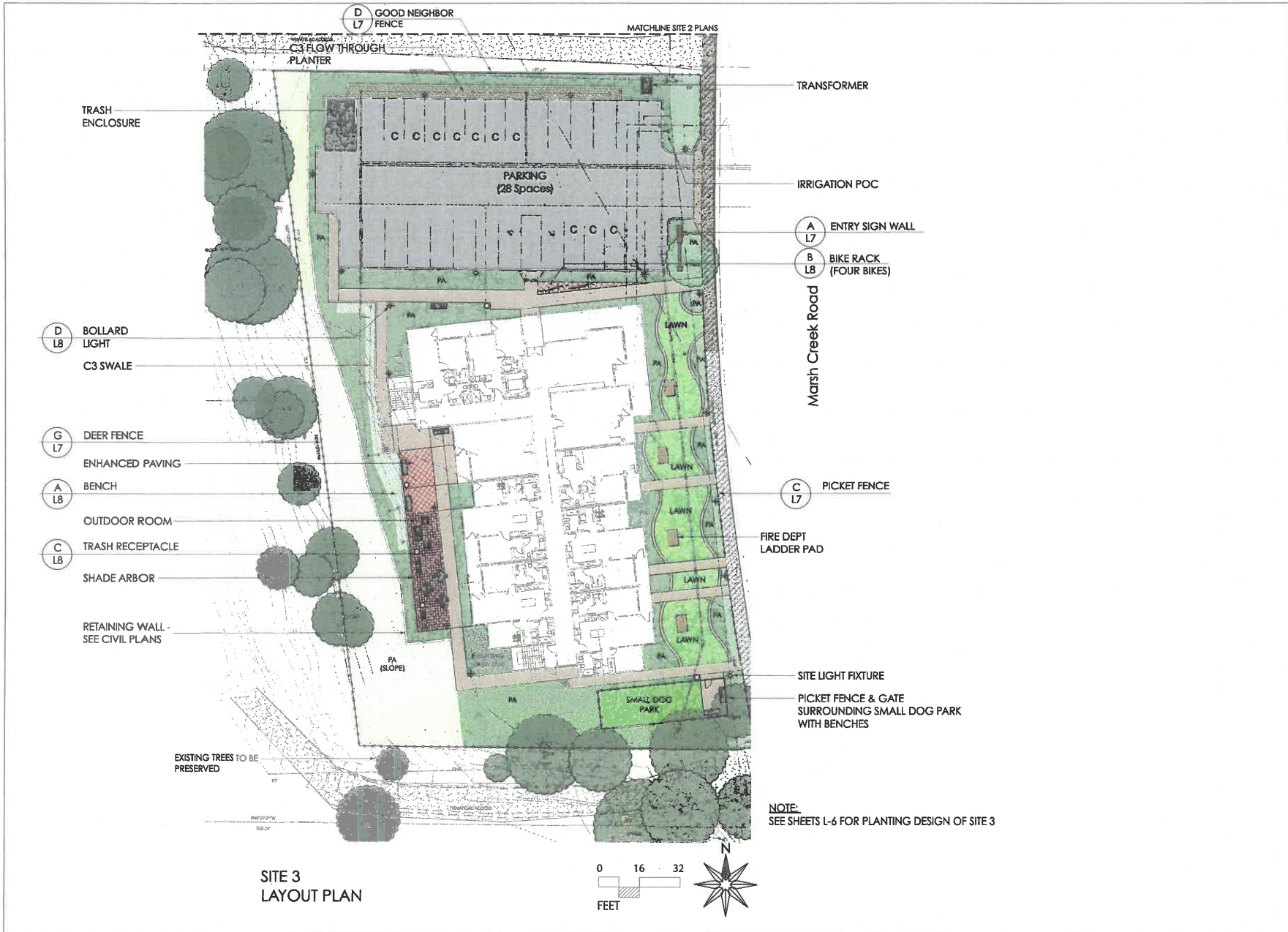
17.20.150 Item C
 Minimum Landscape Area Required = 20% of 40,603 SF = 8,121 SF
 Landscape Area Provided = 21,047 SF (51.8%)
 Minimum Vegetated Landscape Required = 75% of 8,121 SF = 6,091 SF
 Vegetated Landscape Provided = 15,261 SF

17.28.100
 Minimum Open Space Required = 20% of 40,603 SF = 8,121 SF
 Open Space Provided = 21,047 SF (51.8%)
 Minimum Active Open Space Required = 51% of 8,121 SF = 4,142 SF
 Active Open Space Provided = 19,834 SF

**THE OLIVIA ON MARSH CREEK - SITE 3
 LANDSCAPE & OPEN SPACE CALCULATIONS**

SITE IMPROVEMENT	QUANTITY
Building Footprint	10,916 SF
Grass Area	0 SF
Parking	9,211 SF
Sidewalk	613 SF
Utility Pavement	29 SF
CS Plantings & Benches	1,901 SF
Street Planting Areas (includes offsite)	8,258 SF
Lawn	7,578 SF
Sloped Open Space Revegetation	4,653 SF
Sloped Open Space Reserve	0 SF
Manhole	27 SF
Pedestrian Circulation	4,798 SF
Actual number totalled (includes offsite)	41,814 SF
TOTAL LANDSCAPE AREA	31,690 SF
TOTAL OPEN SPACE AREA	21,660 SF
TOTAL LOT AREA (includes offsite areas)	41,814 SF
OPEN SPACE AREA PERCENTAGE	51.8%
LANDSCAPE AREA PERCENTAGE	51.8%

NOTE: The landscape improvements listed above include offsite improvements along the Marsh Creek Road frontage.



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SITE 3
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Sheet Title

LAYOUT PLAN

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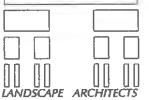
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Start Date: JUNE 1, 2019
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 Project Number
 1707
 Sheet Number



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Louise Sharp



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Client
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Sheet Title

HYDROZONE PLAN

Preliminary Design Submitted #2

Scale
 As Shown on Plan

Designed by
 MDF

Drawn by
 RH/SP/MDF

Checked by
 MDF

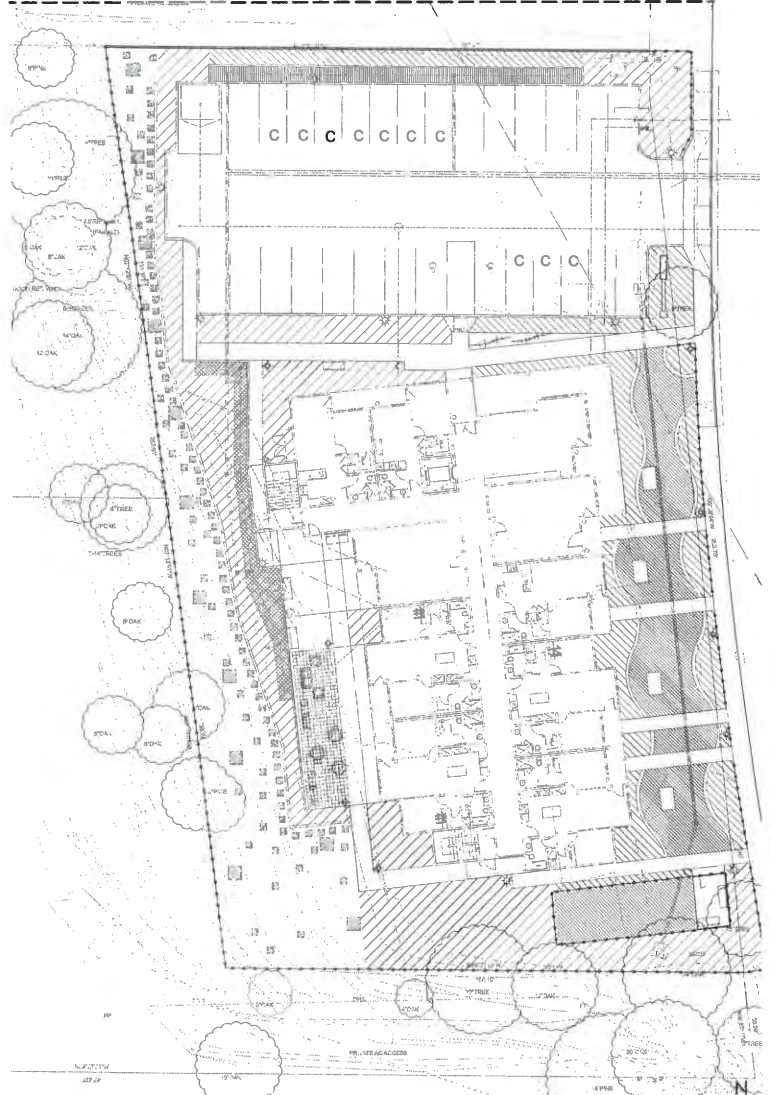
Revisions



Issue Date: JUNE 1, 2018
 Issue Date: OCTOBER 7, 2019

Project Number
 1707
 Sheet Number

MATCHLINE SITE 2 PLANS



HYDROZONE LEGEND

- S/W PLANTING - LOW WATER DEMAND
- N/E PLANTING - MODERATE WATER DEMAND
- LAWN/TURF/ANNUALS - HIGH WATER DEMAND
- C3 FLOW THROUGH PLANTER - MODERATE WATER DEMAND
- C3 SWALE PLANTING - MODERATE WATER DEMAND
- SLOPED OPEN SPACE REVEGETATION PLANTING - LOW WATER DEMAND

**SITE 3
 HYDROZONE PLAN**





TREE REPLACEMENT CHART
SITE 3

	Existing Trees - Removed Data		New Trees				
	Number	Trunk Inches Removed / Replacement Ratio	Proposed Trees	Required Replacement	Required Replacement	Required Replacement	Required Replacement
Protected Trees Removed							
Tree Top	67, 68 (ave. 102, 104)	66	28	15 Gallon (ave. 1.0" caliper)	34-inch Box (ave. 1.75" caliper)	30-inch Box (ave. 3.25" caliper)	48-inch Box (ave. 4.5" caliper)
Other Trees Removed	72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 83, 84, 85, 86, 88, 92, 96, 97, 88, 89, 101, 105, 106-182						
Tree Type							
Tree Removal Impacts	77	88 inches	89 inches	41	41	0	0
New Trees				41.00 inches	41.00 inches	0.00 inches	0.00 inches
Required Replacement Trunk Inches:				41	41	0	0
Mitigation Tree Replacement							

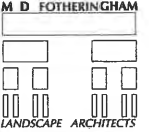
OLIVIA - Site 3 Marsh Creek Road LANDSCAPE REQUIREMENTS

ITEM	AREA/RATIO
Parking Lot Area	9,211 SF
Landscape Area of Parking Lot	2,454 SF
Percentage of Landscape Required	10%
Percentage of Landscape Provided	27%
Total Landscape Area (Mitigated)	12,244 SF
Required Trees of 1 per 300 SF	41
Provided Trees	41
Existing Trees Preserved	5
Parking Perimeter Landscape Area*	1,238 SF
Required Trees of 1 per 150 SF	8
Provided Trees	10
Required Trees 1 per 3 parking spaces (28)	9
Provided Trees	10
*Limited due to C3 facility	

PRELIMINARY PLANT LIST

Botanical Name	Common Name	Installation Size	Water Demand	Plant Spacing
TREES				
T-1 <i>Arbutus Menziesii</i> (R-2)	Marine Strawberry Tree	See Replacement Chart	Low	See Plan
T-2 <i>Quercus laevis</i> (R-2)	Downy Oak	See Replacement Chart	Low	See Plan
T-3 <i>Pistacia chinensis</i> (R-2)	Chinese Pistache	See Replacement Chart	Low	See Plan
T-4 <i>Cercis canadensis</i> (R-2)	Western Redbud	See Replacement Chart	Very Low	See Plan
T-5 <i>Chionodoxa</i> (R-2)	Golden Bell Tree	See Replacement Chart	Low	See Plan
T-6 <i>Lagerströmia x. Mouskaueri</i> (R-2)	Lagerströmia Crisp Myrtle	See Replacement Chart	Low	See Plan
T-7 <i>Platanus x. Woodfordii</i> (R-2)	Woodland London Plane	See Replacement Chart	Moderate	See Plan
T-8 <i>Magnolia grandiflora</i> Little Gem (R-2)	Little Gem Southern Magnolia	See Replacement Chart	Moderate	See Plan
T-9 <i>Quercus agrifolia</i> (R-2)	Coast Live Oak	See Replacement Chart	Very Low	See Plan
T-10 <i>Quercus laevis</i> (R-2)	Valley Oak	See Replacement Chart	Low	See Plan
T-11 <i>Amorpha canescens</i> (R-2)	California Bay Tree	See Replacement Chart	Moderate	See Plan
SHRUBS & PERENNIALS				
S-1 <i>Acacia salicina</i>	Pinnacled Acacia	5 Gallon	Moderate	4' O.C.
S-2 <i>Asplenium Platyneuron</i>	Blue Licorice Fern	1 Gallon	Moderate	2' O.C.
S-3 <i>Asplenium Platyneuron</i>	White Licorice Fern	1 Gallon	Moderate	2' O.C.
S-4 <i>Asplenium Platyneuron</i>	Sensory Asplenium	5 Gallon	Moderate	4' O.C.
S-5 <i>Asplenium Platyneuron</i>	Heart Asplenium	5 Gallon	Low	4' O.C.
S-6 <i>Asplenium Platyneuron</i>	Downy Asplenium	5 Gallon	Moderate	4' O.C.
S-7 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-8 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-9 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-10 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-11 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-12 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-13 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-14 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-15 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-16 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-17 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-18 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-19 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-20 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-21 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-22 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-23 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-24 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-25 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-26 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-27 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-28 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-29 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-30 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-31 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-32 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-33 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-34 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
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S-99 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.
S-100 <i>Calluna vulgaris</i>	Downy Heath	5 Gallon	Low	4' O.C.

NOTE: SHRUB & GROUND COVER PLANTING IS INDICATIVE OF SPACING AND MATURE GROWTH EXPECTATIONS. NOT ALL PLANTS IN THE PLANT SCHEDULE ARE LABELED ON THESE PLANS.



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William P. Jordan

Project
THE OLIVIA ON MARSH CREEK
Clayton, CA

SITE 3
6490 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

PLANTING PLAN

Preliminary Design Submittal #2

Scale
As Shown on Plan

Designed by
MDF

Drawn by
BVS/MDF

Checked by
MDF

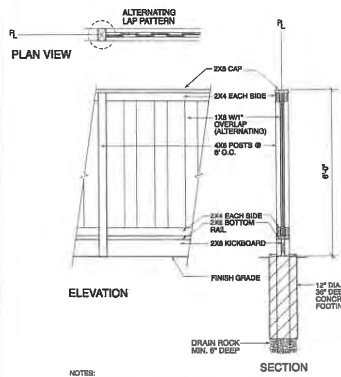
Revised

Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

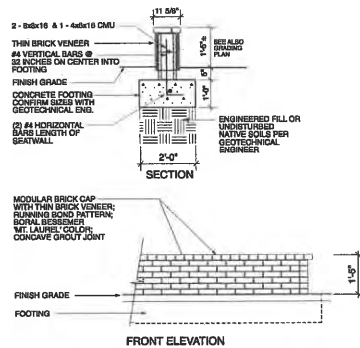
Project Number
1707

Sheet Number

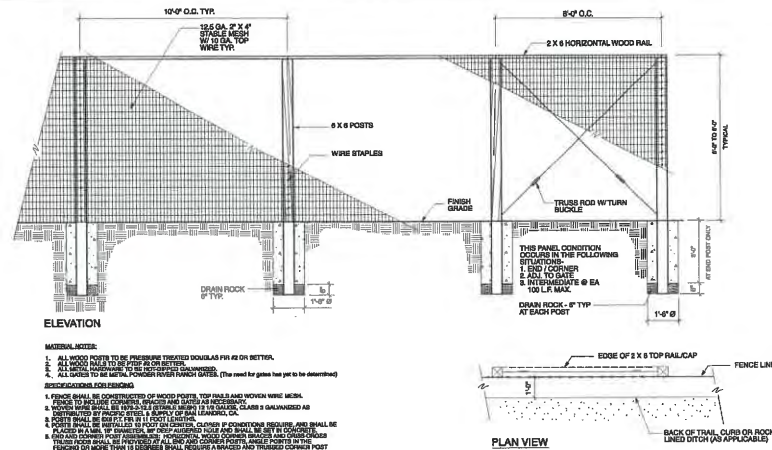
L-6



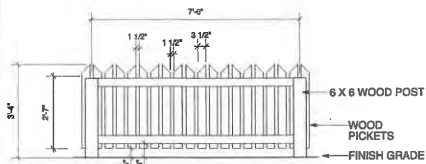
D L7 **GOOD NEIGHBOR FENCE**
1/2" = 1'-0"



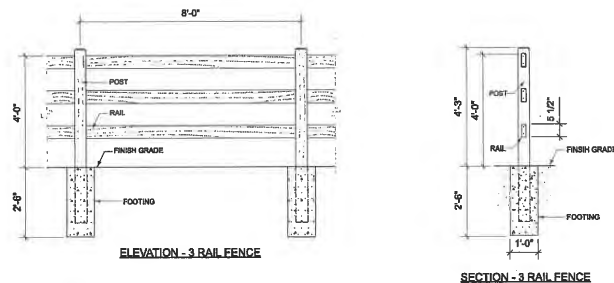
E L7 **BRICK VENEER SEAT WALL**
1/2" = 1'-0"



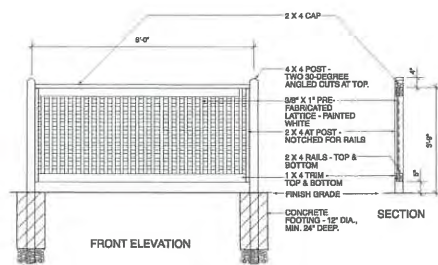
G L7 **DEER FENCE**
3/8" = 1'-0"



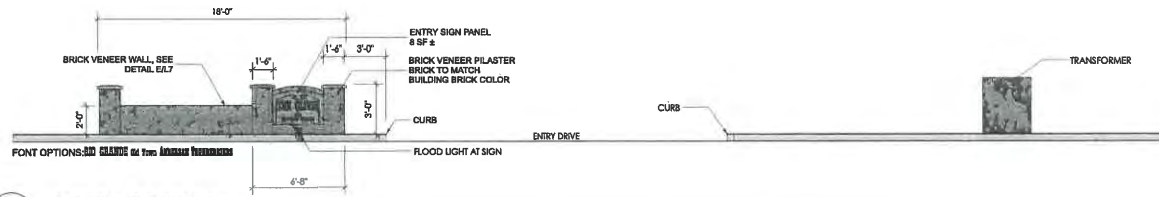
C L7 **40 IN. HIGH PICKET FENCE**
1/2" = 1'-0"



F L7 **RANCH FENCE**
1/2" = 1'-0"



B L7 **WOOD UTILITY SCREEN**
1/2" = 1'-0"



A L7 **SECTION AT ENTRY SIGN**
1/2" = 1'-0"

M D FOTHERINGHAM
LANDSCAPE ARCHITECTS

1700 North Broadway, Suite 300
Walnut Creek, CA 94596
Telephone: 925-939-5392
Fax: 925-939-5394
email: md@mdlandscape.com



Consultant

Project
THE OLIVA ON MARSH CREEK
Clayton, CA
SITE 3
6490 Marsh Creek Road
Clayton, CA 94517

Client
William P. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 1

Preliminary Design Submittal #2
Scale
As Shown on Plan

Designed by
MDP

Drawn by
BR/SP/MDP

Checked by
MDP

Revisions

Sheet Date: JUNE 1, 2016
Issue Date: OCTOBER 7, 2019
Project Number
1707
Sheet Number
L-7

WELO CALCULATIONS

WATER EFFICIENCY LANDSCAPE ORDINANCE

PROJECT SUMMARY

PROJECT NAME: The Olivia at Marsh Creek - Site 3 Date: 10/7/19

CITY LOCATION: Clayton ETo LOCATION: Concord

LANDSCAPE ARCHITECT: Michael D. Fotheringham, Landscape Architects, CA #1287

Total Landscape Area (ETo)	13,089	Total Calculated Hydrozone Area (ETo)	13,089
Annual ETo (gallons)	43.3	Total Annual Landscape Areas	0

INCLUDED IN THIS PROJECT SUBMITTAL PACKAGE

- Check to indicate completion:
- 1 Maximum Applied Water Allowance: 183,411 gal/year with 100% ETo
 - 2 Estimated Total Water Use: 104,987 gal/year
 - 3a Estimated Water from Effective Precipitation: 0
 - 3b Estimated Water Savings: 183,411 gal/year
- Note: ETo design assumes that a part of the ETo will be provided by precipitation, the Effective Precipitation (Epp) value shall be completed and submitted.
- 4 Hydrozone Report
 - 5 Soil Fertility Analysis
 - 6 Grading Design Plan
 - 7 Planting Design Plan
 - 8 Irrigation Design Plan
 - 9 Irrigation Schedule
- POST-INSTALLATION INSPECTION:**
- A Maintenance Schedule
 - B Irrigation Audit
 - C Plants installed as specified (substitutions accepted)
 - D Irrigation system installed as designed (as-built included)
 - E Landscape irrigation audit performed
 - F Submitted package and site certification package have been provided to owner, building or utility manager and local water agency.

Prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA, 94598 925-939-8292

WELO MAXIMUM APPLIED WATER ALLOWANCE

Prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA, 94598 925-939-8292

PROJECT NAME: The Olivia at Marsh Creek - Site 3 Date: 10/7/19

CITY OF: Clayton ETo Location: Concord

SECTION B1 MAXIMUM APPLIED WATER ALLOWANCE
MAWA = ETo x .55 x (HA) + (.45 x SLA)

YEARLY ETo	43.3
CONVERSION FACTOR	0.62
ET ADJUSTMENT FACTOR	0.55
TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet)	13,089
SPECIAL LANDSCAPE AREA (SLA in Square Feet)	0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year)	183,411
TOTAL ACRE FEET	0.59

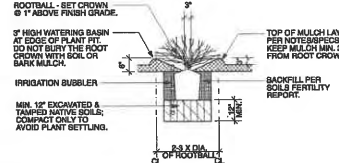
CALCULATIONS: $43.3 \times 0.62 \times 0.55 \times 13,089 + 0.45 \times 0 = 183,411$

Effective Precipitation (Epp) Use 25% of annual precipitation in the following equation:
MAWA = (ETo - Epp) x .62 x (HA) + (.45 x SLA)

YEARLY ETo	43.3
EFFECTIVE PRECIPITATION (Epp) = XXX in x .25	0
NET ETo	43.3
CONVERSION FACTOR	0.62
ET ADJUSTMENT FACTOR	0.55
TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet)	13,089
SPECIAL LANDSCAPE AREA (SLA in Square Feet)	0
MAXIMUM APPLIED WATER ALLOWANCE (gallons/year)	183,411
TOTAL ACRE FEET	0.59

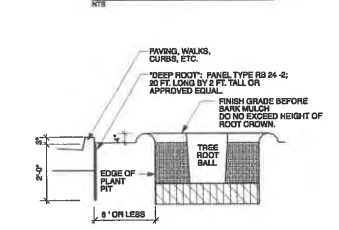
CALCULATIONS: $43.3 \times 0.62 \times 0.55 \times 13,089 + 0.45 \times 0 = 183,411$

RESULTS: Irrigation reduction by adding precipitation (gallons/year): 0



- NOTES:**
- FOR GROUND COVER AREAS, ROOTBALL AMENDMENTS AS RECOMMENDED BY SOILS REPORT OR TO 8" DEPTH AFTER CROSS-RIPPING SUBSTRATE TO 12" DEPTH.
 - SIDES AND BOTTOM OF PLANT PIT SHALL BE SCARPED BEFORE PLANTING.
 - ADD AGRIFORM PLANT TABLETS OR APPROVED EQUAL AT MANUFACTURER'S RATES, 1/2 DOWN FROM TOP OF BACKFILL.

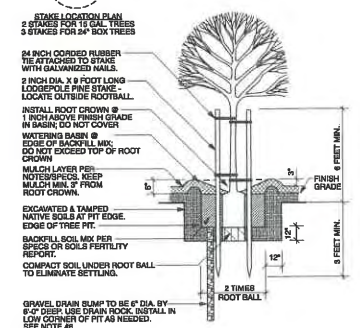
SHRUB PLANTING DETAIL



ROOT BARRIER DETAIL



- NOTES:**
- PLACE STAKES PLUMB & AS SHOWN IN STAKE LOCATION PLAN.
 - TREES SHALL NOT BE ROOT-BOUNDED. CAREFULLY SCARPIFY ROOTBALL BEFORE PLANTING.
 - ELIMINATE WATER BASIN WHEN TREES ARE PLANTED IN LAWN.
 - USE WOOD STAKES FOR 16 GALLON & 24" BOX CONTAINERS.
 - TREE PIT SHALL BE 3 TO 5 TIMES DIAMETER OF ROOT BALL IN CLAY SOILS OR HARDENED CONDITIONS.
 - TREE PIT PERCOLATION TESTS SHALL BE PERFORMED IN CLAY SOILS OR HARDENED CONDITIONS. SEE PLANTING NOTE #6, SHEET L-13 FOR TEST PARAMETERS.
 - SEE ADDITIONAL NOTES ON COVER SHEET.



TREE INSTALLATION DETAIL



WELO ESTIMATED TOTAL WATER USE

PROJECT SUMMARY

PROJECT NAME: The Olivia at Marsh Creek - Site 3 Date: 10/7/19

CITY OF: Clayton ETo City: Concord

SECTION B2 ESTIMATED TOTAL WATER USE (ETWU), gallons per year
ETWU = ETo x .52 x (PP) x (HA)/(E) + SLA

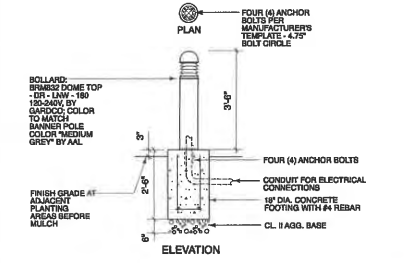
Calculate the following for each Hydrozone (H2):

YEARLY ETo (gallons per year)	43.3
CONVERSION FACTOR (to gallons per square foot)	0.62
AVG PP - PLANT FACTOR (plant water demand, desired for each hydrozone)	0.34
TOTAL IRRIGATED LANDSCAPE AREA (HA in Square Feet)	13,089
SPECIAL LANDSCAPE AREA (SLA in Square Feet)	0
AVG IE - IRRIGATION EFFICIENCY FACTOR (minimum .75)	0.80
TOTAL ESTIMATED TOTAL WATER USE (gallons/year)	164,987
TOTAL ACRE FEET:	0.51

CALCULATIONS:

YEARLY COMBINED H2 ETo FACTOR	H2	HYDROZONE NO.	PLANT FACTOR	IRRIGATION EFFICIENCY	ETWU (GAL/YR)	% OF TOTAL ETWU	LANDSCAPE AREA (SQ FT)	ETWU PER SQ FT
43.3	0.02	1	Special-Low	0.50	0.01	0.25	4,357	45.31%
43.3	0.02	2	Non-Plant Medium	0.40	0.01	0.40	28,518	16.42%
43.3	0.02	3	Non-Plant High	0.20	0.01	0.20	415	3.16%
43.3	0.02	4	Annual-Low-High	0.80	0.75	1.67	3,719	22.83%
43.3	0.02	5	CI/Highly-Precip	0.40	0.01	0.40	461	2.82%
43.3	0.02	6	CI-Med	0.40	0.01	0.40	461	2.82%
43.3	0.02	7	Tree-Low	0.30	0.01	0.30	3,500	4.09%
43.3	0.02	8	Tree-Very-Low	0.30	0.01	0.30	3,500	2.04%
43.3	0.02	9	Special-Low	0.40	0.01	0.40	86	1.23%
TOTAL:					164,987	100.00%	13,089	12.61%

Prepared by: MD Fotheringham, Landscape Architects, Inc. 1700 North Broadway, Suite 300 Walnut Creek, CA, 94598 925-939-8292



D LB LIGHT BOLLARD
12" x 1'-0"



C LB TRASH RECEPTACLE
NTS

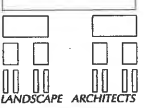


B LB BICYCLE RACK
NTS



A LB BENCH W/BACK/BACKLESS
NTS
(See architectural dwgs for alternate wood bench)

M D FOTHERINGHAM



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Landscape Design



Consultants

Project

THE OLIVIA ON MARSH CREEK

Clayton, CA

SITE 3

6490 Marsh Creek Road
Clayton, CA 94517

Client

William P. Jordan Trust

Sheet Title

CONSTRUCTION DETAILS 2

Preliminary Design Submittal #2

Scale:
As Shown on Plan

Designed by:
MDF

Drawn by:
BVS/PMDF

Checked by:
MDF

Revisions:

Sheet Date: JUNE 1, 2018

Issue Date: OCTOBER 7, 2019

Project Number:
1707

Sheet Number



T-1 *Arbutus x. 'Marina'* or *Arbutus unedo* (N-E)
Strawberry Tree



T-2 *Cedrus deodara* (E)
Deodar Cedar



T-3 *Pistacia chinensis* (D)
Chinese Pistache



T-4 *Cercis occidentalis* (N-D)
Western Redbud



T-5 *Chilopsis linearis* (N-D)
Desert Willow



T-6 *Lagerstroemia x. 'Muskogee'* (D)
Lavender Crape Myrtle



T-7 *Platanus a. 'Bloodgood'* (D)
London Plane Tree



T-8 *Magnolia grandiflora* (E)
Southern Magnolia



T-9 *Quercus agrifolia* (N-E)
Coast Live Oak

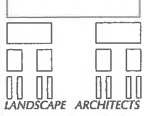


T-10 *Quercus lobata* (N-D)
Valley Oak



T-11 *Umbellularia californica* (N-E)
California Bay Tree

M. D. FOTHERINGHAM



1702 North Broadway, Suite 900
Walnut Creek, CA 94596
Telephone: 925-939-6582
Direct: 925-939-2254
email: md@mdfotheringham.com

License Stamp



Consultants

Project
**THE OLIVIA ON
MARSH CREEK**
Clayton, CA
ALL SITES

Client
William P. Jordan Trust

Sheet Title

**TREE
IMAGES**

Preliminary Design Submittal #2

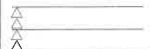
Scale
As Shown on Plan

Designed by
MDF

Drawn by
BH/SP/MDF

Checked by
MDF

Revisions



Sheet Date: JUNE 1, 2018
Issue Date: OCTOBER 7, 2019

Project Number
1707

Sheet Number

L-9

SITE PLAN

THE OLIVIA ON MARSH CREEK

6170 HIGH STREET

CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA

GENERAL NOTES

1. OWNER/DEVELOPER

WILLIAM P. JORDAN TRUST
8830 MARSH CREEK ROAD
CLAYTON, CA 94527
PHONE: (925) 672-7249

2. ARCHITECT

DESIGN & DEVELOPMENT
3085 TULLOCH AVENUE, SUITE A
OAKLAND, CA 94609
PHONE: (510) 535-7370
CONTACT: JOHN MERTON

3. CIVIL ENGINEER

MILANI AND ASSOCIATES
2855 STAMPALE AVENUE, SUITE 105
CONCORD, CA 94529
PHONE: (925) 674-0082
CONTACT: KEVIN ALDOCK

4. GEOTECHNICAL ENGINEER

FRAN ASSOCIATES, INC.
2830 WICKHAMSON STREET
SAN LEANDRO, CA 94577
PHONE: (510) 351-3630
CONTACT: ERIC FRANK
GEOTECHNICAL PROJECT NO. 1794

5. ARBORIST

SICA TREE CONSULTING
1534 ROSE STREET
CONCORD, CA 94529
PHONE: (510) 782-3075
CONTACT: STEVE BACHELDER

6. SITE ADDRESS: 6170 HIGH STREET, CLAYTON, CA 94527

7. ASSESSOR PARCEL NUMBER: 119-021-083

8. TOTAL SITE AREA: 1.11 AC (48,378 SF)

9. G.A. DESIGNATION: MND (5.1 TO 20 UNITS PER GROSS ACRE)

10. EXISTING ZONING: PD (PLANNED DEVELOPMENT)

11. PROPOSED ZONING: MND (MULTI-FAMILY, HIGH DENSITY); PD (PLANNED DEVELOPMENT)

12. EXISTING USE: VACANT LOT

13. PROPOSED USE: MULTI-FAMILY RESIDENTIAL/APARTMENTS

14. TOTAL NUMBER OF UNITS: 1 LOT

15. UTILITIES & SERVICES

WATER:	CONTRA COSTA WATER DISTRICT
SEWERAGE:	CITY OF CONCORD
GAS & ELECTRIC:	PHOENIX GAS & ELECTRIC
TELEPHONE:	AT&T
CABLE:	COMCAST
POLICE:	CITY OF CLAYTON
DRAINAGE:	CONTRA COSTA COUNTY FLOOD CONTROL & CONSERVATION DISTRICT (CCCD/CRAND)

16. NO PUBLIC AREAS ARE PROPOSED.

17. FLOOD ZONE: "X" (OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLANE) (HANEL 03/20/08 DATED: 06/16/2009)

18. LEGAL DESCRIPTION: PARCEL "A" AS SHOWN ON THE RECORD OF SURVEY, RECORDED MARCH 7, 1979 IN BOOK 81 OF UNDEVELOPED SURVEYORS' MAPS, PAGE 17, CONTRA COSTA COUNTY.

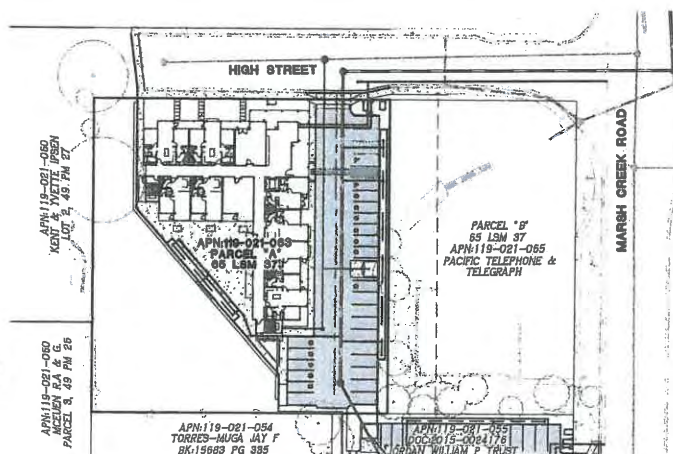
19. EXISTING CONDITIONS BASED ON FIELD TOPOGRAPHIC SURVEY BY MILANI & ASSOCIATES COMPLETED NOVEMBER, 2013.

BASIS OF BEARINGS:

FOUND TWO 1/4" IRON PIPES AS SHOWN
ON 68 LSM 37, TAKEN AS N00°35'32"E

BENCHMARK:

FOUND BRASS DISK STAMPED
"PT 26 LS 5672 1930" AT THE ENTRANCE
TO CLAYTON CITY OFFICES AT THE TOP OF
A CATCH BASIN ON CLAYTON ROAD.
ELEVATION TAKEN AS 412.90 (NAVD83) PROJECT BASED ON 1988 DATUM.
ELEVATION TAKEN AS 410.208 (NAD83 1929)



VICINITY MAP
N.T.S.

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND TREE REMOVAL PLAN
C-4	ZONING MAP
C-5	OVERALL SITE PLAN
C-6	SITE PLAN-NORTH
C-7	SITE PLAN-SOUTH
C-8	OFFSITE STORM DRAIN
C-9	C.3 EXHIBIT
C-10	CLEAN BAY BLUE PRINT
C-11	SLOPE DENSITY MAP
C-12	SECTIONS
C-13	DETAILS

ABBREVIATIONS

ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ACP	ASBESTOS CEMENT PIPE	MIN	MINIMUM
AD	AREA DRAIN	NA	NOT APPLICABLE
AP	ANGLE POINT	OG	ORIGINAL GROUND
BC	BOTTOM CURVE	OU	OVERHEAD UTILITY
BF	BOTTOM OF FOOTING	PAL	PURCHASE
BO	BLOW OFF	PC	POINT OF COMPOUND CURVE
BS	BOTTOM VERTICAL CURVE	PCB	REINFORCED PIPE
BW	BACK OF WALK	POC	POINT OF CURVE
CA	CANTERLINE	POC	POINT OF VERTICAL CURVATURE
CG	CONCRETE CURB	PCV	POINT OF VERTICAL CURVATURE
DRY	DRY	PH	POINT OF VERTICAL INTERSECTION
EC	END OF CURVE	S	SLOPE
ELEV	ELEVATION	ROP	REINFORCED CONCRETE PIPE
ENC	END OF VERTICAL CURVE	RET	RETURN (CURB)
EV	EXISTING	RFR	RISER
EX	EXISTING	RT	RIGHT
FF	FRESH FLOOR	RFW	RIGHT OF WAY
FG	FRESH GRADE	S	SLOPE
FI	FIRE HYDRANT	SD	STORM DRAIN
FL	FLOW LINE	SO	SOIL GRADING
FSD	FLOW LINE SIDE OPENING	SS	SANITARY SEWER
FM	FIRE WATER MAIN	SSCO	SANITARY SEWER CLEAN OUT
GB	GARAGE BRICK	SSW	SANITARY SEWER MANHOLE
GF	GARAGE FRESH FLOOR	SWK	SIDEWALK
GL	GARAGE LP	TC	TOP OF CURB
GV	GRAVE	TCB	TOP OF COMPRESSED CURB
HOPE	HIGH-DENSITY POLYETHYLENE	TCF	TOP OF FLASH CURB
HP	HIGH POINT	TP	TOP OF FINISHMENT
IN	INVERT	TR	TOP OF RAMP
INVERT	INVERT	TR	TOP OF RAMP
LAT	LATERAL	TW	TOP OF WALL
LEFT	LEFT	UYP	UNFROZEN CLAY PIPE
		ULU	UNDERGROUND UTILITY
		W	WATER MAIN OR WATER SERVICE
		WW	WATER MAIN OR WATER SERVICE

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

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Concord, CA 94520
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Fax: (925) 674-9279
Web: www.milaniassociates.com

JORDAN PROPERTY

CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
COVER SHEET
CONTRA COSTA COUNTY

A.P.N. 119-021-083
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
A.C.E. NO. 51181 BPP/BS 0-00-01
DATE: _____
DESIGN: KRA
JOB NO: 740
DRAWN: KRAYS/S/L/M
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN

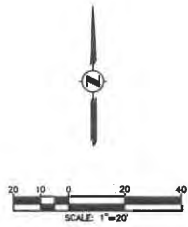
NO. _____ REVISIONS _____ BY _____ APP _____ DATE _____ SHEET _____



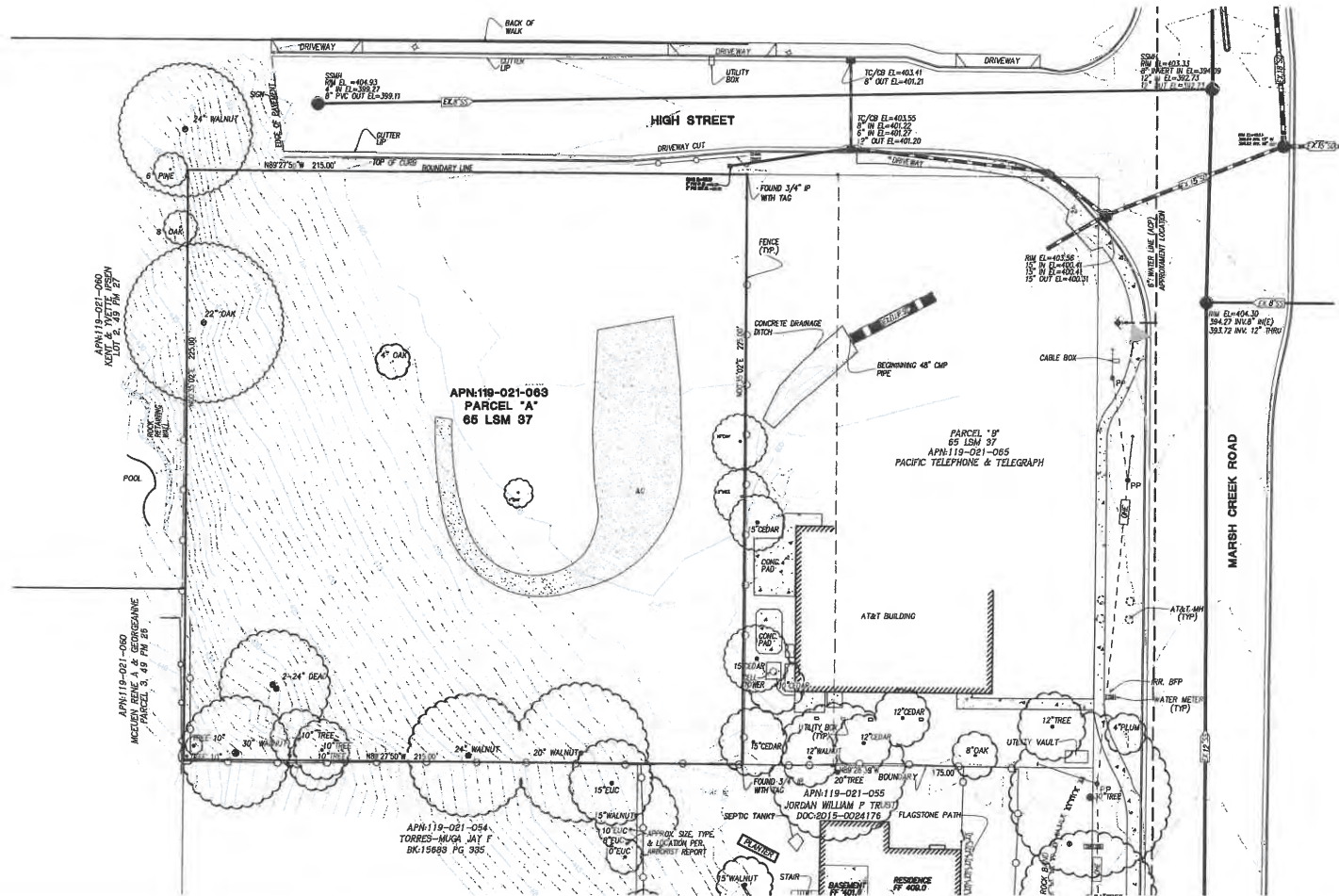
C-1

13

SHEETS



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 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
EXISTING SITE CONDITIONS

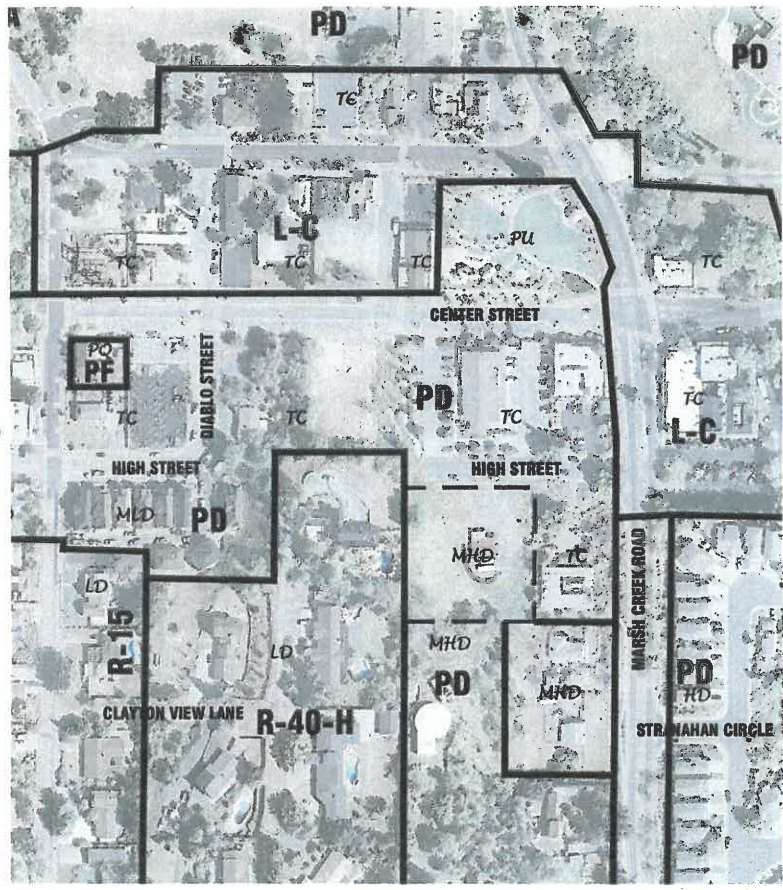
CONTRA COSTA COUNTY

A.P.N. 119-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 LICENSE NO. 50171 - 8/28/19-9-0001 DATE
 DESIGNER: KRA
 JOB NO: 740
 DRAWN: KRASHSAMJL DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-2
					13
					SHEETS



LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.0 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL



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 CITY OF CLAYTON

**THE OLIVIA ON MARSH CREEK
 6170 HIGH STREET
 ZONING EXHIBIT**

CONTRA COSTA COUNTY

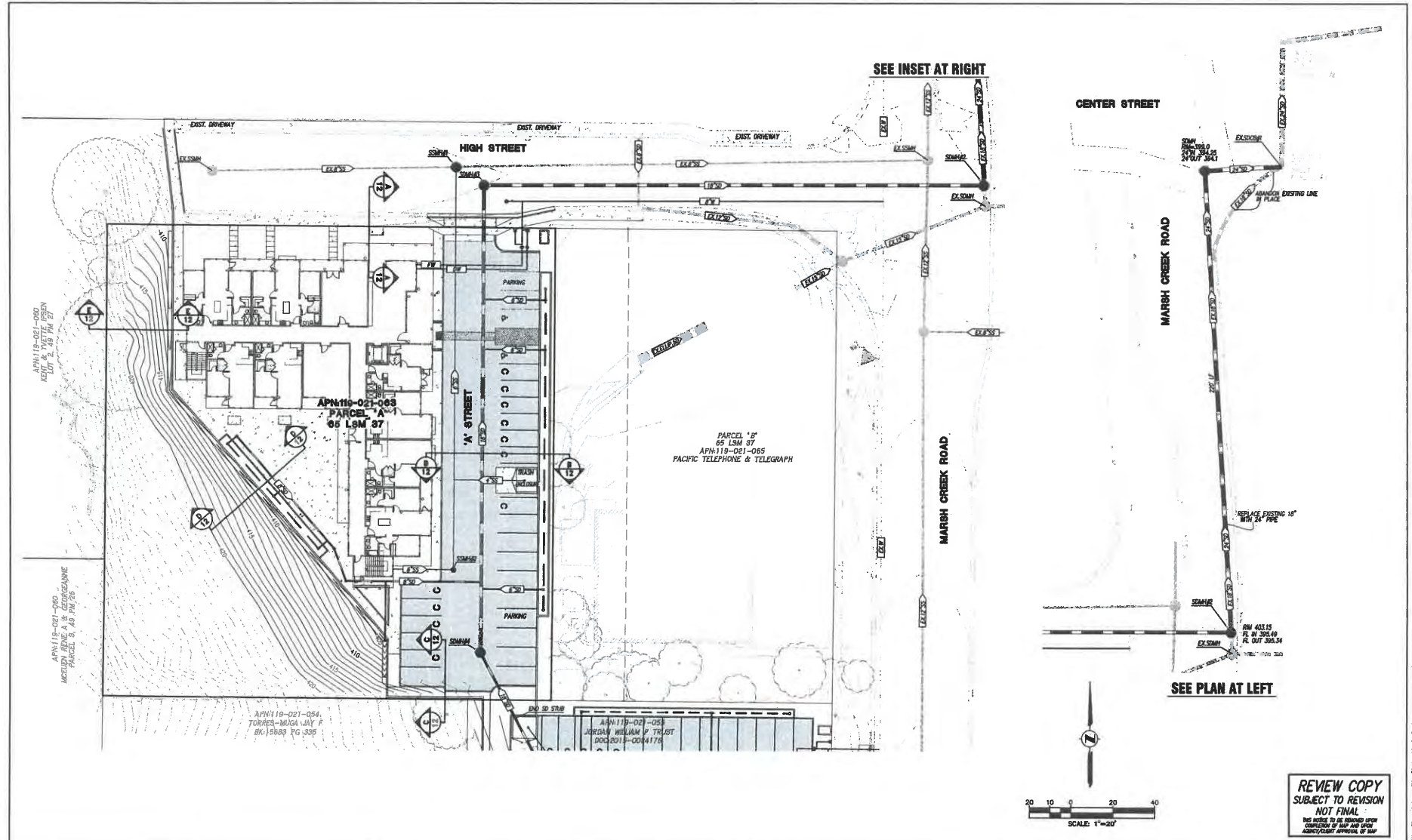
A.P.N. 119-021-063

DESIGNED UNDER THE DIRECTION OF:

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 LICENSE NO. 92571 EXPIRES 9-30-21 DATE: _____
 DESIGN: KPA JOB NO: 740
 DRAWN: KHASIBALM DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-4
					13
					SHEETS



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THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
OVERALL SITE PLAN
 CONTRA COSTA COUNTY

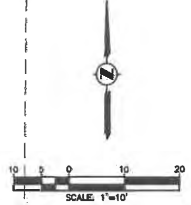
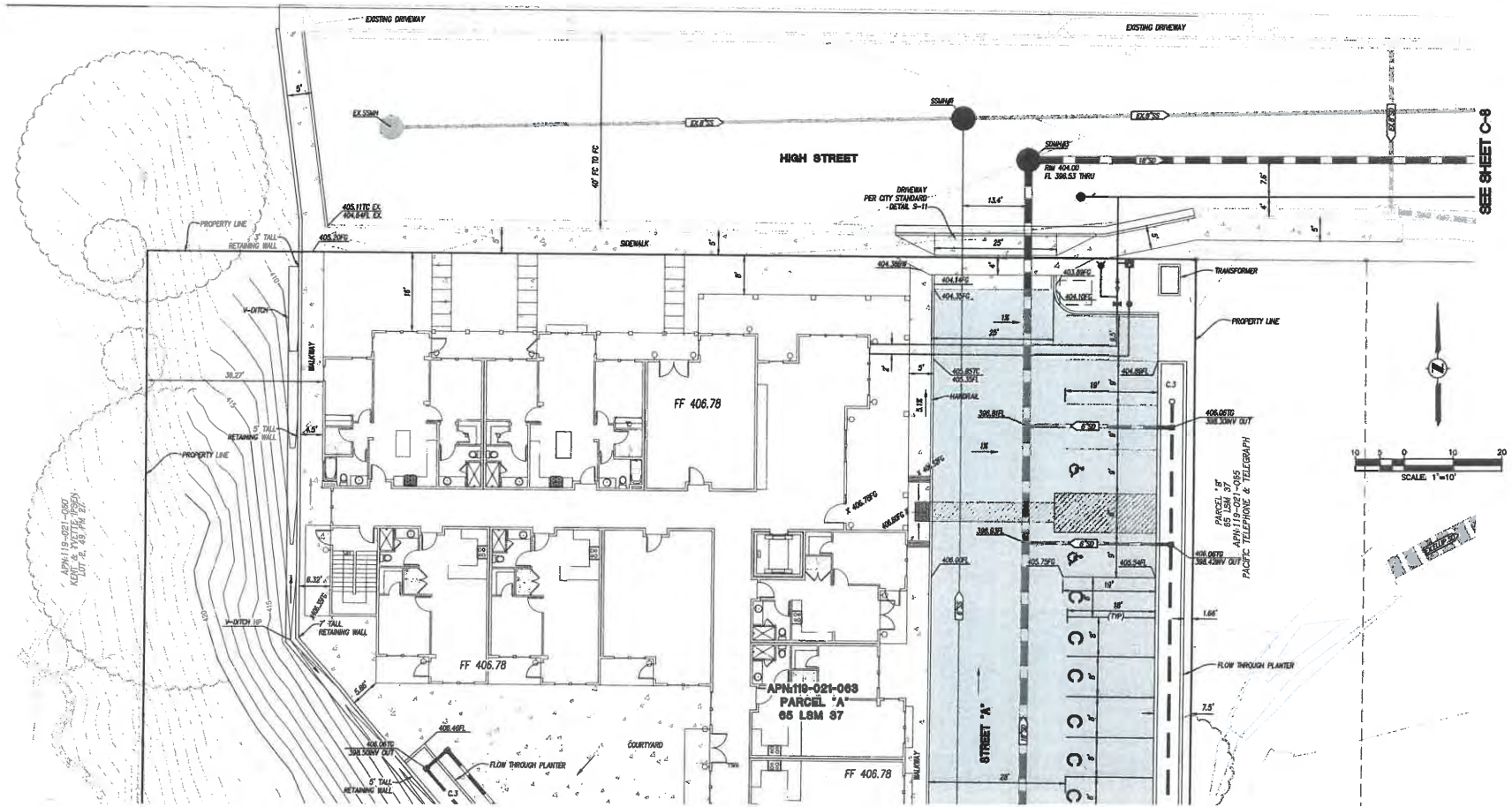
A.P.N. 119-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 81671 - CIVIL ENGINEER 9-30-21 DATE
 DESIGN: KPA JOB NO: 740
 DRAWN: KRASMSJML DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-5
					13
					SHEETS

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SEE SHEET C-7

SEE SHEET C-8

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MILANI & Associates

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JORDAN PROPERTY

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SITE PLAN

A.P.N. 119-021-063

CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI DATE: _____

REGISTERED PROFESSIONAL ENGINEER
 No. 33131
 CIVIL ENGINEER
 STATE OF CALIFORNIA

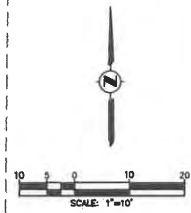
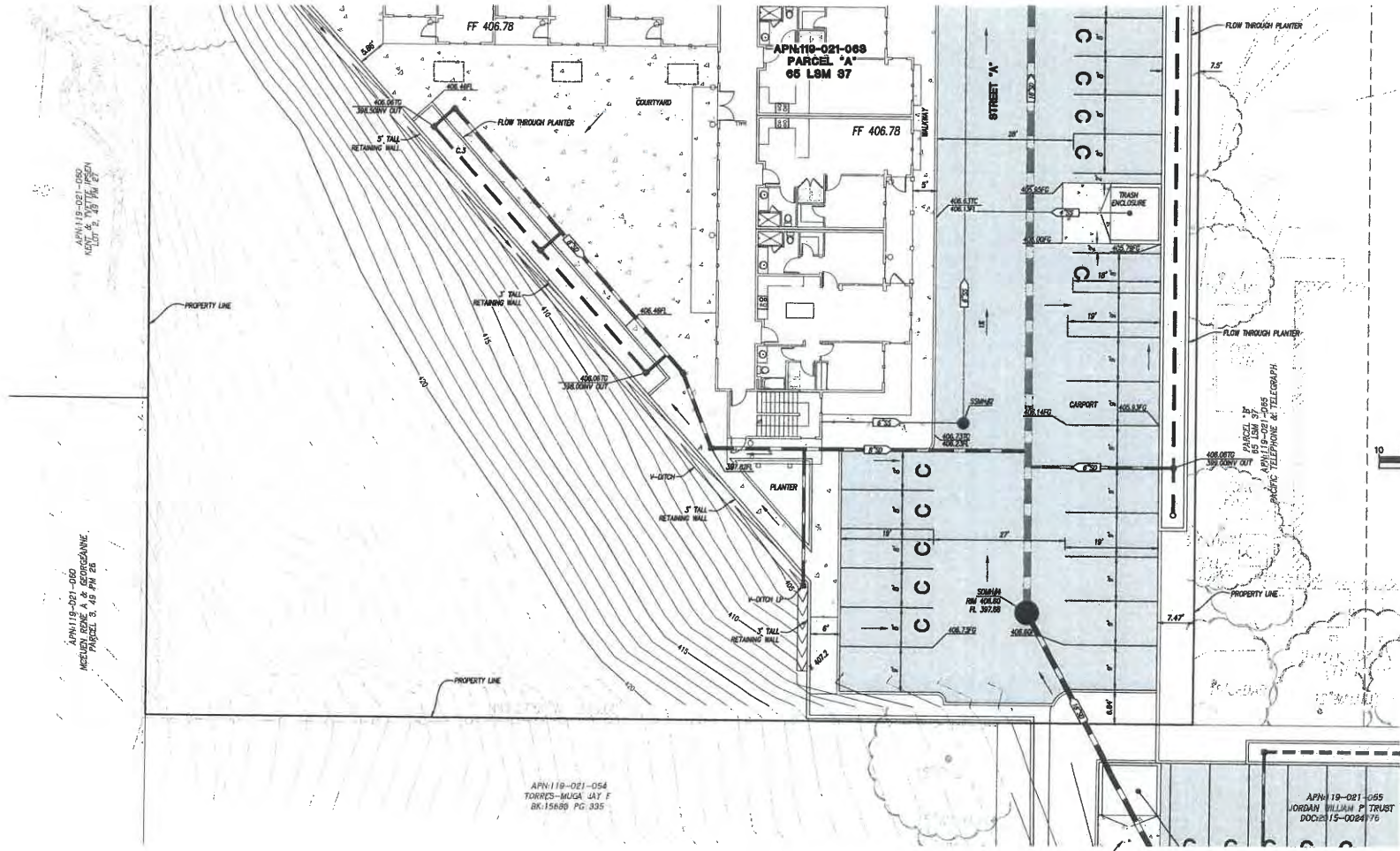
DESIGN: KRA JOB NO: 740

DRAWN: KRASMSJML DATE: OCTOBER 2019

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NO.	REVISIONS	BY	APP	DATE	SHEET
					C-6
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					SHEETS

SEE SHEET C-6



SEE SITE 2 PLAN FOR CONTINUED WALKWAY

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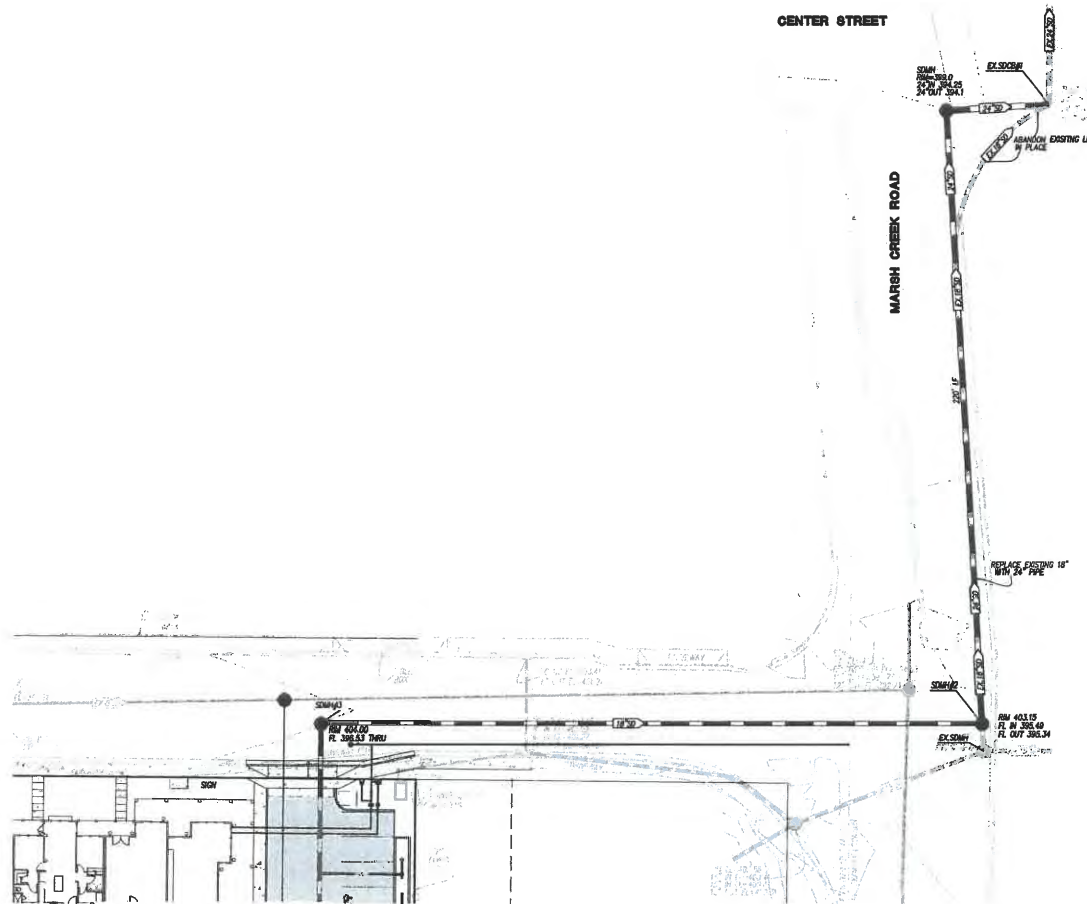
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SITE PLAN
 CONTRA COSTA COUNTY

A.P.M. 119-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 96114 EXP. 06/30/21
 DATE: _____
 DESIGN: KRA
 JOB NO: 740
 DRAWN: KRASMSJML
 DATE: OCTOBER 2019
 CHECKED: MEM
 SCALE: AS SHOWN



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					13



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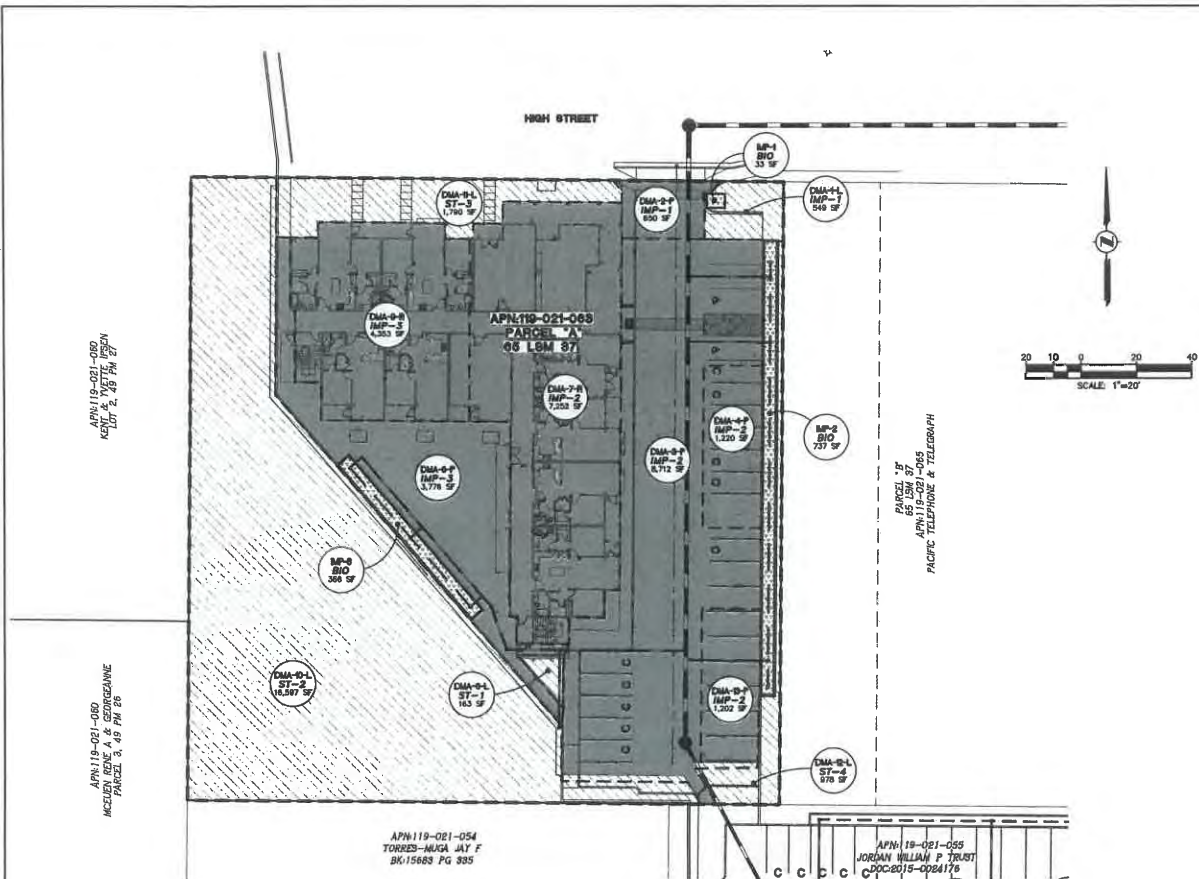
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
OFFSITE STORM DRAIN PLAN
 CONTRA COSTA COUNTY

A.P.N. 110-021-063
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 R.C.E. No. 20157 EXP. FEB 9-30-21 DATE
 DESIGN: KRA JOB NO: 740
 DRAWN: KRASMSJML DATE: OCTOBER 2019
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NO.	REVISIONS	BY	APP	DATE	SHEET
					C-8
					13
					OF SHEETS



Project Name: Site 1
 Project Type: Treatment Only
 APN: 119-021-068
 Drainage Area: 48,378
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)	4-28 (sq ft)
DMA0	1639	
DMA10	11889	
DMA11	17902	
DMA12	878	

IV. Areas Draining to IMPS

IMP Name: IMP1
 IMP Type: Stormwater Facility
 Soil Group: IMP1

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA1	548	Landscape	0.10	55				
DMA2	650	Concrete or Asphalt	1.00	650				
Total				705	0.540	1.000	38	33

IMP Name: IMP2
 IMP Type: Flow-Through Planter
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA3	8,172	Concrete or Asphalt	1.00	8,172				
DMA4	1,220	Concrete or Asphalt	1.00	1,220				
DMA7	7,252	Conventional Roof	1.00	7,252				
DMA13	1,208	Conventional Roof	1.00	1,208				
Total				18,388	0.540	1.000	752	737

IMP Name: IMP3
 IMP Type: Flow-Through Planter
 Soil Group: IMP3

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA5	3,778	Concrete or Asphalt	1.00	3,778				
DMA9	4,385	Conventional Roof	1.00	4,385				
Total				8,163	0.540	1.000	335	368

Report generated on 1/20/2019 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).

LEGEND

- IMPERVIOUS SURFACE
- BIO-RETENTION AREA
- PERVIOUS SURFACE
- IMP 1 (IMP-1) 450 SF
- IMP 2 (IMP-2) 450 SF
- IMP 3 (IMP-3) 450 SF
- IMP 4 (IMP-4) 450 SF
- IMP 5 (IMP-5) 450 SF

NOTES:
 1. SITE HYDROLOGIC SOIL TYPE: D
 2. GROUNDWATER ENCOUNTERED AT A DEPTH OF 11 to 24 FEET.
 3. CONTRACTOR SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM 7TH EDITION.

ABBREVIATIONS:
 BPF BIODEGRADATION FACILITY CAPACITY
 CAP. CAPACITY
 EX. EXISTING
 DMA DRAINAGE MANAGEMENT AREA
 F/C FACE OF CURB
 BIO BIODEGRADATION
 IMP INTEGRATED MANAGEMENT PRACTICES
 L LANDSCAPE
 NOT A PAVED AREA EXCLUDED FROM C.3 REQUIREMENTS
 P PAVEMENT
 PL PLANTER
 R ROOF
 RP RP ROOF
 RW ROOF OF WET SQUARE FEET
 SF SELF-RETAINING
 ST SELF-TREATING
 S/W SIDEWALK
 U UNTRICKED

IMPERVIOUS AREAS:
 SITE 1:
 EXISTING LOT SIZE 48,378 SQFT
 EXISTING IMPERVIOUS AREA 3,728 SQFT
 PROPOSED IMPERVIOUS AREA 27,142 SQFT
 NET INCREASE OF IMPERVIOUS AREA 23,416 SQFT

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 Municipal Engineering
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 Survey Monitoring & Reporting

MILANI & Associates
 2855 Stonewall Drive, Suite 105
 Concord, CA 94520
 Phone: (925) 674-6023
 Fax: (925) 674-6279
 Web: www.milaniasociates.com

JORDAN PROPERTY
 THE OLIVIA ON MARSH CREEK
 6170 HIGH STREET
 C.3 COMPLIANCE EXHIBIT
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

A.P.N. 119-021-063

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 R.C.S. No. 51811 - EXPIRES 9-30-21
 DESIGN: N/A
 DRAWN: KRASIMIR
 CHECKED: MEM

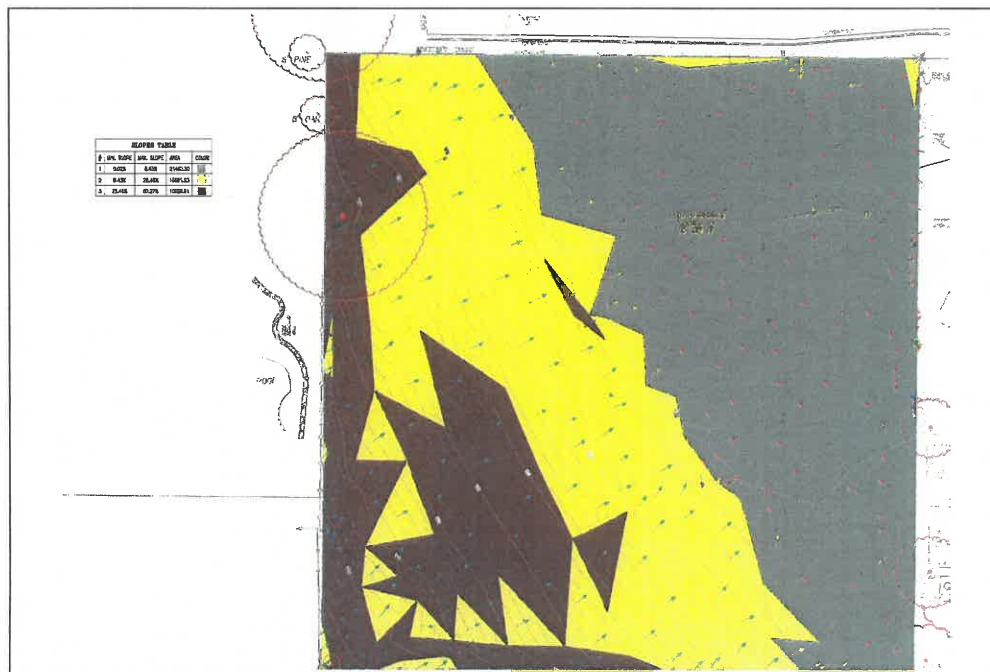
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					C-9
					13

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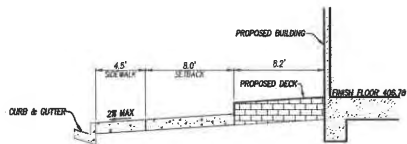
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SLOPE DENSITY MAP
 CONTRA COSTA COUNTY

A.P.N. 119-021-063
CALIFORNIA

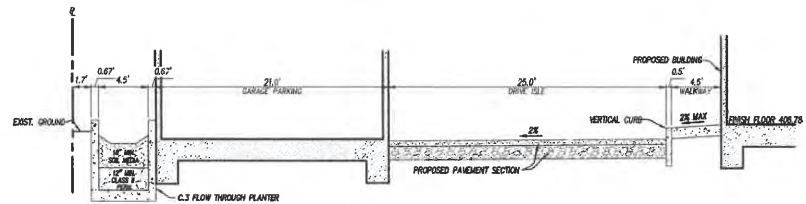
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 87111 SUPPLEMENT 9-24-21
 DATE: _____
 DESIGN: KPA
 JOB NO: 740
 DRAWN: KRASMSAJL
 DATE: OCTOBER 2019
 CHECKED: JMEM
 SCALE: AS SHOWN



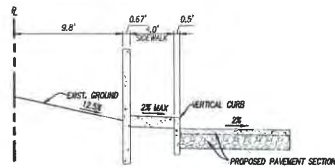
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					C-11
					13
					SHEETS



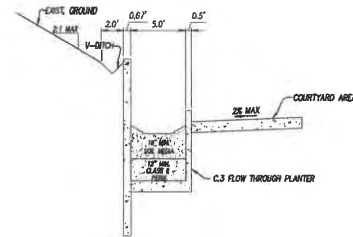
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VERT: 1"=2.5'



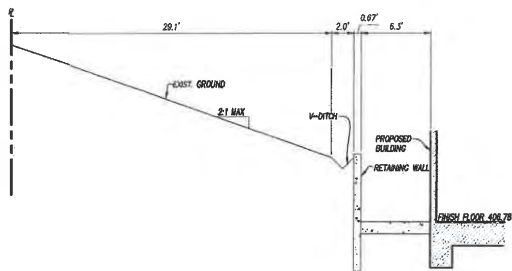
SECTION B
HORIZ: 1"=5'
VERT: 1"=2.5'



SECTION C
HORIZ: 1"=5'
VERT: 1"=2.5'



SECTION D
HORIZ: 1"=5'
VERT: 1"=2.5'



SECTION E
HORIZ: 1"=5'
VERT: 1"=2.5'

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CITY OF CLAYTON

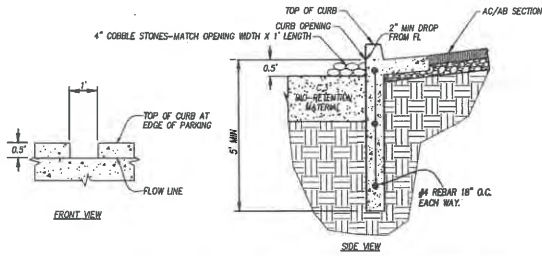
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SECTIONS
CONTRA COSTA COUNTY

A.P.N. 119-021-083
CALIFORNIA

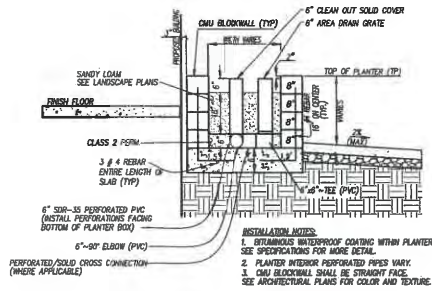
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
REG. NO. 26107 - EXPIRES 9-30-21 DATE:
DESIGN: KRA JOB NO: 740
DRAWN: KRASHMSJML DATE: OCTOBER 2019
CHECKED: MEM SCALE: AS SHOWN



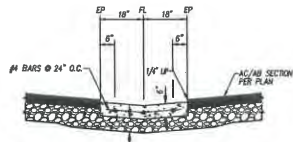
NO.	REVISIONS	BY	APP	DATE	SHEET
					C-12
					13
					SHEETS



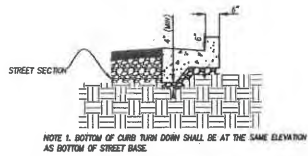
DEEPEMED CURB AT C3 BIO-RETENTION BASINS
NOT TO SCALE



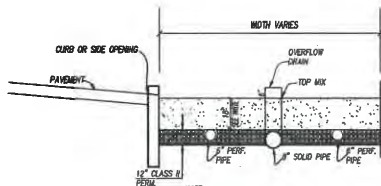
C3 PLANTER
NOT TO SCALE



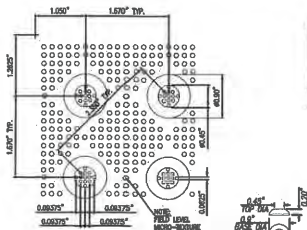
36" VALLEY GUTTER
NOT TO SCALE
NOTE: FL = EP - 0.12"



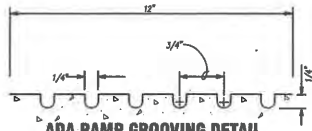
STANDARD 6" CURB & GUTTER
NOT TO SCALE



BIO-RETENTION FACILITY
NOT TO SCALE



RAISED TRUNCATED DOME DETAILS
NOT TO SCALE



ADA RAMP GROOVING DETAIL
NOT TO SCALE

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Fax: (925) 674-9279
Web: www.milanimodotes.com

JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
DETAILS
CONTRA COSTA COUNTY

A.P.N. 119-021-083
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
P.L.C.E. No. 90171 - BORN FEB 9-20-21
DATE: _____
DESIGN: KSA
JOB NO: 740
DRAWN: KHAJASALM
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-13
					13
					SHEETS

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THIS SHEET IS TO BE REVIEWED UPON
COMPLETION OF SHOP AND UPON
ARCHITECTURAL APPROVAL OF SHOP

SITE PLAN

THE OLIVIA ON MARSH CREEK

6450 MARSH CREEK ROAD

CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA

GENERAL NOTES

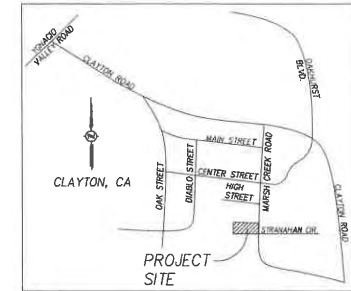
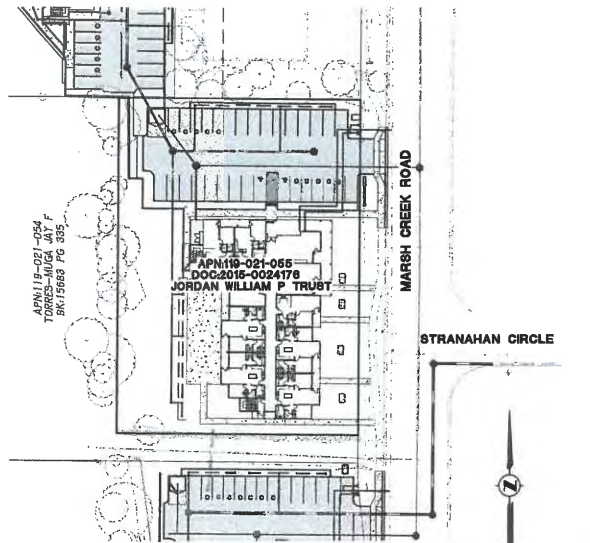
1. OWNER/DEVELOPER
WILLIAM P. JORDAN TRUST
6690 MARSH CREEK ROAD
CLAYTON, CA 94517
PHONE: (925) 874-7249
2. ARCHITECT
DESIGN & DEVELOPMENT
5648 TELEGRAPH AVENUE, SUITE A
OAKLAND, CA 94609
PHONE: (510) 539-7370
CONTACT: JOHN HEWSON
3. CIVIL ENGINEER
MILANI AND ASSOCIATES
2655 STANWELL DRIVE, SUITE 105
CONCORD, CA 94520
PHONE: (925) 674-9082
CONTACT: KEVIN ALCOCK
4. GEOTECHNICAL ENGINEER
RRAR ASSOCIATES INC
2656 NICHOLSON STREET
SAN LEANDRO, CA 94577
PHONE: (510) 355-3830
CONTACT: ERIC RRAR
GEOTECHNICAL PROJECT NO. 1794
5. ARBORIST
SIRCA TREE CONSULTING
1534 PROSE STREET
CROCKETT, CA 94529
PHONE: (510) 787-3075
CONTACT: STEVE BATCHELDER
6. SITE ADDRESS: 6450 MARSH CREEK ROAD, CLAYTON, CA 94517
7. ASSESSOR PARCEL NUMBER: 119-091-055
8. TOTAL SITE AREA: 0.87 AC (42,361)
9. I.P. DESIGNATION: MND (1:1 TO 20 UNITS PER GROSS ACRE)
10. EXISTING ZONING: PD (PLANNED DEVELOPMENT)
11. PROPOSED ZONING: MND (MULTI FAMILY, HIGH DENSITY); PD (PLANNED DEVELOPMENT)
12. EXISTING USE: SINGLE FAMILY RESIDENTIAL
13. PROPOSED USE: MULTI FAMILY RESIDENTIAL/APARTMENTS
14. TOTAL NUMBER OF LOTS: 1 LOT
15. UTILITIES & SERVICES
WATER: CONTRA COSTA WATER DISTRICT
SEWER: CITY OF CONCORD
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CONCRETE: CITY OF CLAYTON
POLICE: CITY OF CLAYTON
DRAINAGE: CONTRA COSTA COUNTY FLOOD CONTROL & CONSERVATION DISTRICT (COOFC&CD)
16. NO PUBLIC AREAS ARE PROPOSED.
17. FLOOD ZONE: "X" (OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLANE)
(PANEL 0309F DATED: 06/16/2009)
18. LEGAL DESCRIPTION: PARCEL "A" AS SHOWN ON THE RECORD OF SURVEY, RECORDED MARCH 7, 1979 IN BOOK 65 OF LICENSED SURVEYOR'S MAP, PAGE 37, CONTRA COSTA COUNTY.
19. EXISTING CONDITIONS BASED ON FIELD TOPOGRAPHIC SURVEY BY MILANI & ASSOCIATES COMPLETED NOVEMBER, 2013.

BASIS OF BEARINGS:

FOUND TWO 3/4" IRON PIPES AS SHOWN ON 65 LSW 37; TAKEN AS 100°35'10"E

BENCHMARK:

FOUND BRASS DISK STAMPED "77 26 LS 5072 1990" AT THE ENTRANCE TO CLAYTON CITY OFFICE AT THE TOP OF A CLAYTON BASIN ON CLAYTON ROAD. ELEVATION TAKEN AS 412.00 (NAVD88) PROJECT BASED ON 1988 DATUM. ELEVATION TAKEN AS 410.208 (NGVD 1929)



VICINITY MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND TREE REMOVAL PLAN
C-4	ZONING MAP
C-5	OVERALL SITE PLAN
C-6	SITE PLAN-NORTH
C-7	SITE PLAN-SOUTH
C-8	C.3 EXHIBIT
C-9	CLEAN BAY BLUE PRINT
C-10	SECTIONS
C-11	DETAILS

ABBREVIATIONS			
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ASP	ASBESTOS CEMENT PIPE	MW	MINIMUM
AD	AREA DRAIN	N/A	NOT APPLICABLE
AP	ANGLE POINT	OG	ORIGINAL GROUND
BC	BEGIN CURVE	O.U.E.	OVERHEAD UTILITY
BF	BOTTOM OF FOOTING	PAV	PAVEMENT
BO	BLOW OFF	PC	POINT OF COMPOUND CURVE
BVC	BEGIN VERTICAL CURVE	PPF	PERFORATED PIPE
BF	BACK OF WALK	POC	POINT OF CURVE
CL	CENTERLINE	PC	POINT OF BEGINNING CURVATURE
CG	COMPOUNDED GRANITE	PIC	POLYETHYLENE GLYCOL
CRV	CURVE	PI	POINT OF VERTICAL INTERSECTION
ED	END OF CURVE	R	RADIUS
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EVC	END OF VERTICAL CURVE	RET	RETURN (CURB)
EW	END WALL	RSP	RISER
EX	EXISTING	RT	RIGHT
FF	FINISH FLOOR	RW	RIGHT OF WAY
FG	FINISH GRADE	S	SLOPE
FI	FIRE HYDRANT	SD	STORM DRAIN
FL	FLOW LINE	SO	SIDE OPENING
FO	FLOW LINE SIDE OPENING	SS	SANITARY SEWER
FW	FIRE WATER MAIN	SSCO	SANITARY SEWER CLEAN OUT
GF	GRADE BREAK	SSMH	SANITARY SEWER MANHOLE
GL	GARAGE FLOOR	SW	SEWER
GL	GARAGE LIP	TC	TOP OF CURB
GR	GRAVEL	TCC	TOP OF COMPOUND CURB
HPE	HIGH-DENSITY POLYETHYLENE	TPC	TOP OF FLUSH CURB
HP	HIGH POINT	TP	TOP OF PAVEMENT
HPV	HIGH POINT	TR	TOP OF RAMP
LAT	LATERAL	TW	TOP OF WALL
LT	LEFT	WCF	WETTED CLAY PIPE
		ULU	UNDERGROUND UTILITY
		W	WATER MAIN OR WATER SERVICE
		WM	WATER METER

RECEIVED

OCT 14 2019

CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

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Web: www.milaniassociates.com

JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
COVER SHEET

CONTRA COSTA COUNTY
CALIFORNIA

A.P.N. 119-021-055

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
P.C.E. No. 91021 EXPRES 9-30-21 DATE: _____

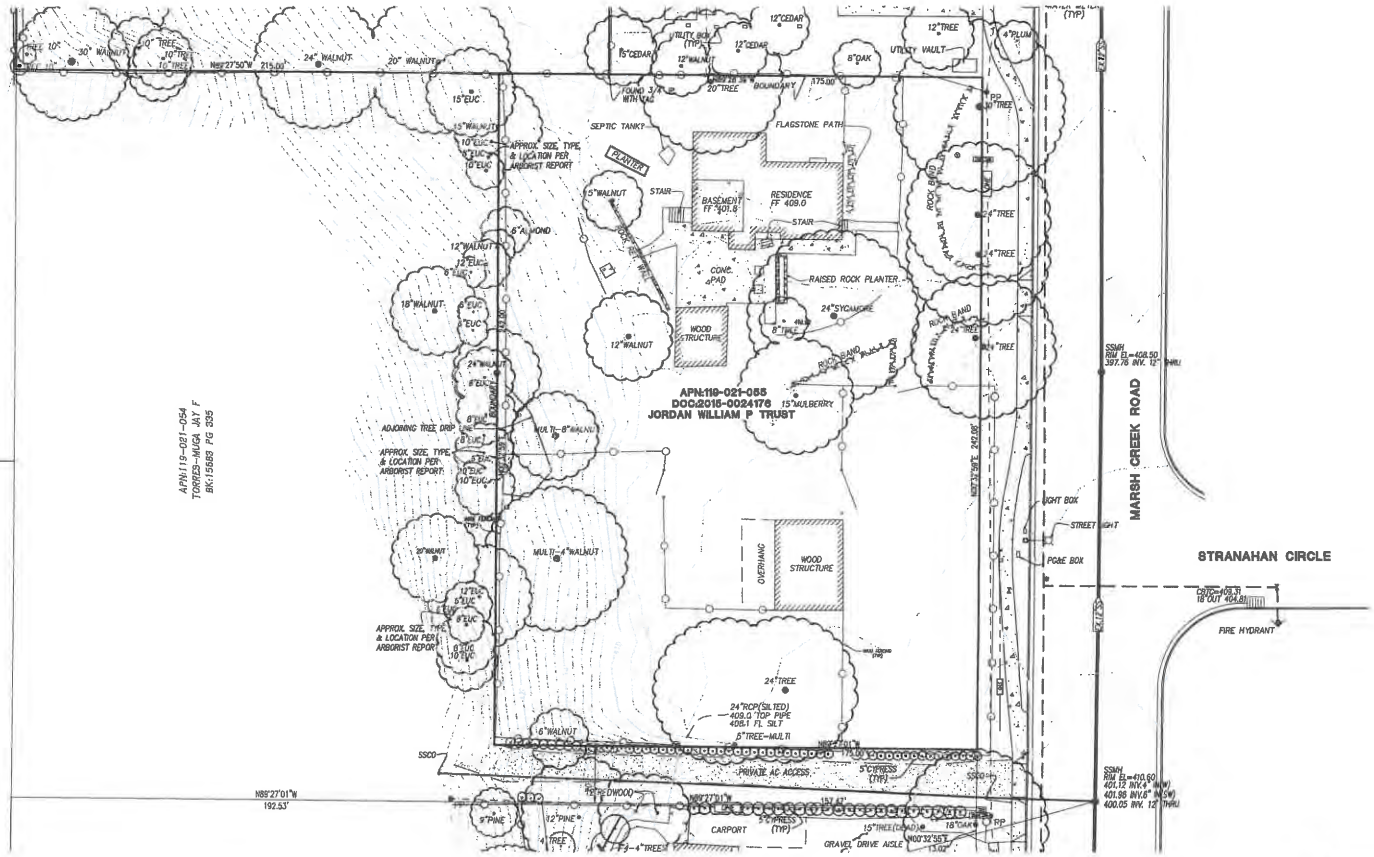
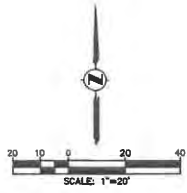
DESIGNER: KRA JOB NO: 740

DRAWN: KRA/GMS/LML DATE: OCTOBER 2019

CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
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					11
					OF SHEETS



APN: 119-021-054
 TORRES-MAGA JAY F
 BK: 15683 PG 335

APN: 119-021-055
 DOC: 2016-0024178
 JORDAN WILLIAM P TRUST

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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
 EXISTING SITE CONDITIONS
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA







A.P.N. 119-021-055

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 51878 EXP. 09-30-21
 DESIGN: KRA JOB NO: 740
 DRAWN: KRA/BMS/LML DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



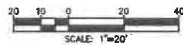
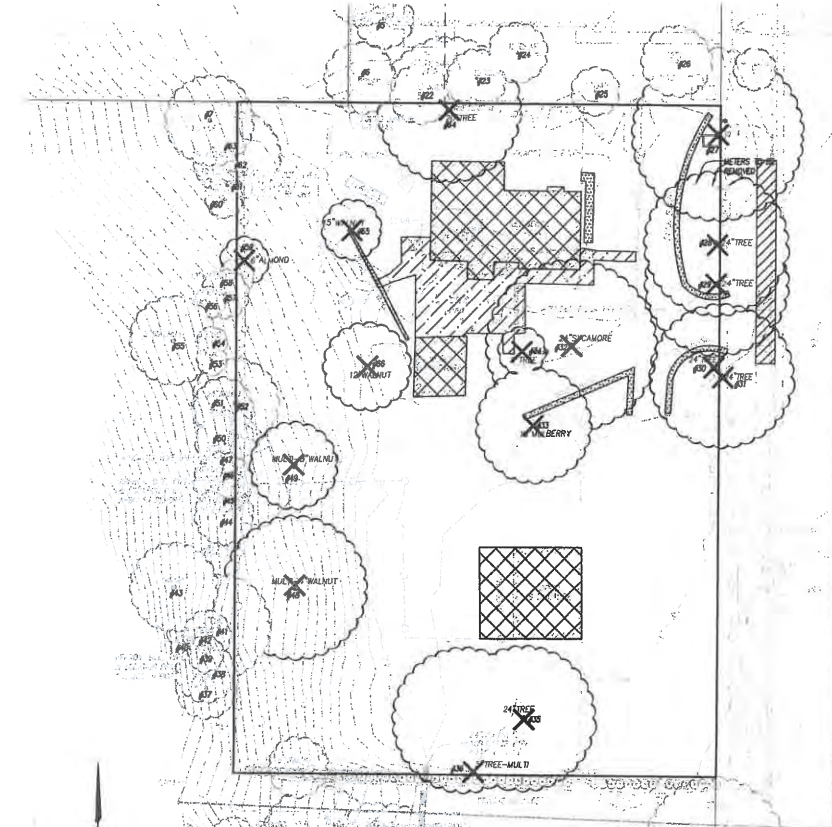
NO.	REVISIONS	BY	APP	DATE	SHEET
					C-2
					11
					SHEETS

DEMOLITION LEGEND

-  EXISTING TREE TO BE REMOVED
-  EXISTING CURB, GUTTER AND SIDEWALK TO BE REMOVED
-  EXISTING STRUCTURE TO BE REMOVED
-  EXISTING GRAVEL/ROCK TO BE REMOVED
-  EXISTING CONCRETE TO BE REMOVED
-  EXISTING WOOD DECK AND WALL TO BE REMOVED

DEMOLITION QUANTITIES

STRUCTURE REMOVAL	3,300 SF
CONCRETE BASEMENT	300 SF
CONCRETE FLAT WORK REMOVAL	1,900 SF
GRAVEL/ROCK REMOVAL	3,725 SF
CONCRETE CURB, GUTTER & SIDEWALK REMOVAL	148 SF
WOOD FENCE REMOVAL (6" WOOD AND 3-RAIL)	604 LF
TREE REMOVAL	19 TOTAL



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COMPLETION OF BIDDING AND PER
APPLICABLE APPROVALS OF ALL

TREE REMOVAL NOTES:

Tag #	Species	Common name	DBH	Height	Spread	Health	Structure	Protected Tree?	Install Rip Rap Retention	Notes
22	Juglans hindsii	California Black Walnut	6, 1	20	20	F	P	Y	P	On adjacent property, Main stem gone, Rootstock
23	Calocedrus decurrens	Incense Cedar	13.5	20	20	G	G	Y	G	On adjacent property, Old RL72, Lean
24	Calocedrus decurrens	Incense Cedar	8.5	15	15	F	F	Y	G	On adjacent property, Old RL72, Lean
25	Quercus lobata	Valley Oak	9.5	30	20	F	F	Y	G	On adjacent property, CD, DW
26	Ulmus parviflora	Siberian Elm	8, 7, 6, 6.5	25	40	F	P	N	G	On adjacent property, Surface roots, CDEB
27	Ulmus parviflora	Siberian Elm	31	30	70	F	P	N	P	Street Tree, Headed for high voltage clearance, CD
28	Ulmus parviflora	Siberian Elm	29	30	40	F	P	N	P	Street Tree, Headed for high voltage clearance, CD
29	Ulmus parviflora	Siberian Elm	22.5	20	35	F	P	N	P	Street Tree, Headed for high voltage clearance, CD
30	Ulmus parviflora	Siberian Elm	11, 8.5, 10, 8	30	65	F	P	N	P	Street Tree, Headed for high voltage clearance, Multi
31	Ulmus parviflora	Siberian Elm	8, 11, 10, 12	30	50	F	P	N	P	Street Tree, Headed for high voltage clearance, Multi, CDEB
32	Platanus hispidifolia	London Plane	19.5	50	50	G	G	N	G	CD
33	Morus alba	Mulberry	20.5	40	55	G	P	N	P	Headed
34	Prunus avocifera	Cherry Plum	6.5, 4.5	25	20	F	P	N	P	ID, Headed
35	Sambucus racemosa	Elderberry	10, 3	25	30	F	P	Y	P	PP, Breakouts, 1/2 tree gone
36	Sambucus racemosa	Elderberry	6.5, 4.5, 5	20	30	G	P	Y	P	PP, Large pruning wounds, On property line
37	Eucalyptus polythamnos	Silver Dollar Gum	10	40	25	G	N	N	G	Nice tree, On adjacent property
38	Eucalyptus polythamnos	Silver Dollar Gum	8	15	20	G	F	N	G	Lean, On adjacent property
39	Eucalyptus polythamnos	Silver Dollar Gum	8	25	15	G	F	N	G	Lean, On adjacent property
40	Eucalyptus polythamnos	Silver Dollar Gum	6	30	15	G	G	N	G	On adjacent property
41	Eucalyptus camaldulensis	River Red Gum	12	25	30	G	F	N	G	Lean on fence, On adjacent property
42	Eucalyptus polythamnos	Silver Dollar Gum	6	25	15	G	P	N	P	CDEB, On adjacent property
43	Juglans hindsii	California Black Walnut	20	25	35	P	P	Y	P	Breakouts, Multi from stump sprouts, On adjacent property
44	Eucalyptus polythamnos	Silver Dollar Gum	10	45	G	G	N	G	G	On adjacent property
45	Eucalyptus camaldulensis	River Red Gum	12	55	30	G	G	N	G	On adjacent property
46	Eucalyptus camaldulensis	River Red Gum	8	30	15	G	G	N	G	On adjacent property
47	Eucalyptus camaldulensis	River Red Gum	10	25	20	G	F	N	G	Lean on fence, On adjacent property, Large pruning wounds
48	Juglans hindsii	California Black Walnut	4, 4, 4, 4, 4, 3.5, 2.5, 3	15	30	P	P	Y	P	Multi from stump sprouts
49	Juglans hindsii	California Black Walnut	5, 5, 5.5, 4.5, 7, 7.5	15	30	P	P	Y	P	Multi from stump sprouts
50	Eucalyptus polythamnos	Silver Dollar Gum	8	30	20	G	F	N	G	CD, On adjacent property
51	Eucalyptus polythamnos	Silver Dollar Gum	8	35	15	F	G	N	G	On adjacent property
52	Juglans hindsii	California Black Walnut	24' multi	25	30	P	P	Y	P	Multi from stump sprouts, On property line
53	Eucalyptus polythamnos	Silver Dollar Gum	6	35	20	G	F-G	N	G	EB, On adjacent property
54	Eucalyptus polythamnos	Silver Dollar Gum	6	30	15	G	F	N	G	On adjacent property
55	Juglans hindsii	California Black Walnut	12, 8	25	25	P	P	Y	P	DW, Multi from stump sprouts, On adjacent property
56	Eucalyptus polythamnos	Silver Dollar Gum	6	25	20	G	G	N	G	CD, On adjacent property
57	Eucalyptus camaldulensis	River Red Gum	12	65	25	F	G	N	P	On adjacent property
58	Juglans hindsii	California Black Walnut	12	20	15	P-D	P	Y	P	Dead?, On property line
59	Prunus dulcis	Almond	3, 3, 3	20	15	F	F-P	N	F-P	Multi, On property line in fence
60	Eucalyptus polythamnos	Silver Dollar Gum	8	25	20	G	G	N	G	On adjacent property
61	Eucalyptus polythamnos	Silver Dollar Gum	8	20	15	G	F	N	G	On adjacent property
62	Eucalyptus polythamnos	Silver Dollar Gum	10.5	60	25	G	G	N	G	On adjacent property
63	Juglans hindsii	California Black Walnut	18	25	25	P-D	P	Y	P	On adjacent property, CD, Almost dead
64	Alnus incana	Tree of Heaven	18	35	35	G	P	N	P	ID, Hollow, Large pruning wounds, CD
65	Juglans hindsii	California Black Walnut	6.5	20	20	P	P	Y	P	Multi from stump sprouts
66	Juglans hindsii	California Black Walnut	10, 6.5	20	20	P	P	Y	P	PP, Multi from stump sprouts

Subtlety for Retention - Based on Tree Condition: G is Good, F is Fair, P is Poor

* TO BE REMOVED ** PROTECTED TREE & TO BE REMOVED

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Concord, CA 94509
Phone: (925) 674-9082
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Web: www.milaniassociates.com

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CITY OF GLAYTON

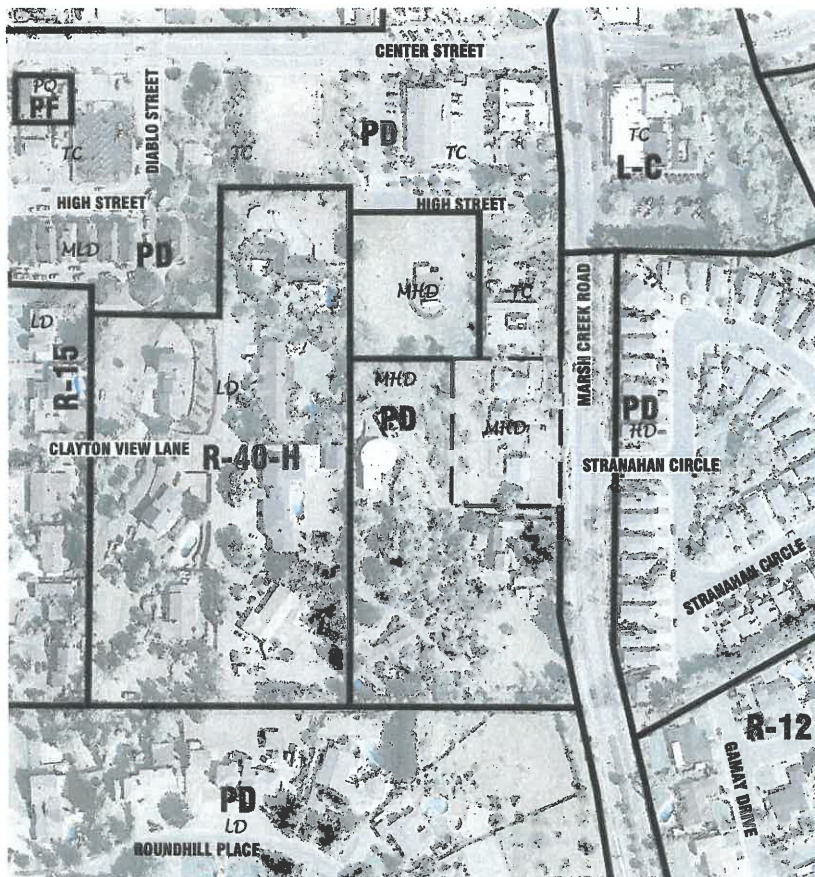
**THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
TREE REMOVAL & DEMOLITION PLAN**

A.P.N. 119-021-955
CONTRA COSTA COUNTY
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
P.C.E. No. 36521 | DPOPR 9-30-01
DATE: _____
DESIGN: KRA
JOB NO: 740
DRAWN: KRASMBLML
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-3
					11



LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- - - - - SITE BOUNDARY
- ZONING BOUNDARY



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 CORRECTION OF MAP AND OTHER
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 Environmental Engineering
 SWPPP Monitoring & Reporting



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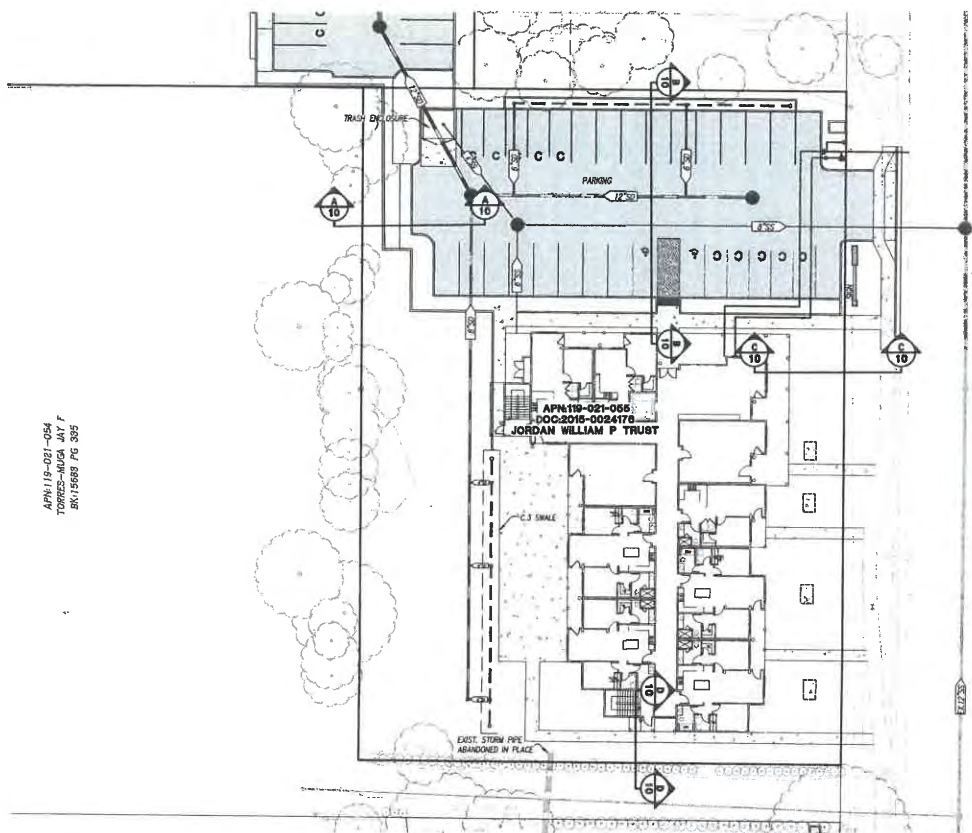
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
ZONING EXHIBIT
 CONTRA COSTA COUNTY

A.P.N. 119-021-055
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 LICENSE NO. 26171 - SPP/PEB 9-00-01
 DATE: _____
 DESIGN: KRA
 DRAWN: KRASHMSJML
 CHECKED: MEM
 JOB NO. 740
 DATE: OCTOBER 2019
 SCALE: AS SHOWN

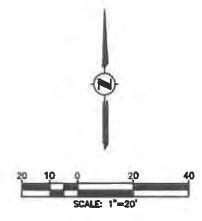


NO.	REVISIONS	BY	APP	DATE	SHEET
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					11
					OF SHEETS



APN 119-021-054
 TORRES-ADUCA -AY F
 SK 15683 PG 395

APN 119-021-055
 DOC 2015-0024178
 JORDAN WILLIAM P TRUST



MARSH CREEK ROAD

STRANAHAN CIRCLE

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 Web: www.milaniassociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

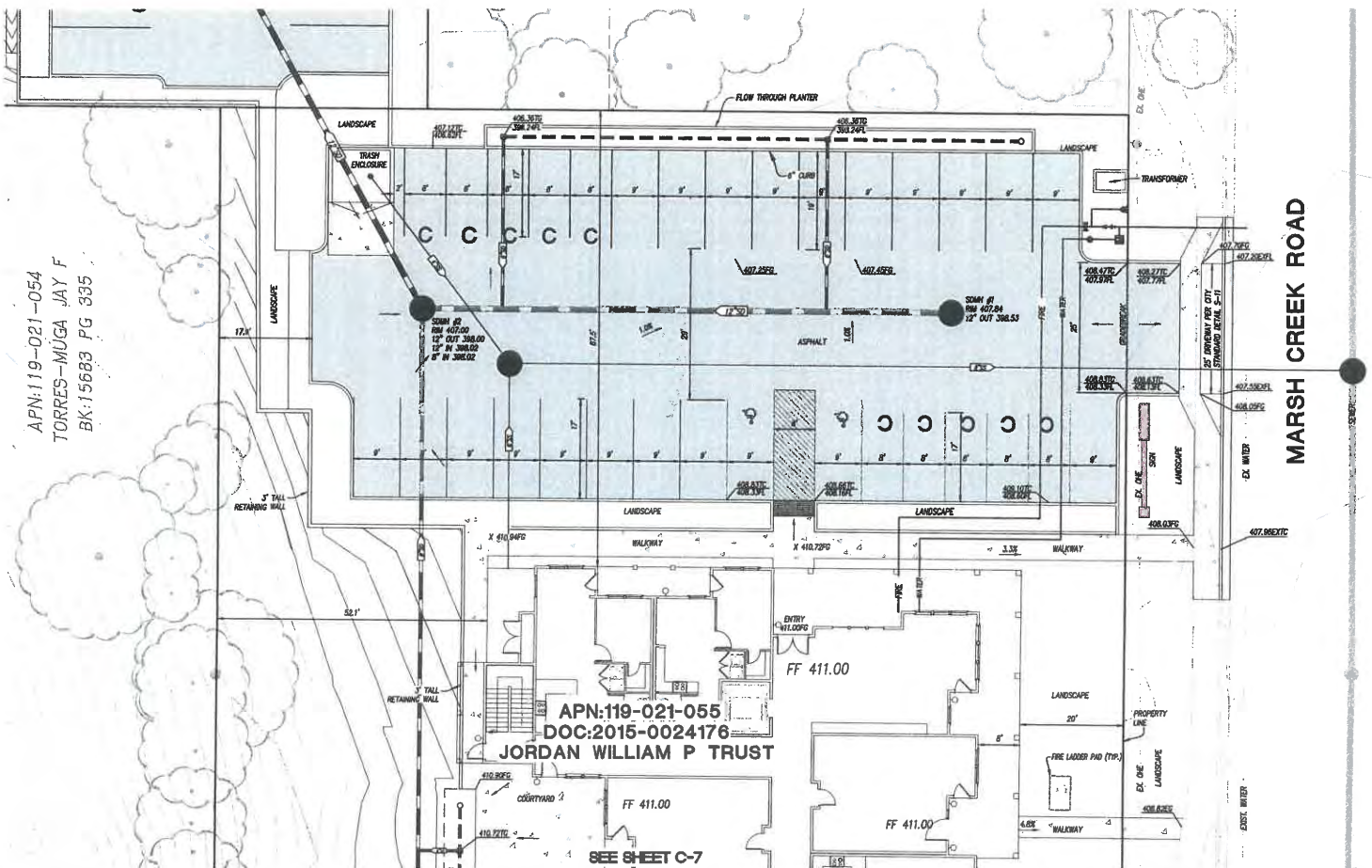
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
OVERALL SITE PLAN
 CONTRA COSTA COUNTY

A.P.M. 119-021-055
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 36761 EXP. 09-30-21
 DATE: _____
 DESIGN: KRA
 JOB NO: 740
 DRAWN: KRASMSJLM
 DATE: OCTOBER 2019
 CHECKED: MEM
 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-5
					11
					SHEETS



APN:119-021-054
 TORRES-MUGA JAY F
 BK:15683 PG 335

APN:119-021-055
 DOC:2015-002476
 JORDAN WILLIAM P TRUST

SEE SHEET C-7



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 AGENCY/CITY APPROVAL OF MAP

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 Municipal Engineering
 Construction Staging
 Environmental Engineering
 SWPPP Monitoring & Reporting



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 Concord, CA 94520
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 Fax: (925) 674-9279
 Web: www.milaniasociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SITE PLAN

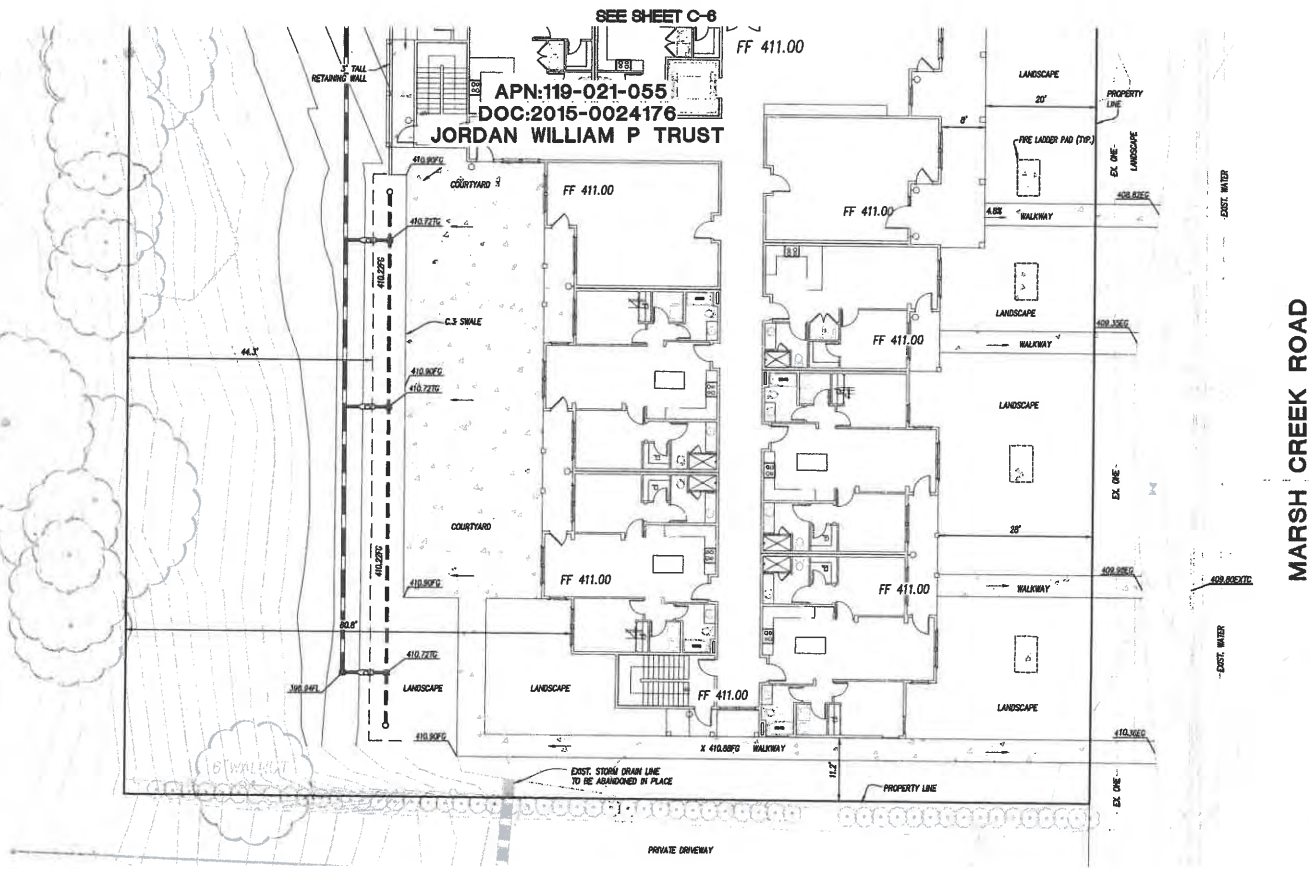
A.P.N. 119-021-055
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.C.E. No. 38121 - EXPIRES 0-30-21
 DATE: _____
 DESIGN: KRA
 JOB NO: 740
 DRAWN: KRA/MSJ/MJL
 DATE: OCTOBER 2019
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 SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-6
					11
					SHEETS

APN:119-021-054
 TORRES-MUGA JAY F
 BK:15663 PG 335



SEE SHEET C-6

APN:119-021-055
 DOC:2015-0024176
 JORDAN WILLIAM P TRUST

MARSH CREEK ROAD



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 AND/OR FINAL APPROVAL OF MAP

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 Environmental Engineering
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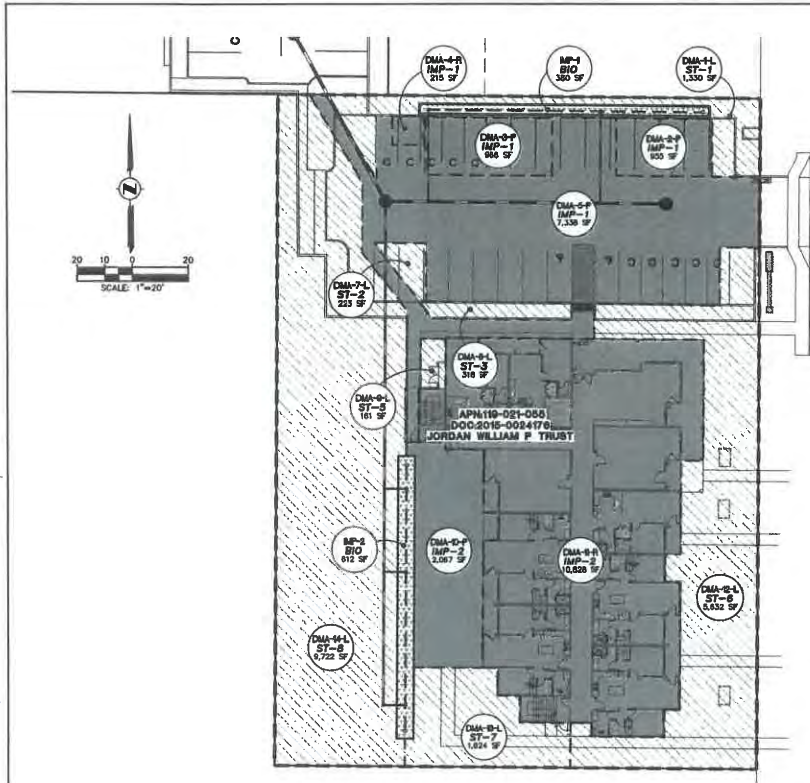
JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SITE PLAN
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

A.P.N. 119-021-055

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 36827 - EXPIRES 9-30-21
 DATE: _____
 DESIGNER: MPA
 JOB NO: 740
 DRAWN: KRASMSJLM
 DATE: OCTOBER 2019
 SCALE: AS SHOWN
 CHECKED: MEM



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-7
					11
					SHEETS



Project Name: Clayton Senior Housing North Site 2
 Project Type: Treatment Only
 APN: 119-021-055
 Drainage Area: 42,361
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	1,200.0
DMA7	223.0
DMA8	318.0
DMA9	118.0
DMA12	5,832.0
DMA13	1,824.0
DMA14	9,722.0

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Flow-Through Planter
 Soil Group: IMP1

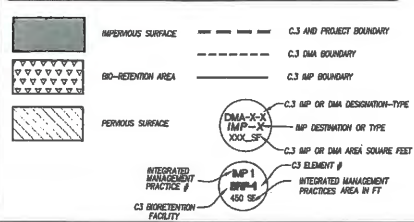
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA2	955	Concrete or Asphalt	1.00	955					
DMA3	955	Concrete or Asphalt	1.00	955					
DMA4	215	Conventional Roof	1.00	215					
DMA5	7,339	Concrete or Asphalt	1.00	7,339					
Total				9,474					
Area					0.040	1.000		376	380

IMP Name: IMP2
 IMP Type: Bioretention Facility
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	IMP Sizing	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA10	2,087	Concrete or Asphalt	1.00	2,087					
DMA11	10,828	Conventional Roof	1.00	10,828					
Total				12,915					
Area					0.040	1.000		518	612

Report generated on 1/8/2019 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).

LEGEND



NOTES:

1. SITE HYDROLOGIC SOIL TYPE: D
2. GROUNDWATER ENCOUNTERED AT A DEPTH OF 11 TO 24 FEET.
3. CONTRACTOR SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM TYP ADDITION.

ABBREVIATIONS:

- BRF BIODEGRADATION FACILITY
- CAP CAPACITY
- EX EXISTING
- DMA DRAINAGE MANAGEMENT AREA
- F/C FACE OF CURB
- ISO ISO RETENTION
- IMP INTEGRATED MANAGEMENT PRACTICES
- L LANDSCAPE
- NOT A PART, AREA EXCLUDED FROM C.3 REQUIREMENTS
- I IMP
- IMP IMP
- P PAVEMENT
- PL PLANTER
- R ROOF
- R/W RIGHT OF WAY
- SF SQUARE FEET
- SR SELF TREATING
- ST SELF TREATING
- S/W SENSIBLE
- U UNTREATED

IMPERVIOUS AREAS:

- SITE #
- EXISTING LOT SIZE 42,361 SQFT
- EXISTING IMPERVIOUS AREA 5,438 SQFT
- PROPOSED IMPERVIOUS AREA 22,370 SQFT
- NET INCREASE OF IMPERVIOUS AREA 16,934 SQFT

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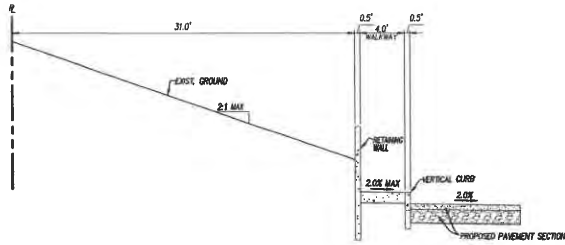
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
C.3 COMPLIANCE EXHIBIT

A.P.N. 119-021-055
 CALIFORNIA

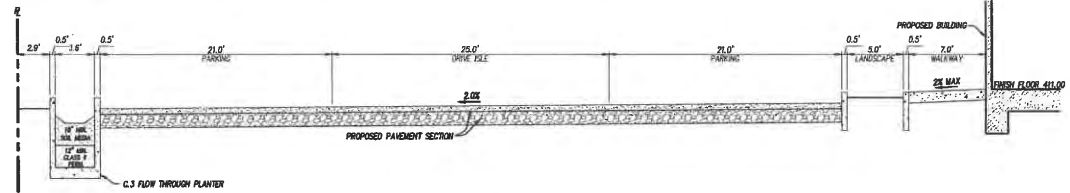
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 REG. NO. 30101 - 8/26/19-9-20-21 DATE
 DESIGNER: KRA
 JOB NO: 740
 DRAWN: KRASMBJML
 DATE: OCTOBER 2019
 CHECKED: MEM
 SCALE: AS SHOWN



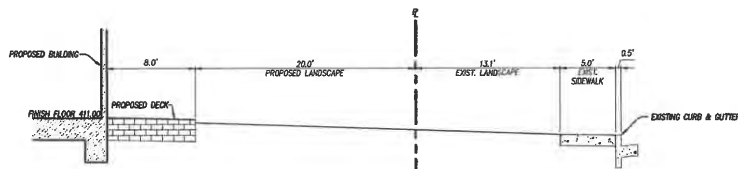
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					11
					SHEETS



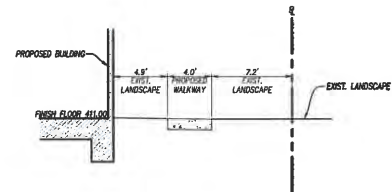
SECTION A
HORIZ: 1"=3'
VERT: 1"=2.5'



SECTION B
HORIZ: 1"=3'
VERT: 1"=2.5'



SECTION C
HORIZ: 1"=3'
VERT: 1"=2.5'



SECTION D
HORIZ: 1"=3'
VERT: 1"=2.5'

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THIS WORK IS TO BE REVIEWED UPON
COMPLETION OF SHOP AND GROUND
CONSTRUCTION APPROVAL OF MAP

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Fax: (925) 674-9279
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CITY OF CLAYTON

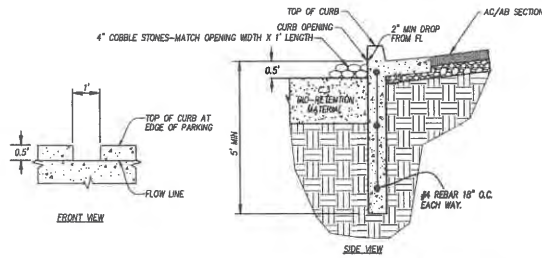
THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
SECTIONS
CONTRA COSTA COUNTY

A.P.N. 119-021-055
CALIFORNIA

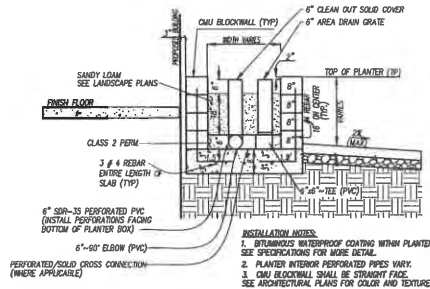
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
A.C.E. NO. 58151 EXP. 09-30-21
DATE: _____
DESIGN: KPA
JOB NO: 740
DRAWN: KRASMSLML
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN



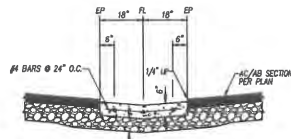
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					C-10
					11
					OF SHEETS



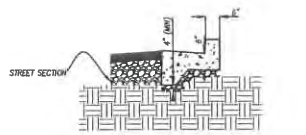
DEEPEMED CURB AT C3 BIO-RETENTION BASINS
NOT TO SCALE



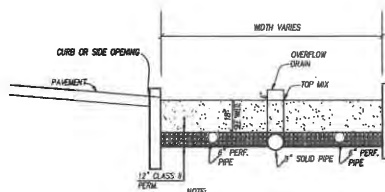
C3 PLANTER
NOT TO SCALE



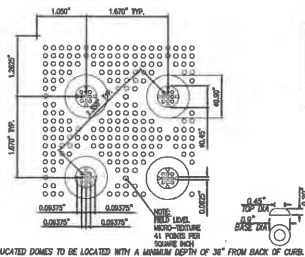
36" VALLEY GUTTER
NOT TO SCALE
NOTE: FL = EP - 0.12"



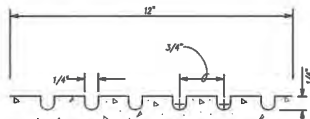
STANDARD 6" CURB & GUTTER
NOT TO SCALE
NOTE: BOTTOM OF CURB TURN DOWN SHALL BE AT THE SAME ELEVATION AS BOTTOM OF STREET BASE.



BIO-RETENTION FACILITY
NOT TO SCALE
NOTE: SIZE MAY VARY TO MEET REQUIREMENTS OF THE CONTRA COSTA COUNTY CLEAN WATER PROGRAM C.3 GUIDEBOOK, SIXTH EDITION, APPENDIX B.



RAISED TRUNCATED DOME DETAILS
NOT TO SCALE



ADA RAMP GROOVING DETAIL
NOT TO SCALE

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JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6450 MARSH CREEK ROAD
DETAILS

A.P.N. 119-021-055
CONTRA COSTA COUNTY
CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
P.E. No. 35127
DESIGN: KPA
DRAWN: KRA/SBAJML
CHECKED: MEM

DATE: _____
JOB NO: T40
DATE: OCTOBER 2019
SCALE: AS SHOWN

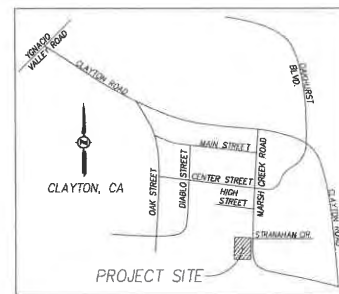


NO.	REVISIONS	BY	APP	DATE	SHEET
					C-11
					11

SITE PLAN

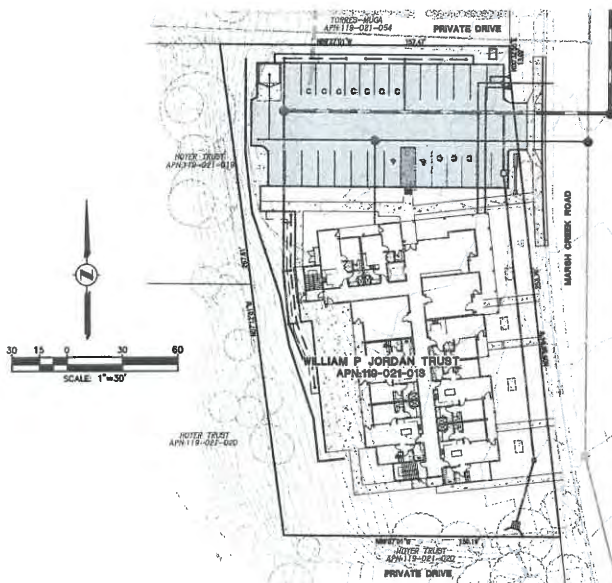
THE OLIVIA ON MARSH CREEK

6490 MARSH CREEK ROAD CITY OF CLAYTON, CONTRA COSTA COUNTY, CALIFORNIA



VICINITY MAP
N.T.S.

SHEET INDEX	
SHEET NUMBER	DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE CONDITIONS
C-3	DEMOLITION AND TREE REMOVAL PLAN
C-4	ZONING MAP
C-5	OVERALL SITE PLAN
C-6	SITE PLAN-NORTH
C-7	SITE PLAN-SOUTH
C-8	C.S EXHIBIT
C-9	CLEAN BAY BLUE PRINT
C-10	SECTIONS
C-11	DETAILS



GENERAL NOTES

- OWNER/DEVELOPER**
WILLIAM P. JORDAN TRUST
6590 MARSH CREEK ROAD
CLAYTON, CA 94517
PHONE: (925) 872-7249
- ARCHITECT**
DESIGN & DEVELOPMENT
6908 TELEGRAPH AVENUE, SUITE A
OAKLAND, CA 94609
PHONE: (510) 526-7230
CONTACT: JOHN NEWSON
- CIVIL ENGINEER**
MILANI AND ASSOCIATES
2055 STANWELL DRIVE, SUITE 105
CONCORD, CA 94520
PHONE: (925) 674-9279
CONTACT: KEN ALDOCK
- GEOTECHNICAL ENGINEER**
FRAN ASSOCIATES, INC.
8008 HIGHLAND STREET
SAN LEANDRO, CA 94577
PHONE: (510) 339-3350
CONTACT: ERIC FRANZ
- ARBORIST**
SBCA TREE CONSULTING
1504 RICE STREET
CROCKETT, CA 94525
PHONE: (510) 787-3025
CONTACT: STEVE BACHLEIDER
- SITE ADDRESS:** 6490 MARSH CREEK ROAD, CLAYTON, CA 94517
- ASSESSOR PARCEL NUMBER:** 119-021-013
- TOTAL SITE ACREAGE:** 0.83 AC (46,093 SF)
- C.P. DESIGNATION:** MND (15.1 TO 20 UNITS PER GROSS ACRE)
- EXISTING ZONING:** PD (PLANNED DEVELOPMENT)
- PROPOSED ZONING:** PD (PLANNED DEVELOPMENT)
- EXISTING USE:** SINGLE FAMILY RESIDENTIAL
- PROPOSED USE:** MULTI FAMILY RESIDENTIAL/APARTMENTS
- TOTAL NUMBER OF LOTS:** 1 LOT
- UTILITIES & SERVICES**
 - WATER: CONTRA COSTA WATER DISTRICT
 - SEWERAGE: CITY OF CONCORD
 - GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
 - TELEPHONE: AT&T
 - CABLE: COMCAST
 - POLICE: CITY OF CLAYTON
 - DRAINAGE: CONTRA COSTA COUNTY FLOOD CONTROL & CONSERVATION DISTRICT (DOCP/WRMS)

- NO PUBLIC AREAS ARE PROPOSED.
- FLOOD ZONE: "X" (OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLANE)
(PANEL 0309F DATED: 06/16/2009)
- LEGAL DESCRIPTION:**
PORTION OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 1 NORTH, RANGE 1 WEST, MOUNT Diablo BASE AND MERRIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING ON THE NORTH LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED FROM CLARENCE E. FRANK ET. UX., TO ALBERT C. RASMUSSEN, RECORDED APRIL 8, 1929, IN BOOK 173 OF OFFICIAL RECORDS, PAGE 437, AT THE EASTERLY LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED TO ROBERT WILLIAM JORDAN, ET. UX., RECORDED APRIL 10, 1938, IN BOOK 2742 OF OFFICIAL RECORDS AT PAGE 125; THENCE FROM SAID POINT OF BEGINNING ALONG THE EXTERIOR LINES OF SAID DEED (2742 OR TP) AS FOLLOWS: SOUTH 74°45' EAST 302.81 FEET AND EAST 128.19 FEET TO THE EASTERLY LINE OF SAID DEED (173 OR 07); THENCE ALSO THE EASTERLY LINE OF MARSH CREEK ROAD; THENCE ALONG THE LAST NAMED LINE NORTHERLY TO THE NORTH LINE OF SAID DEED (173 OR 437); THENCE ALONG THE LAST NAMED LINE WEST; 157.47 FEET TO THE POINT OF BEGINNING.
- EXISTING CONDITIONS BASED ON FIELD TOPOGRAPHIC SURVEY BY MILANI & ASSOCIATES COMPLETED MAY, 2014.

BASES OF BEARINGS:

FOUND TWO 3/4" IRON PIPES AS SHOWN ON OS L&M 37, TAKEN AS INDICATED.

BENCHMARK:

FOUND BRASS DISK STAMPED
"77 26 LS 9272 1907" AT THE ENTRANCE TO CLAYTON CITY OFFICES AT THE TOP OF A CATCH BASIN ON CLAYTON ROAD.
ELEVATION TAKEN AS 412.80 (NAD83) PROJECT BASED ON 1988 DATUM.
ELEVATION TAKEN AS 410.208 (NAD 1929)

RECEIVED
OCT 14 2019
CITY OF CLAYTON
COMMUNITY DEVELOPMENT DEPT.

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ABBREVIATIONS			
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
ACP	ASSISTED CEMENT PIPE	AW	MINIMUM
AD	AREA DRAIN	N/A	NOT APPLICABLE
AP	ANGLE POINT	CG	ORIGINAL GROUND
BC	BEAM CURVE	O&L	OVERHEAD UTILITY
BF	BOTTOM OF FOOTING	P&V	PANEMENT
BO	BLOW OFF	POC	POINT OF COMPOUND CURVE
BVC	BEAM VERTICAL CURVE	PPFP	PERFORMED PIPE
BW	BANK OF WALK	POC	POINT OF CURVE
CL	CENTRALISE	PRC	POINT OF REVERSE CURVATURE
CG	CONCRETE	PP	POLYETHYLENE CHLORIDE
DE	DECOMPOSED GRANITE	PRC	POINT OF REVERSE CURVATURE
DIV	DIVERSION	PM	POINT OF VERTICAL INTERSECTION
END	END OF CURVE	R	RADIUS
ELEV	ELEVATION	RSP	REINFORCED CONCRETE PIPE
ENC	END OF VERTICAL CURVE	RET	RETURN (CURS)
EW	END WALL	RSR	RISER
EX	EXISTING	RT	RIGHT
FF	FRESH FLOOR	RW	RIGHT OF WAY
FD	FRESH DRIVE	S	SLOPE
FW	FIRE WYHOSE	SD	STORM DRAIN
FL	FLOW LINE	SO	SIDE OPENING
FSO	FLOW LINE SIDE OPENING	SS	SANITARY SEWER
FW	FIRE WATER MAIN	SSCO	SANITARY SEWER CLEAN OUT
GB	GRADE BREAK	SSCM	SANITARY SEWER MANHOLE
GF	GARAGE FINISH FLOOR	SSW	SIDEWALK
GL	GARAGE LIP	TC	TOP OF CURB
GR	GRADE	TDC	TOP OF DEPRESSION CURB
HDP	HIGH-DENSITY POLYETHYLENE	TPC	TOP OF FLUSH CURB
HP	HIGH POINT	TP	TOP OF PAVEMENT
HV	HANDY	TS	TOP OF SLAB
LAT	LATERAL	TW	TOP OF WALL
LT	LEFT	WCF	WETTED CLAY PIPE
		ULL	UNDERGROUND UTILITY
		W	WATER MAIN OR WATER SERVICE
		WM	WATER METER

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Web: www.milaniasociates.com

JORDAN PROPERTY

THE OLIVIA ON MARSH CREEK

6490 MARSH CREEK ROAD

COVER SHEET

CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

A.P.M. 119-021-013

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
FILE NO. 18101 SEP/18 9-30-21

DESIGN: KRA JOB NO: 740

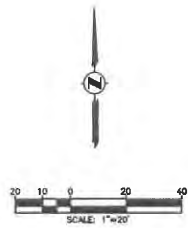
DRAWN: KRA/MJM/ML DATE: OCTOBER 2019

CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP.	DATE	SHEET
					C-1
					11
					SHEETS

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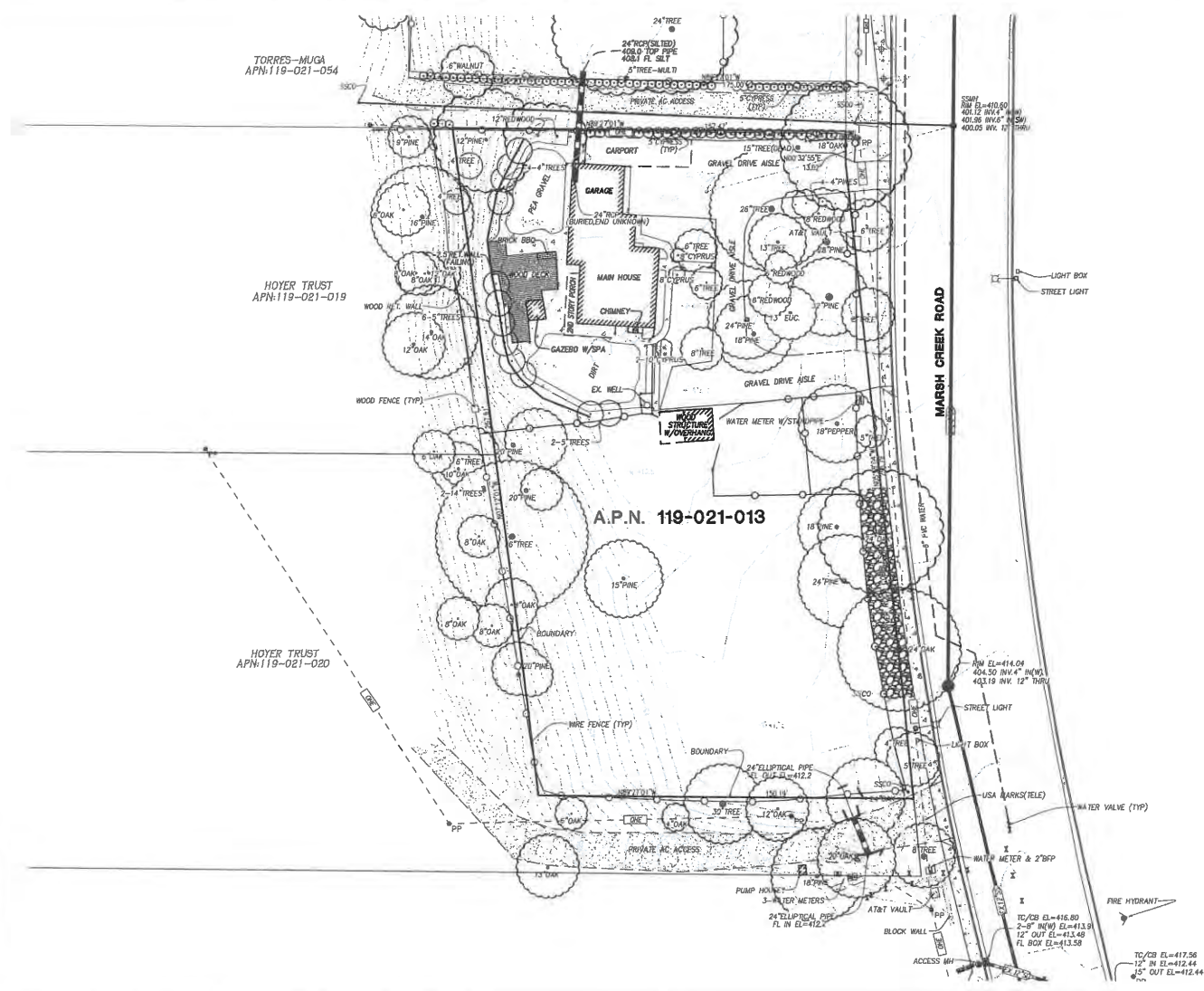
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
EXISTING SITE CONDITIONS

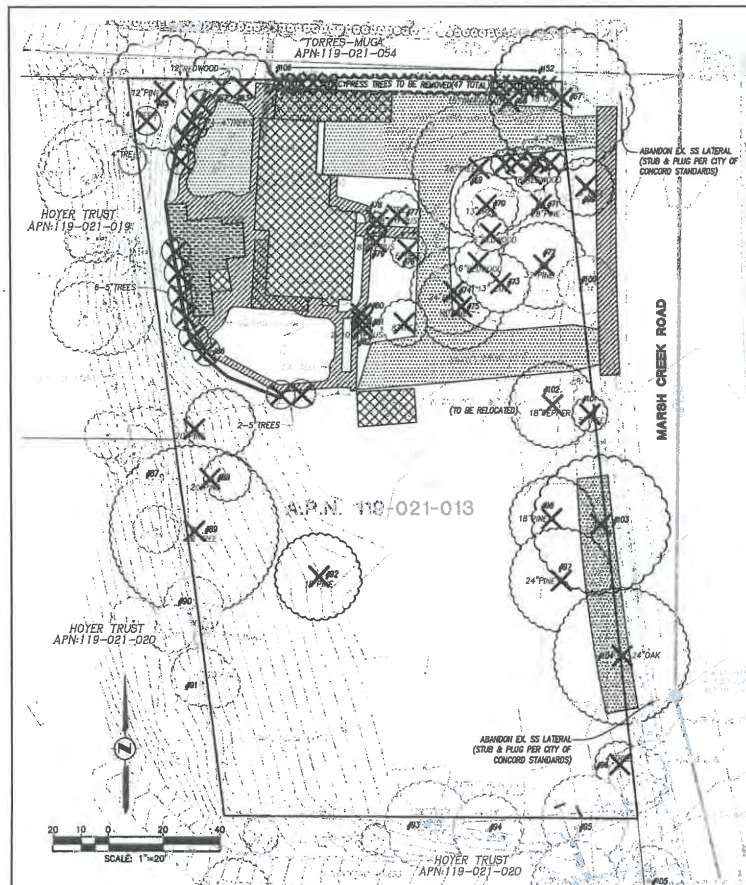
A.P.N. 119-021-013
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. NEJARI
 P.C.E. No. 50711 EXP. 09-30-21 DATE
 DESIGN: KRA JOB NO: 740
 DRAWN: KRA/SMS/LML DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



NO.	REVISIONS	BY	APP	DATE	SHEET
					C-2
					11
					SHEETS





TREE REMOVAL NOTES:

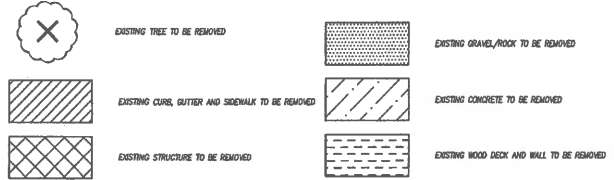
#	Common Name	Scientific Name	DBH	HT	CV	Q	R	Y	W	Notes
* 67	Quercus lobata	Valley Oak	13.5	30	45	0	0	0	0	OH, High voltage power line
* 68	Asplenium nidus	California Black Walnut	17.5	25	25	0	0	0	0	Seed, Nearroad
* 69	Robinia pseudoacacia	Black Locust	24.5	50	50	0	0	0	0	COE # 2
* 70	Biologium perfoliatum	Shower Dollar Gum	18.0	05	40	0	0	0	0	
* 71	Pinus attenuata	Aliso Pine	28	70	55	0	0	0	0	Lean, COE
* 72	Pinus jeffreyi	Aliso Pine	22.5	70	55	0	0	0	0	CO
* 73	Fraxinus velutina	Red Iron Bark	11	25	20	0	0	0	0	PP
* 74	Pinus radiata	Monterey Pine	21	60	50	0	0	0	0	Nois tree
* 75	Pinus jeffreyi	Italian Stone Pine	15	10	50	0	0	0	0	Lean, Large pruning cuts
* 76	Pinus radiata	Monterey Pine	7	20	15	0	0	0	0	Crack, Oldback
* 77	Pinus contorta	Purple Leaf Plym	8	25	20	0	0	0	0	COE
* 78	Quercus agrifolia	Italian Cypress	9	40	5	0	0	0	0	
* 79	Quercus agrifolia	Italian Cypress	9	40	5	0	0	0	0	
* 80	Quercus agrifolia	Italian Cypress	7.5	35	5	0	0	0	0	Crowded
* 81	Quercus agrifolia	Italian Cypress	6.5, 8.0	20	5	0	0	0	0	Crowded
* 82	Quercus agrifolia	Italian Cypress	8.5	40	5	0	0	0	0	Crowded
* 83	Quercus agrifolia	Coast Redwood	14	30	15	0	0	0	0	Toppled, Not suitable for under powerlines
* 84	Quercus agrifolia	Coast Redwood	12.5	30	15	0	0	0	0	Toppled, Not suitable for under powerlines
* 85	Pinus radiata	Monterey Pine	22.5	45	30	0	0	0	0	Diblock
* 86	Milvium sp.	Apple	8, 8.3	15	15	0	0	0	0	
* 87	Fraxinus velutina	Red Iron Bark	13, 13	40	40	0	0	0	0	OH, use a stem gate, On property line
* 88	Pinus radiata	Monterey Pine	35	80	50	0	0	0	0	Significant lean, Large trunk wounds
* 89	Agave sp.	English Yucca	29	75	45	0	0	0	0	MUL, Large trunk wounds, On property line
* 90	Quercus agrifolia	Blue Oak	7	30	15	0	0	0	0	On property line, OH, girdled trunk
* 91	Quercus agrifolia	Alliance Cypress	8	25	20	0	0	0	0	On property line, Fallen over, Large pruning wounds
* 92	Pinus radiata	Monterey Pine	13	25	25	0	0	0	0	Large trunk wound, Lean, Strained
* 93	Populus fremontii	Fremont Poplar	27	50	30	0	0	0	0	On adjacent property, Healed, OH, High voltage power line
* 94	Quercus lobata	Valley Oak	10.5	25	25	0	0	0	0	On adjacent property, High voltage power line
* 95	Quercus lobata	Valley Oak	5, 15.5	55	50	0	0	0	0	On property line, Nois tree
* 96	Milvium sp.	Tree of Heaven	6	30	20	0	0	0	0	Ht. In place
* 97	Pinus radiata	Monterey Pine	20.5	60	30	0	0	0	0	Strained
* 98	Pinus radiata	Monterey Pine	16.5	30	25	0	0	0	0	In canopy of oak
* 99	Pinus sabiniana	Chinese Pistache	6	25	30	0	0	0	0	Street tree
* 100	Pinus sabiniana	Chinese Pistache	7.5	23	30	0	0	0	0	Street tree
* 101	Pinus sabiniana	Chinese Pistache	5	25	30	0	0	0	0	Street tree
* 102	Sida hibernica	W'low	18	10	10	0	0	0	0	Healed
* 103	Quercus lobata	Valley Oak	24.5	60	45	0	0	0	0	Street tree, High voltage power line, but pruning area ok, Lean
* 104	Quercus douglasii	Blue Oak	24.5	25	50	0	0	0	0	Street tree, High voltage power line
* 105	Pinus sabiniana	Chinese Pistache	4.5	25	20	0	0	0	0	Street tree, Lean

* TO BE REMOVED
** PROTECTED TREE TO BE REMOVED

* 106	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
* 107	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
* 108	Quercus agrifolia	Italian Cypress	4	25	2	0	0	0	0	North property line row
* 109	Quercus agrifolia	Italian Cypress	4	20	2	0	0	0	0	North property line row
* 110	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
* 111	Quercus agrifolia	Italian Cypress	4.5	20	2	0	0	0	0	North property line row
* 112	Quercus agrifolia	Italian Cypress	4.5	20	2	0	0	0	0	North property line row
* 113	Quercus agrifolia	Italian Cypress	4	25	2	0	0	0	0	North property line row
* 114	Quercus agrifolia	Italian Cypress	3	20	2	0	0	0	0	North property line row
* 115	Quercus agrifolia	Italian Cypress	4	20	2	0	0	0	0	North property line row
* 116	Quercus agrifolia	Italian Cypress	4	20	2	0	0	0	0	North property line row
* 117	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
* 118	Quercus agrifolia	Italian Cypress	4	20	2	0	0	0	0	North property line row
* 119	Quercus agrifolia	Italian Cypress	4.5	20	2	0	0	0	0	North property line row
* 120	Quercus agrifolia	Italian Cypress	4	25	2	0	0	0	0	North property line row
* 121	Quercus agrifolia	Italian Cypress	5	25	2	0	0	0	0	North property line row
* 122	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
* 123	Quercus agrifolia	Italian Cypress	6	25	2	0	0	0	0	North property line row
* 124	Quercus agrifolia	Italian Cypress	6.5	25	2	0	0	0	0	North property line row
* 125	Quercus agrifolia	Italian Cypress	5.5	25	2	0	0	0	0	North property line row
* 126	Quercus agrifolia	Italian Cypress	5	25	2	0	0	0	0	North property line row
* 127	Quercus agrifolia	Italian Cypress	4	25	2	0	0	0	0	North property line row
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* 129	Quercus agrifolia	Italian Cypress	6.5	25	2	0	0	0	0	North property line row
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* 131	Quercus agrifolia	Italian Cypress	5.5	25	2	0	0	0	0	North property line row
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* 133	Quercus agrifolia	Italian Cypress	4, 4.5	25	2	0	0	0	0	North property line row
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* 135	Quercus agrifolia	Italian Cypress	6.5	25	2	0	0	0	0	North property line row
* 136	Quercus agrifolia	Italian Cypress	5	25	2	0	0	0	0	North property line row
* 137	Quercus agrifolia	Italian Cypress	4, 5	25	2	0	0	0	0	North property line row
* 138	Quercus agrifolia	Italian Cypress	6.5	25	2	0	0	0	0	North property line row
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* 142	Quercus agrifolia	Italian Cypress	7	25	2	0	0	0	0	North property line row
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* 144	Quercus agrifolia	Italian Cypress	6	25	2	0	0	0	0	North property line row
* 145	Quercus agrifolia	Italian Cypress	4.5	25	2	0	0	0	0	North property line row
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* 150	Quercus agrifolia	Italian Cypress	5	25	2	0	0	0	0	North property line row
* 151	Quercus agrifolia	Italian Cypress	5	25	2	0	0	0	0	North property line row
* 152	Quercus agrifolia	Italian Cypress	6	25	2	0	0	0	0	North property line row

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DEMOLITION LEGEND



DEMOLITION QUANTITIES	
STRUCTURE REMOVAL	2,800 SF
CONCRETE REMOVAL	1,750 SF
GRAVEL/ROCK REMOVAL	5,450 SF
EXISTING CURB, GUTTER & SIDEWALK REMOVAL	680 SF
WOOD DECKING REMOVAL	570 SF
WOOD RETAINING WALL REMOVAL	400 SF
TREE REMOVAL	77 TOTAL

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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
DEMOLITION & TREE REMOVAL PLAN

CITY OF CLAYTON
CONTRA COSTA COUNTY
CALIFORNIA

A.P.N. 119-021-013
DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
R.C.D. No. 94121, Stamp# 9-30-21

DATE: _____
JOB NO: 740
DATE: OCTOBER 2019
SCALE: AS SHOWN

NO.	REVISIONS	BY	APP	DATE	SHEET
7	ARBORIST REPORT ADDITION	KAM		10/4/2019	C-3

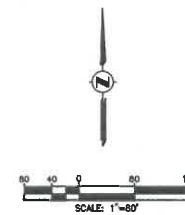


LEGEND AND ABBREVIATIONS

- HD SINGLE FAMILY HIGH DENSITY (PER GENERAL PLAN - 5.1 TO 7.5 UNITS PER GROSS ACRE)
- PU OPEN SPACE/RECREATIONAL (PER GENERAL PLAN)
- RD RURAL ESTATE (PER GENERAL PLAN - 0 TO 1 UNITS PER GROSS ACRE)
- PQ PUBLIC/QUASI PUBLIC (PER GENERAL PLAN)
- LD SINGLE FAMILY, LOW DENSITY (PER GENERAL PLAN - 1 TO 3 UNITS PER GROSS ACRE)
- TC TOWN CENTER (PER GENERAL PLAN)
- MLD MULTI FAMILY, LOW DENSITY (PER GENERAL PLAN - 7.6 TO 10 UNITS PER GROSS ACRE)
- MHD MULTI FAMILY, HIGH DENSITY (PER GENERAL PLAN - 15.1 TO 20 UNITS PER GROSS ACRE)

- PD PLANNED DEVELOPMENT
- PF PUBLIC FACILITY
- R-15 15,000 SF MIN. LOT SIZE
- R-40-H 40,000 SF MIN. LOT SIZE, HORSES ALLOWED
- L-C LIMITED COMMERCIAL

- - - - - SITE BOUNDARY
- ZONING BOUNDARY



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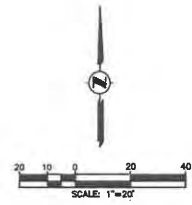
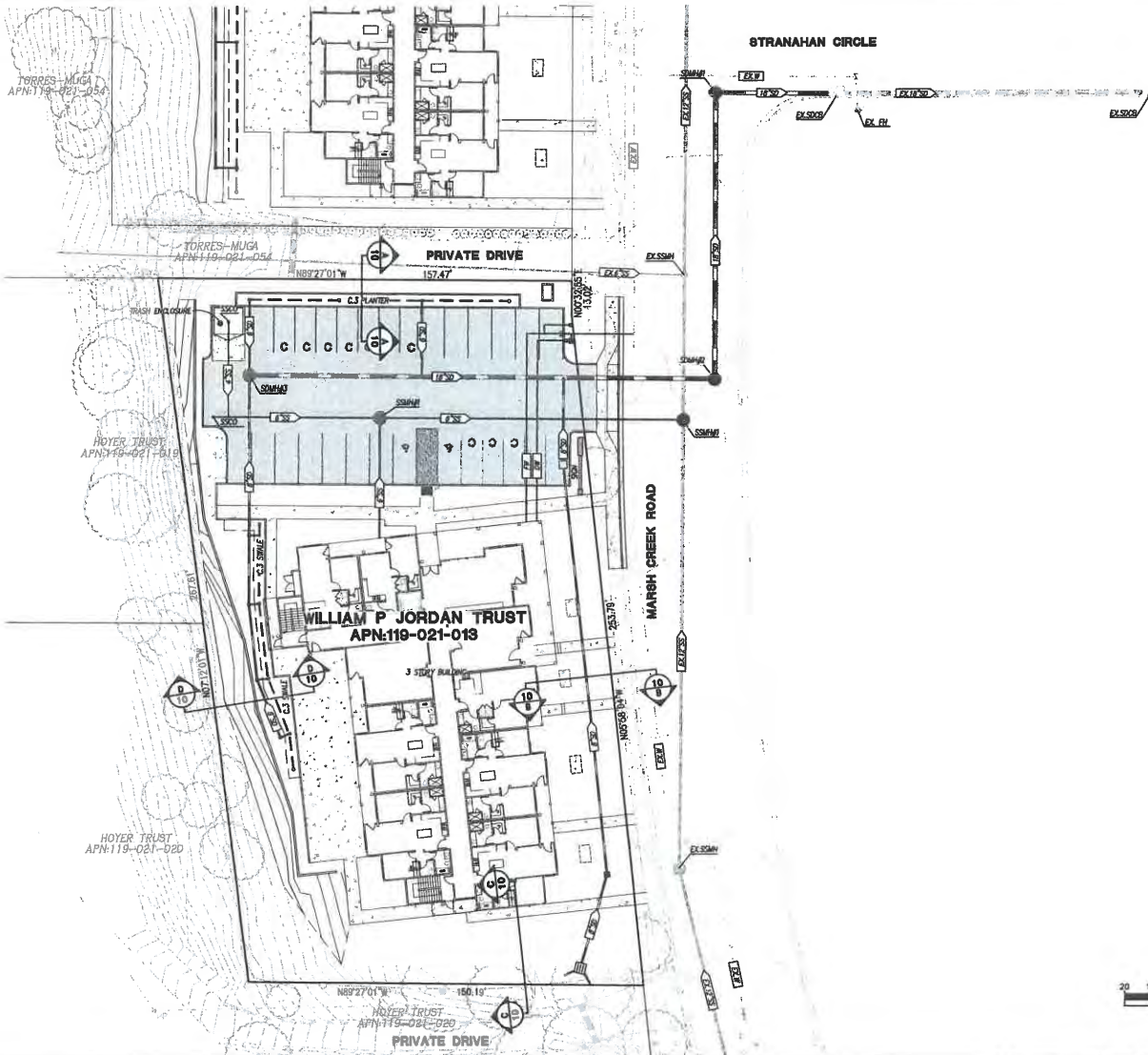
2655 Starwell Drive, Suite 105
 Concord, CA 94509
 Phone: (925) 674-6062
 Fax: (925) 674-9279
 Web: www.milaniassociates.com

JORDAN PROPERTY THE OLIVIA ON MARSH CREEK A.P.M. 119-021-013
6490 MARSH CREEK ROAD
ZONING EXHIBIT
 CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MEANE DATE
 P.C.E. No. 92117 EOPPER 9-30-01
 DESIGN: KRA JOB NO: 740
 DRAWN: KRASMBLML DATE: OCTOBER 2019
 CHECKED: MEM SCALE: AS SHOWN



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					C-4
					11
					OF SHEETS



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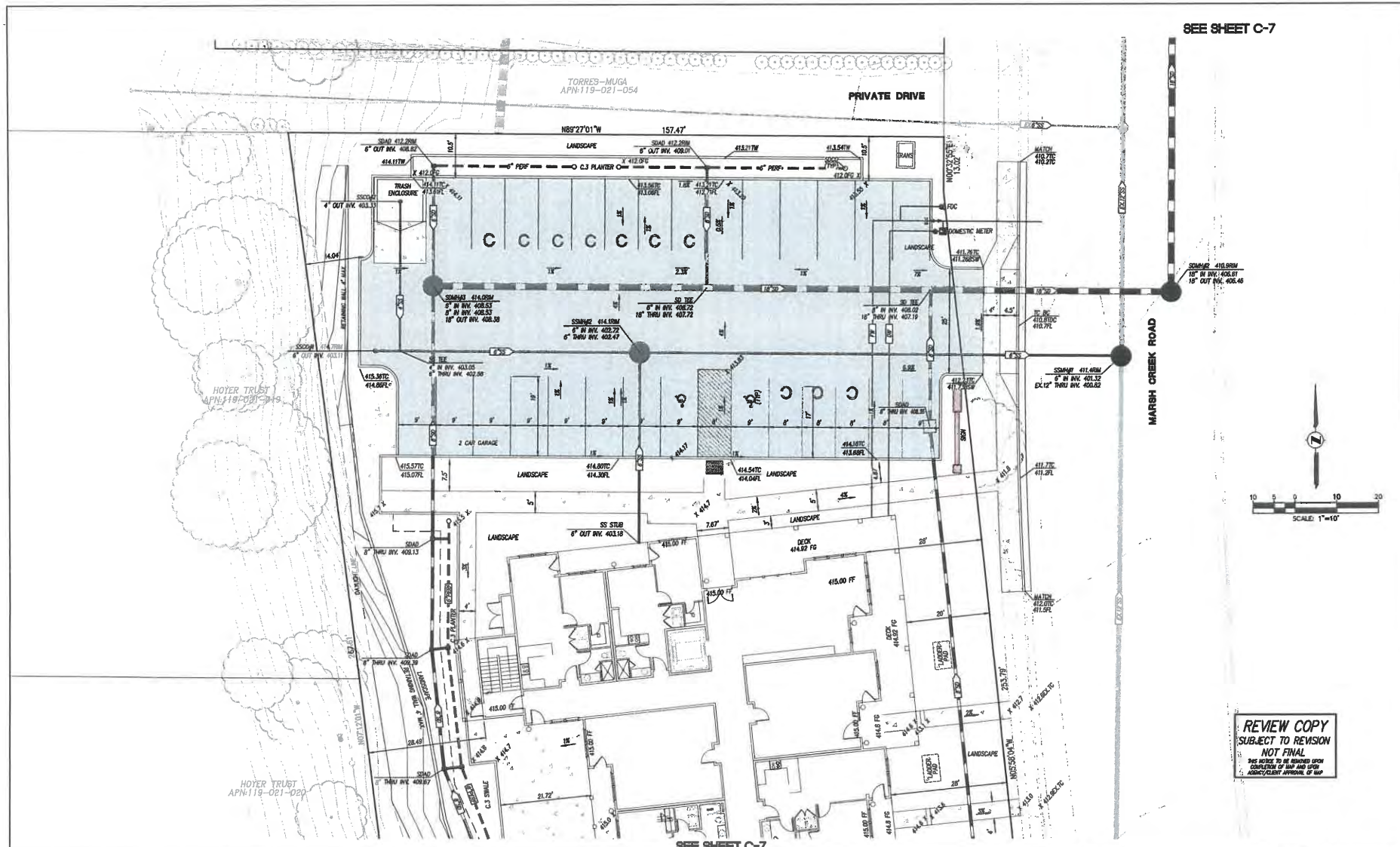
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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
OVERALL SITE PLAN
 A.P.N. 119-021-013
 CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.E. No. 30181 EXP. 09/30/21 DATE
 DESIGN: KRA JOB NO: 740
 DRAWN: KRASIMIR LML DATE: OCTOBER 2019
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					11



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JORDAN PROPERTY
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SITE PLAN-NORTH

A.P.N. 119-021-013

CITY OF CLAYTON
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MILANI
 REG. NO. 50787 EXP. 09-30-21

DATE: _____

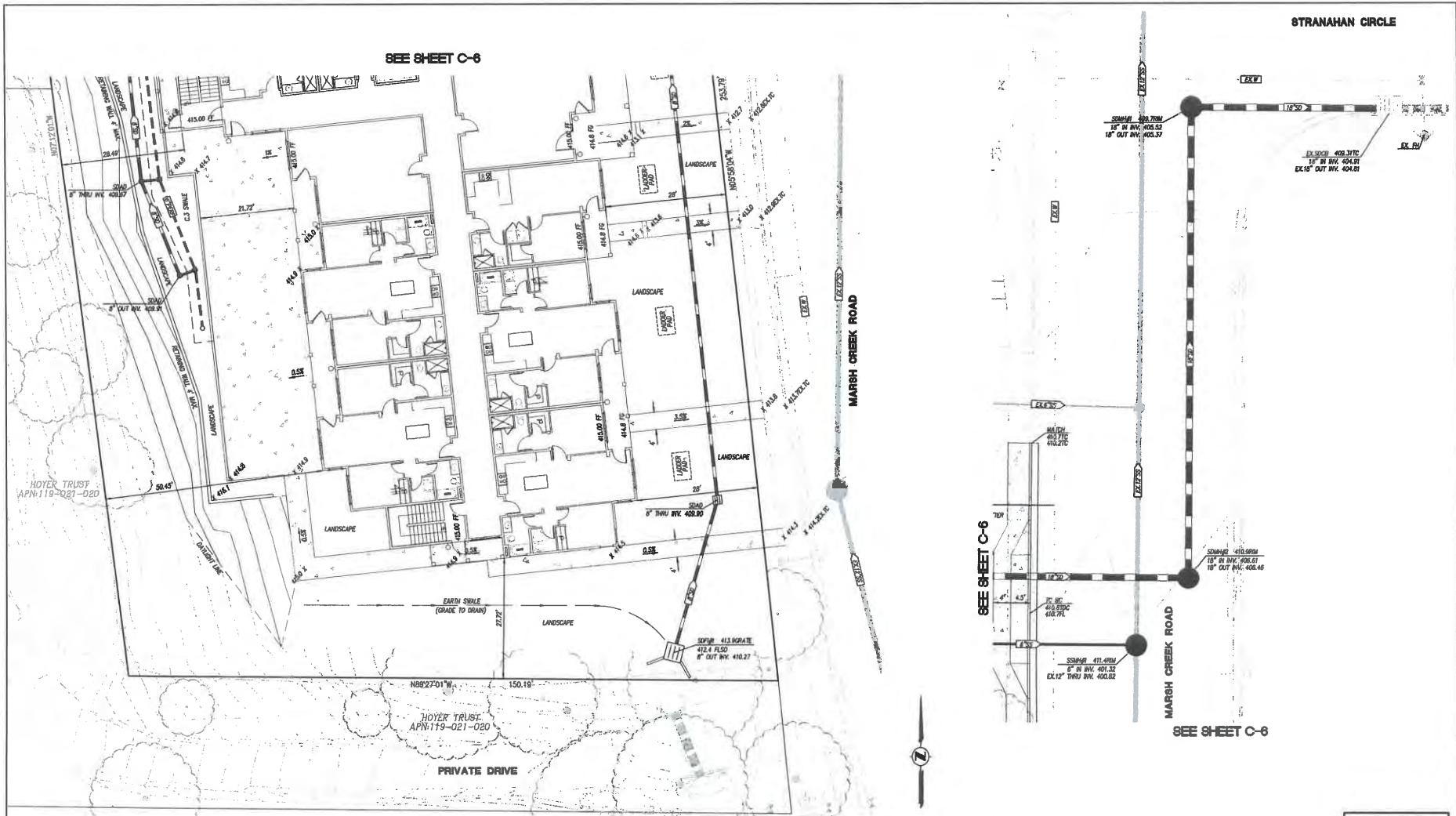
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 JOB NO: 740

DRAWN: KRASMS/LML
 DATE: OCTOBER 2019

CHECKED: MEM
 SCALE: AS SHOWN



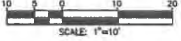
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SEE SHEET C-6

SEE SHEET C-6



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JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
SITE PLAN-SOUTH

CONTRA COSTA COUNTY
CALIFORNIA

A.P.N. 119-021-013

DESIGNED UNDER THE DIRECTION OF:

MICHAEL E. MELANI
REGISTERED PROFESSIONAL ENGINEER
No. 51121
Exp. 08/2025
STATE OF CALIFORNIA

DATE: _____
JOB NO. 740
DATE: OCTOBER 2019
SCALE: AS SHOWN

DESIGN: KRA
DRAWN: KRASMSLML
CHECKED: MEM

NO.	REVISIONS	BY	APP	DATE	SHEET
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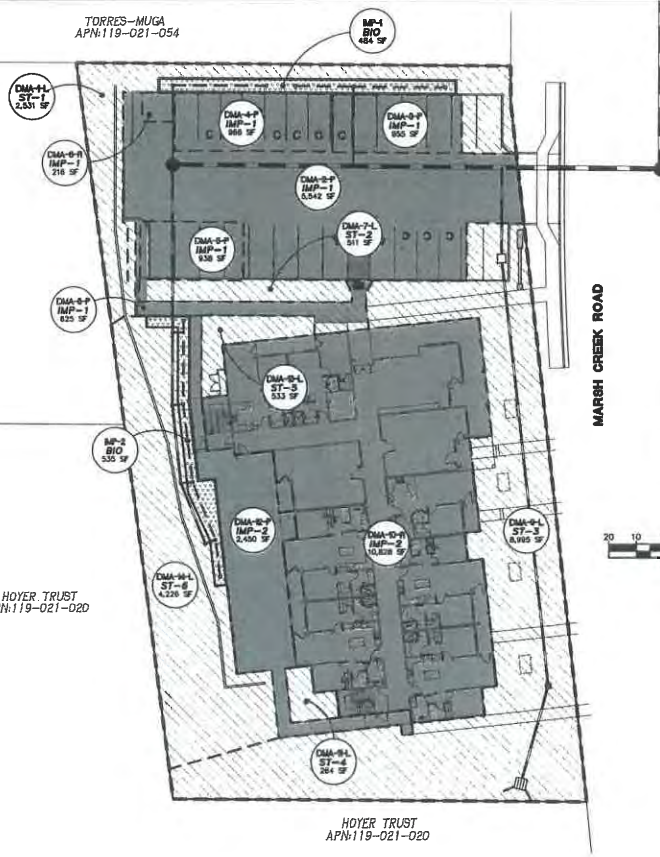
R:\Users\1740\OneNote\1740-Plan-3.dwg Site Plan C-7 10-04-19 03:14:47 PM Smeby@milani.com

TORRES-MUGA
APN:119-021-054

HOYER TRUST
APN:119-021-019

HOYER TRUST
APN:119-021-020

HOYER TRUST
APN:119-021-020



Project Name: Clayton Senior Housing North Site 3
 Project Type: Treatment Only
 APN: 119-021-019
 Drainage Area: 40,803
 Mean Annual Precipitation: 18.0

Self-Treating DMAs

DMA Name	Area (sq ft)
DMA1	2,351.0
DMA2	111.0
DMA3	8,668.0
DMA11	264.0
DMA15	833.0
DMA14	4,230.0

IV. Areas Draining to IMPs

IMP Name: IMP1
 IMP Type: Flow-Through Planter
 Soil Group: IMP1

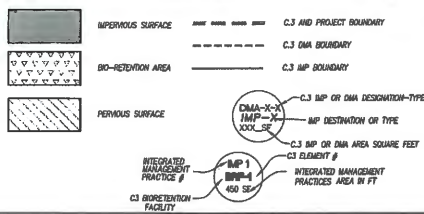
DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA2	5,542	Concrete or Asphalt	1.00	5,542				
DMA3	865	Concrete or Asphalt	1.00	865				
DMA4	968	Concrete or Asphalt	1.00	968				
DMA5	838	Concrete or Asphalt	1.00	838				
DMA5	218	Conventional Road	1.00	218				
DMA5	628	Concrete or Asphalt	1.00	628				
Total				9,242				
				Area	0.046	1.000	378	464

IMP Name: IMP2
 IMP Type: Bioretention Facility
 Soil Group: IMP2

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
DMA10	10,828	Conventional Road	1.00	10,828				
DMA12	2,450	Concrete or Asphalt	1.00	2,450				
Total				13,278				
				Area	0.046	1.000	531	635

Report generated on 8/29/2018 12:00:00 AM by the Contra Costa Clean Water Program IMP Sizing Tool software (version 1.3.1.0).

LEGEND



NOTES:

1. SITE HYDROLOGIC SOIL TYPE: D
2. GROUNDWATER ENCOUNTERED AT A DEPTH OF 11 TO 24 FEET
3. CONTRACTOR SHALL FOLLOW CONTRA COSTA COUNTY CLEAN WATER PROGRAM TYPICAL

ABBREVIATIONS:

- IMP BIoretention FACILITY CAPACITY
- EL EXISTING
- DMA DRAINAGE MANAGEMENT AREA
- F/C FACE OF CURB
- RD ROAD
- IMP INTEGRATED MANAGEMENT PRACTICES
- LANDSCAPE
- NOT A PART AREA EXCLUDED FROM C.J. REQUIREMENTS
- PAVEMENT
- PLANER
- R ROAD
- R/W RIGHT OF WAY
- SF SQUARE FEET
- SELF SELF TREATING
- ST STREET
- S/W SIDEWALK
- UNTREATED

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JORDAN PROPERTY
 CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
C.3 COMPLIANCE EXHIBIT

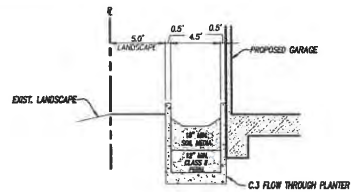
A.P.N. 119-021-013
 CONTRA COSTA COUNTY
 CALIFORNIA

DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.E. No. 3078 - ESRPES 6-20-01
 DATE: _____
 DESIGN: KRA
 DRAWN: KR/SMS/LML
 CHECKED: MEM
 JOB NO: 740
 DATE: OCTOBER 2019
 SCALE: AS SHOWN

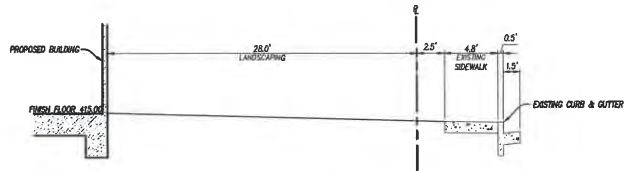


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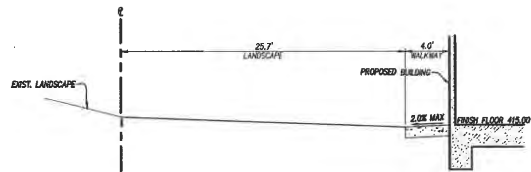
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 COMPLETION OF IMP AND LEAD
 AGENCIES APPROVAL OF IMP



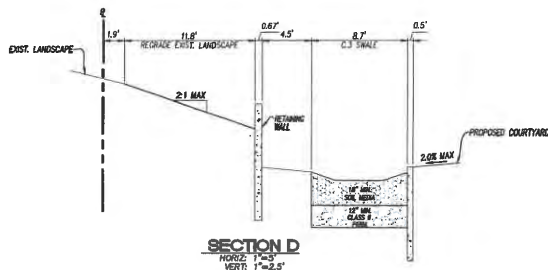
SECTION A
 HORIZ: 1"=3'
 VERT: 1"=2.5'



SECTION B
 HORIZ: 1"=3'
 VERT: 1"=2.5'



SECTION C
 HORIZ: 1"=3'
 VERT: 1"=2.5'



SECTION D
 HORIZ: 1"=3'
 VERT: 1"=2.5'

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 ASSOCIATED SHEETS APPROVAL OF LAW

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 Environmental Engineering
 SWPPP Monitoring & Reporting



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 Fax: (925) 674-9279
 Web: www.milaniassociates.com

JORDAN PROPERTY
 CITY OF CLAYTON

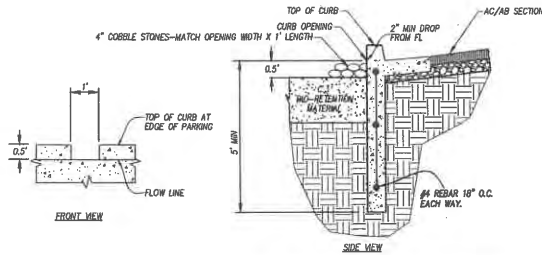
THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
 SECTIONS
 CONTRA COSTA COUNTY

A.P.N. 119-021-013
 CALIFORNIA

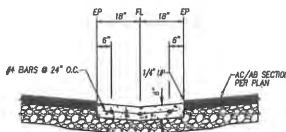
DESIGNED UNDER THE DIRECTION OF:
 MICHAEL E. MILANI
 P.C.E. NO. 58101 EXP 09/30-21 DATE
 DESIGN: KRA DATE: OCTOBER 2019
 DRAWN: KRA/SMB/LML SCALE: AS SHOWN
 CHECKED: MEM



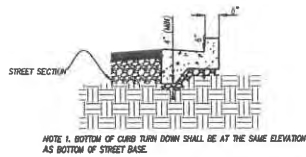
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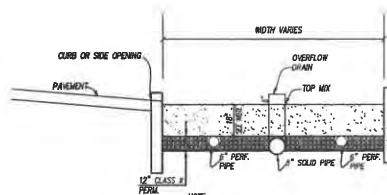
DEEPEMED CURB AT C3 BIO-RETENTION BASINS
NOT TO SCALE



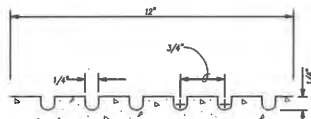
36" VALLEY GUTTER
NOT TO SCALE
NOTE: FL = EP - 0.12'



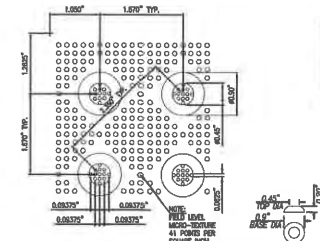
STANDARD 6" CURB & GUTTER
NOT TO SCALE



BIO-RETENTION FACILITY
NOT TO SCALE
NOTE: SOIL MIX SHALL MEET REQUIREMENTS OF THE CONTRA COSTA COUNTY CLEAN WATER PROGRAM C-3 GARDENBOOK, SIXTH EDITION, APPENDIX B.



ADA RAMP GROOVING DETAIL
NOT TO SCALE



RAISED TRUNCATED DOME DETAILS
NOT TO SCALE

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JORDAN PROPERTY
CITY OF CLAYTON

THE OLIVIA ON MARSH CREEK
6490 MARSH CREEK ROAD
DETAILS
CONTRA COSTA COUNTY

A.P.N. 119-021-013
CALIFORNIA

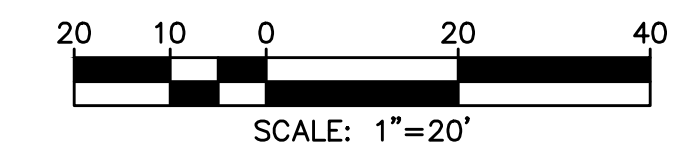
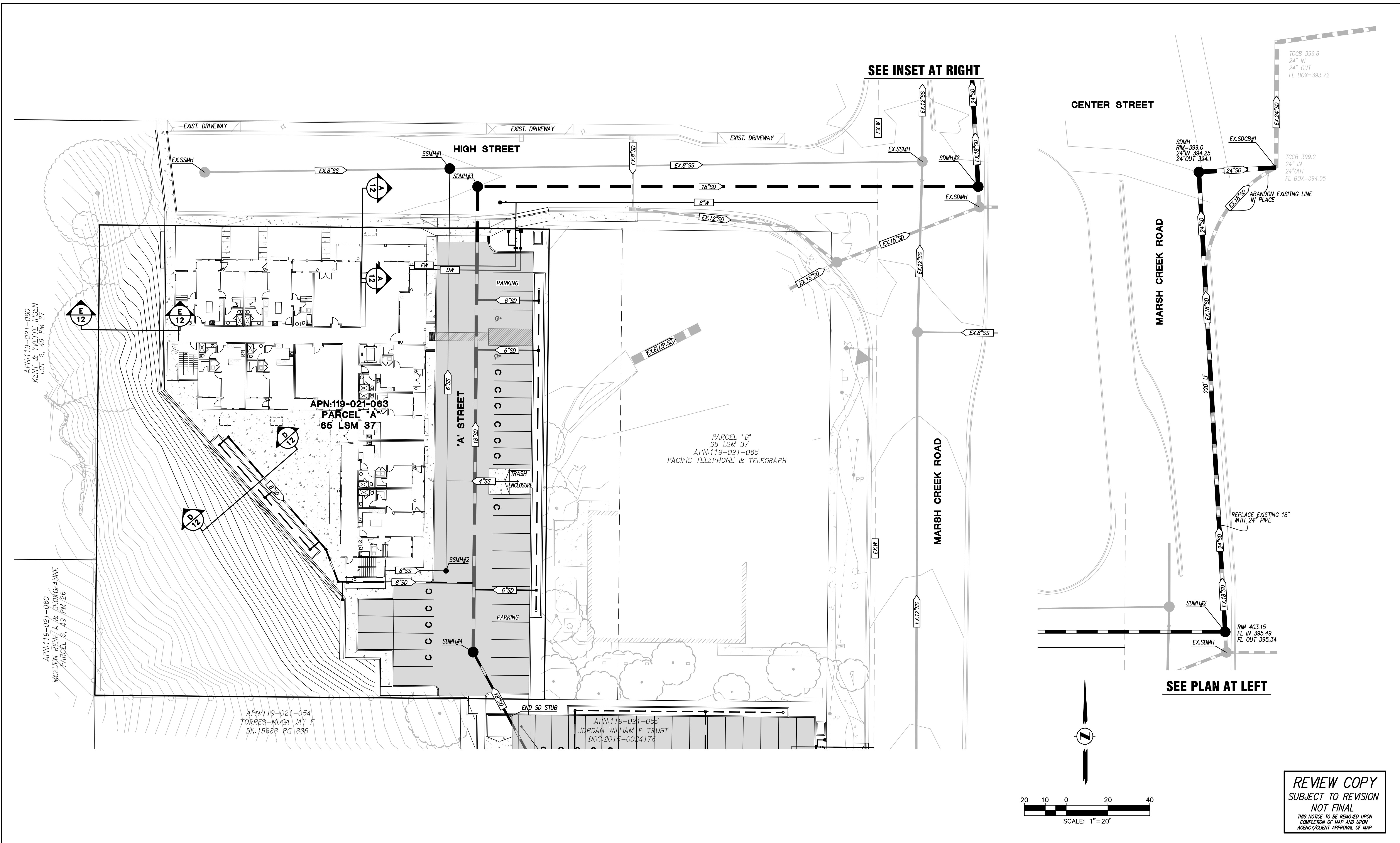
DESIGNED UNDER THE DIRECTION OF:
MICHAEL E. MILANI
P.C.E. NO. 30121 EXP. 09/20-21
DATE: _____
DESIGN: IONA
JOB NO: 740
DRAWN: KRAVINSILVAL
DATE: OCTOBER 2019
CHECKED: MEM
SCALE: AS SHOWN



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Attachment F

Revised Parking Layout Plans from
Applicant, received February 19, 2020



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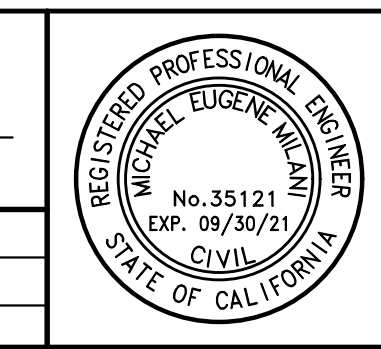
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THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
OVERALL SITE PLAN
CONTRA COSTA COUNTY
CITY OF CLAYTON
CALIFORNIA

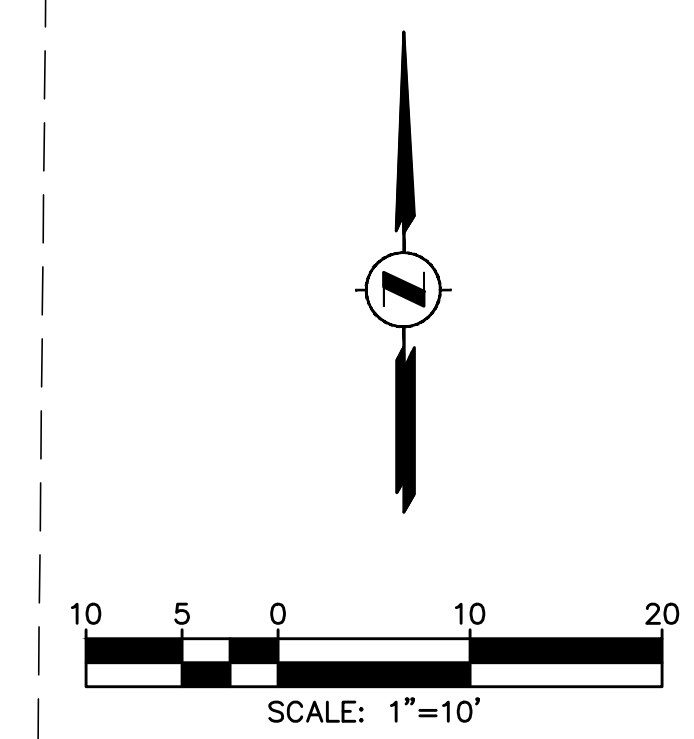
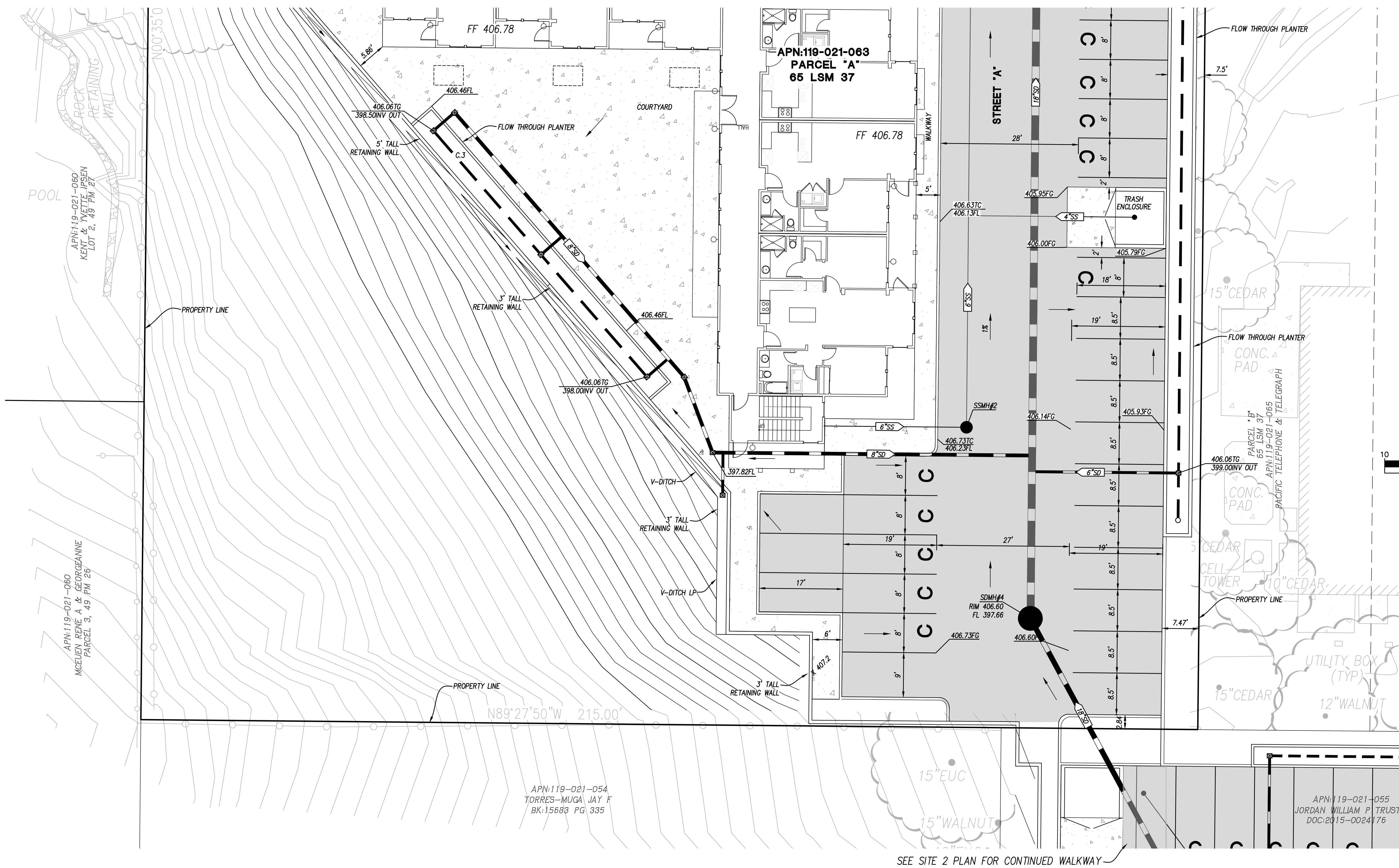
A.P.N. 119-021-063
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 R.C.E. No. 35121 EXPIRES 9-30-21
 DATE
 DESIGN: KRA
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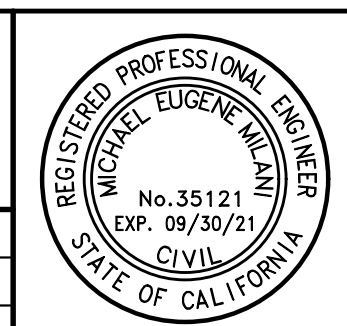
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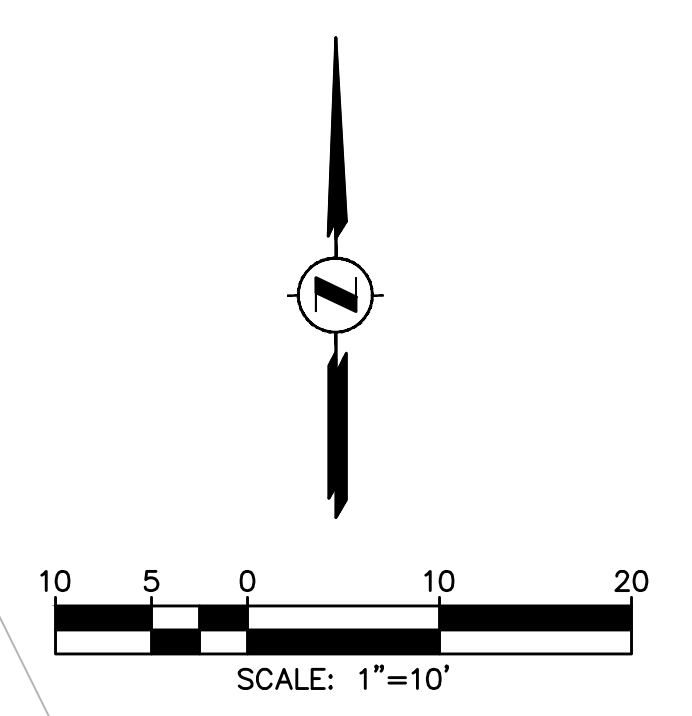
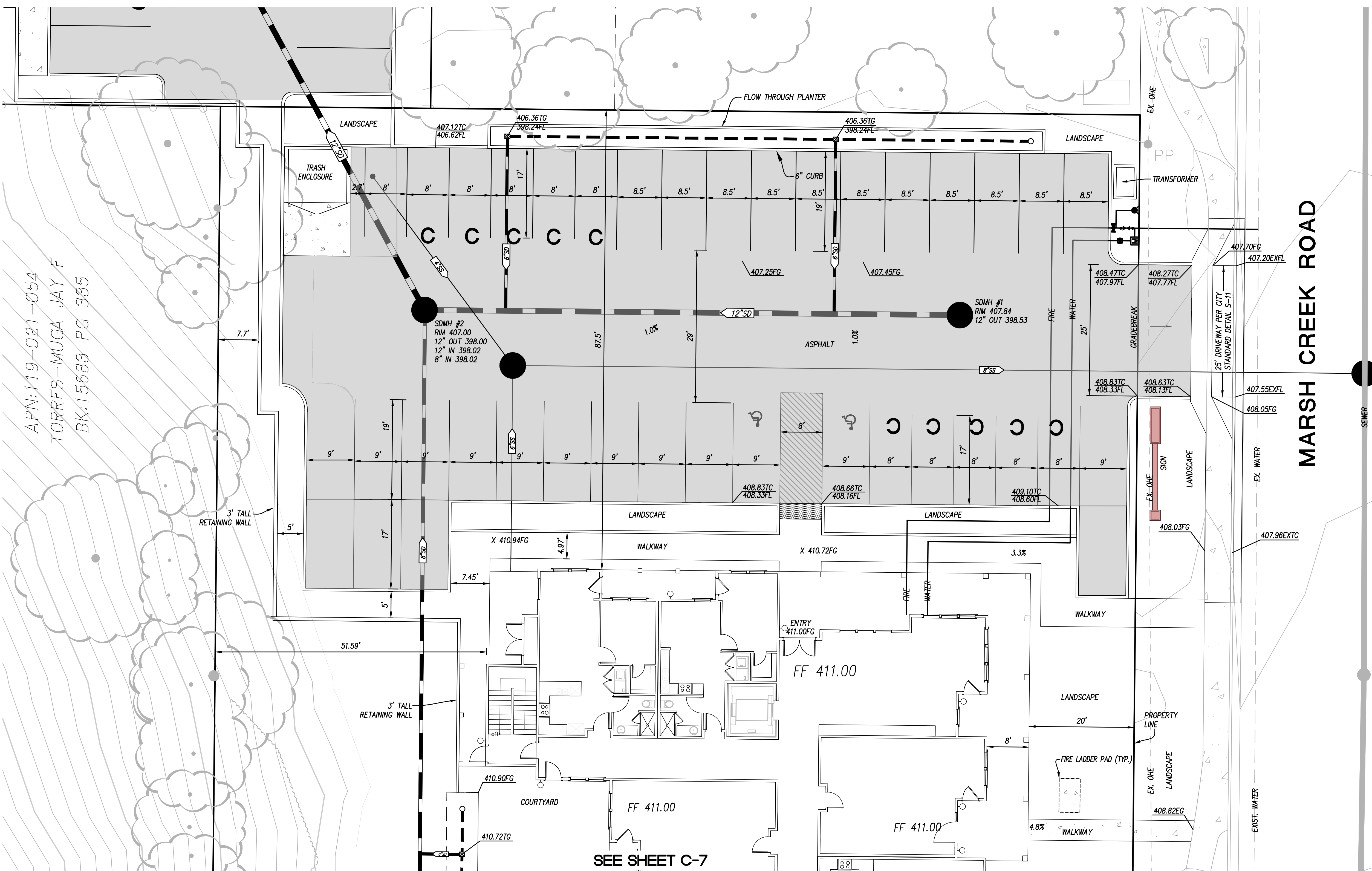
THE OLIVIA ON MARSH CREEK
6170 HIGH STREET
SITE PLAN
CONTRA COSTA COUNTY

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 BK: 15683 PG 385

MARSH CREEK ROAD

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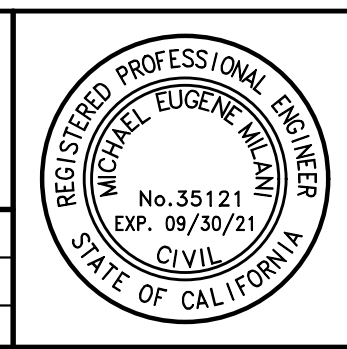
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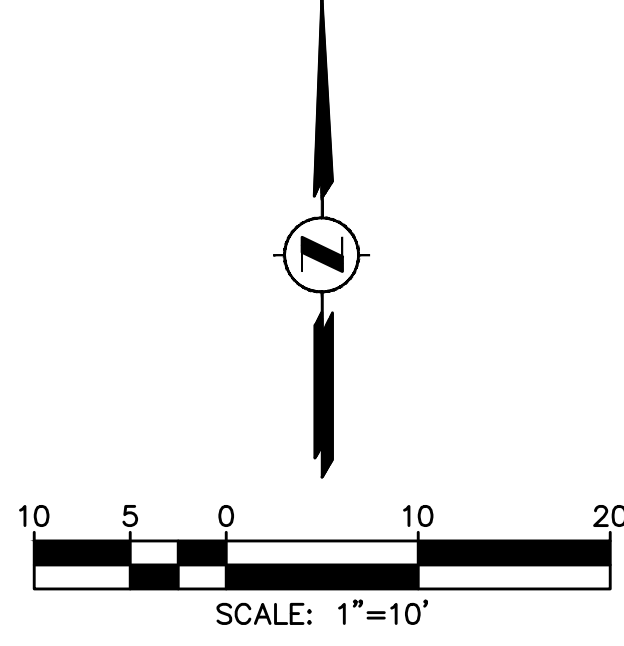
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6450 MARSH CREEK ROAD
 SITE PLAN
CITY OF CLAYTON CONTRA COSTA COUNTY CALIFORNIA

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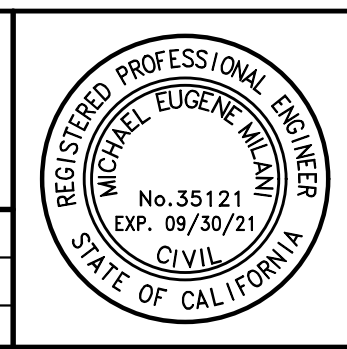
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6490 MARSH CREEK ROAD
SITE PLAN-NORTH
CITY OF CLAYTON **CONTRA COSTA COUNTY** **CALIFORNIA**

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 DRAWN: KRA/SMS/LML DATE: OCTOBER 2019
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 OF
11
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